# **TABLE OF CONTENTS Part 7: Downtown Core Zones**

	PURPOSE	7.1 ~ 1
7.1	GENERAL PROVISIONS FOR DOWNTOWN CORE ZONES	7.1 ~ 1 to 8
7.1.1	Uses Not Permitted in a CC1 Zone	
7.1.2	Uses Not Permitted in CC3 Zone Areas 'A', 'B' and 'C'	
7.1.3	Townhouse and Street Townhouse in CC3 Zone Areas 'A' and 'B'	
7.1.4	Accessory Uses	
7.1.4.1	Uses Accessory to a Permitted Use in a CC1 Zone	
7.1.4.2	Uses Accessory to a Permitted Use in CC2, CC3 and CC4 Zones	
7.1.4.3	Uses Accessory to a Permitted Use in a CCO Zone	
7.1.4A	Retail Activation Frontages	
7.1.5	CC4 Zone Regulations	
7.1.5.1	Apartment, Long-Term Care and Retirement Building Regulations	
7.1.5.2	Underground Parking Structures	7.1 ~ 4
7.1.5.3	deleted by 0050-2013/LPAT Order 2020 June 08	7.1 ~ 4
7.1.5.4	deleted by 0050-2013/LPAT Order 2020 June 08	7.1 ~ 4
7.1.5.5	deleted by 0050-2013/LPAT Order 2020 June 08	7.1 ~ 4
7.1.6	Long-Term Care Buildings in CC1 to CC4 Zones	7.1 ~ 4
7.1.7	Zone Boundaries	7.1 ~ 4
7.1.8	Centreline Setbacks	7.1 ~ 4
7.1.9	Downtown Core Parking Exception Area	7.1 ~ 5
7.1.9.1	Required Number of Parking Spaces for the Downtown Core	
	Parking Exception Area	7.1 ~ 5
7.1.9.2	Shared Parking for Downtown Core Parking Exception Area	7.1 ~ 6
7.2	CC1 TO CC4, CCO AND CCOS ZONES (DOWNTOWN CORE)7.2	.1 ~ 1 to 7.2.6 ~ 2
7.2.1	CC1 to CC4, CCO and CCOS Permitted Uses and Zone Regulations	
7.2.2	CC1 Exception Zones	
7.2.3	CC2 Exception Zones	
7.2.4	CC3 Exception Zones	
7.2.5	CC4 Exception Zones	
7.2.5A	CCO Exception Zones	
7.2.6	CCOS Exception Zones	7.2.6 ~ 1

#### **PURPOSE**

The purpose of this Part is to provide a number of Downtown Core Zones, that allow for retail, office, and residential development and open space, in appropriate locations in Downtown Core.<sup>1</sup>

#### 7.1 GENERAL PROVISIONS FOR DOWNTOWN CORE ZONES

In addition to the zone provisions contained in Parts 1 to 3 of this By-law, the following General Provisions for Downtown Core Zones shall also apply: (0050-2013/LPAT Order 2020 June 08)

#### 7.1.1 Uses Not Permitted in a CC1 Zone

- 7.1.1.1 The following **uses** shall not be permitted in a CC1 zone:
  - (1) Convenience Restaurant
  - (2) Funeral Establishment
  - (3) Motor Vehicle Sales, Leasing and/or Rental Facility Restricted
  - (4) *deleted by 0174-2017*

#### 7.1.2 Uses Not Permitted in CC3 Zone Areas 'A', 'B' and 'C'

- 7.1.2.1 The following **uses** shall not be permitted in Areas 'A', 'B' and 'C' identified on Schedules CC3(1) to CC3(3) of this By-law:
  - (1) Banquet Hall/Conference Centre/Convention Centre
  - (2) **Overnight Accommodation**
  - (3) **Restaurant**
  - (4) Take-out Restaurant
  - (5) Entertainment Establishment

#### 7.1.3 Townhouse and Street Townhouse in CC3 Zone Areas 'A' and 'B'

7.1.3.1 **Townhouse** and **street townhouse** shall only be permitted within Areas 'A' and 'B' identified on Schedules CC3(1) to CC3(3) of this By-law.

(0181-2018/LPAT Order 2019 February 15)

#### 7.1.4 Accessory Uses

(0379-2009), (0050-2013/LPAT Order 2020 June 08)

#### 7.1.4.1 Uses Accessory to a Permitted Use in a CC1 Zone

(0050-2013/LPAT Order 2020 June 08)

- 7.1.4.1.1 The following **uses** are permitted within a **building** used for a permitted **use** in a CC1 zone:
  - (1) **Cogeneration Facility**
  - (2) **Night club** in compliance with Table 2.1.2.2.1 of this By-law
- 7.1.4.1.2 An outdoor patio shall be permitted accessory to a **restaurant**, **take-out restaurant** or **retail store** where the primary function is the sale of food.

<sup>1</sup> The purpose statement is for clarification purposes and does not form part of this By-law.

- 7.1.4.2 Uses Accessory to a Permitted Use in CC2, CC3 and CC4 Zones
  - (0174-2017), (0050-2013/LPAT Order 2020 June 08), (0111-2019/LPAT Order 2021 March 09)
- 7.1.4.2.1 The following uses are permitted accessory to an office building, medical office building, apartment, long-term care building, retirement building, overnight accommodation, banquet hall/conference centre/convention centre, hospital, university/college, staff/student residence, parking structure, centre for the performing arts or any combination thereof in CC2, CC3 and CC4 zones except as restricted in Article 7.1.2.1 of this By-law:
  - (1) **Financial Institution**
  - (2) Service Establishment
  - (3) **Repair Establishment**
  - (4) Recreational Establishment
  - (5) **Restaurant**
  - (6) Take-out Restaurant
  - (7) **Retail Store**
  - (8) **Entertainment Establishment**
  - (9) Motor Vehicle Rental Facility
  - (10) Cogeneration Facility
  - (11) Outdoor patio accessory to a **restaurant**, **take-out restaurant** or **retail store** where the primary function is the sale of food
- 7.1.4.2.2 A **night club** shall be permitted accessory to a permitted **use** in a CC2 zone in compliance with Table 2.1.2.2.1 of this By-law.
- 7.1.4.2.3 Unless otherwise permitted, the uses contained in Sentences 7.1.4.2.1 and 7.1.4.2.2 of this By-law shall be located within an office building, medical office building, apartment, long-term care building, retirement building, overnight accommodation, banquet hall/conference centre/convention centre, hospital, university/college, staff/student residence, parking structure, centre for the performing arts or any combination thereof.
- 7.1.4.2.4 **Uses** identified in Sentences 7.1.4.2.1 and 7.1.4.2.2 of this By-law shall not be permitted above the second **storey**.
- 7.1.4.2.5 A **motor vehicle rental facility** shall not store **motor vehicles** that are offered for rent in required **parking spaces**.
- 7.1.4.2.6 The regulations of Lines 1.0 and 3.0 contained in Table 2.1.2.1.1 of this By-law shall not apply.
- 7.1.4.3 Uses Accessory to a Permitted Use in a CCO Zone

(0174-2017), (0050-2013/LPAT Order 2020 June 08), (0111-2019/LPAT Order 2021 March 09)

- 7.1.4.3.1 The following **uses** are permitted accessory to an **office building**, **medical office building**, **hospital**, university/college, **overnight accommodation** or any combination thereof in a CCO zone:
  - (1) **Financial Institution**
  - (2) Service Establishment
  - (3) **Repair Establishment**
  - (4) Recreational Establishment
  - (5) **Restaurant**
  - (6) **Take-out Restaurant**
  - (7) **Retail Store**
  - (8) Entertainment Establishment
  - (9) Motor Vehicle Rental Facility
  - (10) **Cogeneration Facility**
  - (11) **Night club** in compliance with Table 2.1.2.2.1 of this By-law
  - (12) Outdoor patio accessory to a **restaurant**, **take-out restaurant** or **retail store** where the primary function is the sale of food
- 7.1.4.3.2 Unless otherwise permitted, the **uses** contained in Sentence 7.1.4.3.1 of this By-law shall be located within an **office building**, **medical office building**, **hospital**, university/college, **overnight accommodation** or any combination thereof.

Revised: 2022 August 31 Page 7.1 ~ 2

- 7.1.4.3.3 **Uses** identified in Sentence 7.1.4.3.1 of this By-law shall not be permitted above the second **storey**.
- 7.1.4.3.4 **Apartments** will be permitted within the CCO zone as part of a development containing an **office building**, **medical office building**, **hospital**, university/college or **overnight accommodation uses**, or any combination thereof, provided that the **gross floor area apartment zone** shall not exceed 20% of the total **gross floor area** of the development.
- 7.1.4.3.5 A **motor vehicle rental facility** shall not store **motor vehicles** that are offered for rent in required **parking spaces**.

#### 7.1.4A Retail Activation Frontages

(0050-2013/LPAT Order 2020 June 08), (0111-2019/LPAT Order 2021 March 09)

- 7.1.4A.1 Notwithstanding Table 7.2.1, Sentences 7.1.4.2.1 and 7.1.4.3.1 of this By-law, **uses** identified as Retail Activation **Uses** in Sentence 7.1.4A.2.5 of this By-law and located on Retail Activation Frontages shall only be permitted in compliance with the provisions of Subsection 7.1.4A of this By-law.
- 7.1.4A.2 A **building** located on a **lot** abutting a **street** with a 75% or 50% Retail Activation Frontage identified on Schedules CC1, CC2(2) and CCO of this By-law shall comply with the following:
- 7.1.4A.2.1 The **first storey** of a **building** shall only contain Retail Activation **Uses** in units abutting/within the linear **building** frontage.
- 7.1.4A.2.2 The minimum depth of a unit used for a Retail Activation **Use** shall be 10.0 m.
- 7.1.4A.2.3 The minimum height of a unit containing a Retail Activation **Use** shall be 4.5 m measured from finished floor to ceiling.
- 7.1.4A.2.4 Retail Activation **Uses** shall only include the following:
  - (1) **Financial Institution**
  - (2) Service Establishment
  - (3) **Restaurant**
  - (4) **Take-out Restaurant**
  - (5) **Retail Store**
- 7.1.4A.2.5 Notwithstanding Sentences 7.1.4.2.4 and 7.1.4.3.3 of this By-law, the following **uses** shall also be permitted on the second **storey** of a **building** located on a **lot** abutting a **street** with a 75% or 50% Retail Activation Frontage in CC2 and CCO zones:
  - (1) **Retail store** where the primary function is the sale of food in a CC2 zone
  - (2) Repair Establishment
  - (3) Recreational Establishment
  - (4) Entertainment Establishment
  - (5) Motor Vehicle Rental Facility
  - (6) **Cogeneration Facility**
  - (7) **Night club** in a CCO zone and accessory to a permitted **use** in a CC2 zone, in compliance with Table 2.1.2.2.1 of this By-law.
- 7.1.4A.2.6 For the purpose of this By-law, linear **building** frontage shall be measured for that portion of a **building** located at or within the **build-to-area** measured from the exterior of outside walls parallel to the **street line**.
- 7.1.4A.3 A **building** located on a **lot** abutting a **street** with a 75% Retail Activation Frontage shall also comply with the following:
- 7.1.4A.3.1 A minimum of 75% of the **first storey** of the linear **building** frontage shall form the exterior wall of units used for Retail Activation **Uses**.
- 7.1.4A.3.2 Where a residential **building**, **structure** or part thereof has frontage on a **street** with a 75% Retail Activation Frontage, pedestrian access to **uses** permitted above and below the **first storey** shall be permitted provided that the width of the pedestrian access shall not be greater than 6.5 m.

Revised: 2022 August 31 Page 7.1 ~ 3

- 7.1.4A.4 A **building** located on a **lot** abutting a **street** with a 50% Retail Activation Frontage shall also comply with the following:
- 7.1.4A.4.1 A minimum of 50% of the **first storey** of the linear **building** frontage shall form the exterior wall of units used for Retail Activation **Uses**.

#### 7.1.5 CC4 Zone Regulations

#### 7.1.5.1 Apartment, Long-Term Care and Retirement Building Regulations

- 7.1.5.1.1 The total maximum number of **dwelling units** on all lands zoned CC4 and CC4-1 to CC4-5 shall be 5 321.
- 7.1.5.1.2 (0174-2017), deleted by 0050-2013/LPAT Order 2020 June 08
- 7.1.5.1.3 An **apartment, long-term care** and **retirement building** may have a separate direct and/or shared access to the **dwelling units** at the ground floor and/or above the **first storey** and/or a private or shared corridor. (0174-2017)

#### 7.1.5.2 Underground Parking Structures

Underground **parking structures** are permitted below a **street** in accordance with the regulations contained in Table 7.1.5.2 - Underground Parking Structures. (0026-2014)

**Table 7.1.5.2 - Underground Parking Structures** 

Colum	nn A	A B			
Line Street Width		Maximum Encroachment	Minimum Vertical Depth		
1.0	12.5 m	6.25 m on each side of the street	0.5 m		

- **7.1.5.3** *deleted by 0050-2013/LPAT Order 2020 June 08*
- **7.1.5.4** *deleted by 0050-2013/LPAT Order 2020 June 08*
- **7.1.5.5** *deleted by 0050-2013/LPAT Order 2020 June 08*
- 7.1.5.5.1 *deleted by 0050-2013/LPAT Order 2020 June 08*

### 7.1.6 Long-Term Care Buildings in CC1 to CC4 Zones (0174-2017)

For the purpose of calculating the number of **dwelling units** in a **long-term care building**, two long-term care beds shall equal one long-term care **dwelling unit**.

#### 7.1.7 Zone Boundaries

(0050-2013/LPAT Order 2020 June 08)

7.1.7.1 Where a zone boundary as shown on Schedule "B" of this By-law follows a proposed or **existing street**, the centreline of the **street** is the zone boundary.

#### 7.1.8 Centreline Setbacks

(0050-2013/LPAT Order 2020 June 08)

7.1.8.1 The provisions of Subsection 2.1.14 of this By-law shall not apply to the CC1 to CC4 and CCO zones.

#### 7.1.9 Downtown Core Parking Exception Area

(0099-2020), (0050-2013/LPAT Order 2020 June 08), (0111-2019/LPAT Order 2021 March 09)

7.1.9.1 Notwithstanding Tables 3.1.2.1 and 3.1.2.2 of this By-law, **uses** contained in Table 7.1.9.1 of this By-law, and located in the hatched area identified on Schedule 7.1.9 of this By-law, shall provide off-street **parking spaces** in accordance with Table 7.1.9.1 - Required Number of Parking Spaces for the Downtown Core Parking Exception Area.

**Table 7.1.9.1 - Required Number of Parking Spaces for the Downtown Core Parking Exception Area** 

Colum	n A	В
Line 1.0	TYPE OF USE	MINIMUM OFF-STREET PARKING REGULATIONS
2.0	Apartment	0.7 resident spaces per studio unit 0.8 resident spaces per one-bedroom unit 0.9 resident spaces per two-bedroom unit 1.0 resident spaces per three-bedroom unit 1.0 resident spaces per three-bedroom unit 0.15 visitor spaces per unit  For the visitor component, a shared parking arrangement may be used for the calculation of required visitor/non-residential parking in accordance with the following:  The greater of 0.15 visitor spaces per unit (1) or  Parking required for all non-residential uses, located in the same building or on the same lot as the residential use, except banquet hall/conference centre/convention centre, entertainment establishment, overnight accommodation, place of religious assembly, recreational establishment and restaurant. (1) Parking for banquet hall/conference centre/convention centre, entertainment establishment, overnight accommodation, place of religious assembly, recreational establishment and restaurant shall not be included in the above shared parking arrangement and shall be provided in accordance with the regulations of this By-law.  Where the above shared parking arrangement is used for the calculation of visitor and non-residential parking within a single mixed use development, the required parking spaces may not be included in the Shared Parking Formula for the Downtown Core Parking Exception Area found in Article 7.1.9.2 of this By-law.
3.0	Entertainment Establishment	10.0 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
4.0	Financial Institution	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
5.0	Night Club	9.0 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>

Table 7.1.9.1 continued on next page

Revised: 2022 August 31 Page 7.1 ~ 5

Colum	n A	В
Line 1.0	TYPE OF USE	MINIMUM OFF-STREET PARKING REGULATIONS
Table 7	7.1.9.1 continued from previous page	
6.0	Office:	
6.1	Office/Medical Office	2.1 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b> Where the non- <b>office uses</b> , including <b>medical office</b> , are greater than 10% of the total <b>GFA</b> - <b>non-residential</b> of the <b>building</b> , separate parking will be required for all of such <b>uses</b> in accordance with the regulations contained in this Table.  If the <b>use</b> is not contained in this Table, the
		regulations of Table 3.1.2.2 of this By-law shall apply.
6.2	Real Estate Office	2.1 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
7.0	Service Establishment	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
8.0	Retail Centre:	
8.1	Retail Centre (Less than or equal to 2 000 m <sup>2</sup> GFA - non-residential)	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
8.2	CC1 - Downtown Core - Core Commercial (lands bounded by City Centre Drive, Duke of York Boulevard and Square One Drive)	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
9.0	Retail Store	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
10.0	Restaurant (less than or equal to 220 m²)	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
11.0	Restaurant (greater than 220 m²)	9.0 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>
12.0	Take-out Restaurant	3.8 spaces per 100 m <sup>2</sup> <b>GFA</b> - <b>non-residential</b>

**NOTE:** (1) All required **parking spaces** must be accessible to all users participating in the shared parking arrangements and may not be reserved for a specific **use** or occupant.

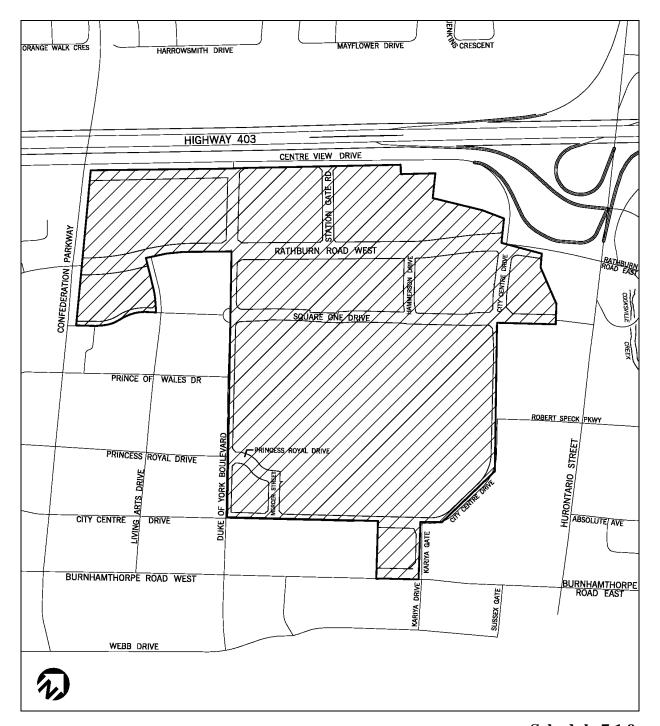
- **7.1.9.2** Shared Parking for Downtown Core Parking Exception Area (0099-2020), (0050-2013/LPAT Order 2020 June 08), (0111-2019/LPAT Order 2021 March 09)
- 7.1.9.2.1 Notwithstanding the provisions of Sentence 3.1.1.2.1 of this By-law, required parking shall be provided anywhere within the hatched area identified on Schedule 7.1.9 of this By-law.
- 7.1.9.2.2 A shared parking formula may be used for the calculation of required parking for any development in the hatched area identified on Schedule 7.1.9 of this By-law.
- 7.1.9.2.3 Only **lots** within the hatched area identified on Schedule 7.1.9 of this By-law may participate in the shared parking arrangement.
- 7.1.9.2.4 Shared parking is to be calculated in compliance with Table 7.1.9.2 Shared Parking Formula for Downtown Core Parking Exception Area. All required **parking spaces** must be accessible to all users participating in the shared parking arrangements and may not be reserved for a specific **use** or occupant.

The initial step in determining required parking for all development in the Downtown Core Parking Exception Area participating in the shared parking arrangement is to calculate the parking requirement for each **use** in each development as if these **uses** were freestanding **buildings**. The parking requirement for each **use** in each development is then multiplied by the percent of the peak period for each time period (i.e. noon), contained in Table 7.1.9.2 - Shared Parking Formula for Downtown Core Parking Exception Area. Each column is totalled for weekday and weekend. The highest figure obtained from all time periods shall become the required parking for all development that is participating in the shared parking arrangement.

Revised: 2022 August 31 Page 7.1 ~ 6

Table 7.1.9.2 - Shared Parking Formula for Downtown Core Parking Exception Area

Colum	n A	В	C	D	E		
Line 1.0	TYPE OF USE	PERCENTAGE OF PEAK PERIOD (WEEKDAY)					
		Morning	Noon	Afternoon	Evening		
1.1	CC1 - Downtown Core - Core Commercial (lands bounded by City Centre Drive, Duke of York Boulevard and Square One Drive)	60	75	80	75		
1.2	Retail Centre/ <b>Retail Store</b> / <b>Service Establishment</b>	80	90	90	90		
1.3	<b>Entertainment Establishment</b>	0	25	25	100		
1.4	College, University	90	100	90	40		
1.5	Office/Medical Office/ Financial Institution	100	90	95	10		
1.6	Restaurant/Take-out Restaurant	20	100	30	100		
1.7	Overnight Accommodation	70	70	70	100		
1.8	Residential - Resident Residential - Visitor	90 20	65 20	90 60	100 100		
2.0	TYPE OF USE	PERC		F PEAK PE RDAY)	RIOD		
		Morning	Noon	Afternoon	Evening		
2.1	CC1 - Downtown Core - Core Commercial (lands bounded by City Centre Drive, Duke of York Boulevard and Square One Drive)	75	85	100	90		
2.2	Retail Centre/Retail Store/ Service Establishment	80	100	100	70		
2.3	<b>Entertainment Establishment</b>	10	40	65	100		
2.4	College, University	40	40	40	40		
2.5	Office/Medical Office/ Financial Institution	10	10	10	10		
2.6	Restaurant/Take-out Restaurant	20	100	50	100		
2.7	Overnight Accommodation	70	70	70	100		
2.8	Residential - Resident Residential - Visitor	90 20	65 20	90 60	100 100		



**Schedule 7.1.9** Map 29 (0099-2020)

## 7.2 CC1 TO CC4, CCO AND CCOS ZONES (DOWNTOWN CORE)

#### 7.2.1 CC1 to CC4, CCO and CCOS Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 7.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 7.2.1 - CC1 to CC4, CCO and CCOS Permitted Uses and Zone Regulations. (0050-2013/LPAT Order 2020 June 08)

**Table 7.2.1 - CC1 to CC4, CCO and CCOS Permitted Uses and Zone Regulations** (0325-2008), (0379-2009), (0308-2011), (0174-2017), (0050-2013/LPAT Order 2020 June 08), (0181-2018/LPAT Order 2019 February 15), (0018-2021)

Colum	Column A		С	D	E	F	G
Line USES				ZOI	NES		
1.0		CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space
PERM	ITTED USES						
2.0	DOWNTOWN CORE						
2.1	Office	✓	✓	✓	✓	✓	
2.2	Medical Office	✓	✓	✓	✓	✓	
2.3	Apartment	✓	✓	✓	<b>√</b> (5)		
2.4	Long-Term Care Building	✓	✓	✓	<b>√</b> (5)		
2.5	<b>Retirement Building</b>	✓	✓	✓	<b>√</b> (5)		
2.6	Townhouse			<b>√</b> (6)			
2.7	<b>Street Townhouse</b>			<b>√</b> (6)			
2.8	All <b>uses</b> permitted in C1 to C4 Base Zones	<b>√</b> (1)					
2.9	Banquet Hall/ Conference Centre/ Convention Centre	<b>✓</b>	✓	<b>√</b> (3)	✓		
2.10	Hospital	✓	✓	✓	✓	✓	
2.11	University/College	✓	✓	✓	✓	✓	
2.11A	Staff/Student Residence	<b>✓</b>	✓	✓	✓		
2.12	Commercial School	✓	✓				
2.13	Active Recreational Use	✓	✓	✓	✓	<b>√</b>	✓
2.14	Passive Recreational Use	✓	<b>√</b>	<b>√</b>	✓	✓	<b>√</b>
2.15	Parking Structure	✓	✓	✓	✓		
2.16	Parking Structure - Below Grade Only						<b>√</b>
2.17	Overnight Accommodation	✓	✓	<b>√</b> (3)	✓	<b>√</b>	
2.18	Centre for the Performing Arts	<b>✓</b>	✓				
2.19	Outdoor Market	✓	✓			✓	✓

Table 7.2.1 continued on next page

Revised: 2022 September 30 Page 7.2.1 ~ 1

Column	ı A	В	C	D	E	F	G
Line	USES			ZO	NES		
1.0		CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space
Table 7	2.1 continued from prev	ious page					
ZONE I	REGULATIONS	n					
3.0	GROSS FLOOR AREA						
3.1	Minimum gross floor area - apartment zone	1.0 times the <b>lot area</b>	1.0 times the <b>lot area</b>	1.0 times the <b>lot area</b>	1.0 times the <b>lot area</b>		
3.2	Maximum <b>tower floor plate</b> for an <b>apartment</b> shall be 850 m <sup>2</sup>	<b>√</b>	✓	✓	✓		
3.3	Notwithstanding the uses permitted in Lines 2.3, 2.4 and 2.5 of this Table, residential dwelling units shall not be permitted on the first storey of a building. Shared entrance and exit facilities through a common vestibule shall be permitted on the first storey	<b>✓</b>					
4.0	BUILD-TO-AREAS						
4.1	Each building, structure and/or use shall comply with all regulations related to build-to-areas as shown on the Schedules and Exception Schedules contained in Part 7 of this By-law	<b>√</b> (1)(4)(6)	<b>√</b> (1)(6)	✓	<b>√</b> (1)	<b>√</b> (1)(6)	
4.2	Notwithstanding the zone regulation contained in Line 4.1 of this Table, where a property has build-to-areas along more than two lot lines, the building or structure shall be located along a minimum of two build-to-areas	<b>√</b> (4)	<b>√</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	
4.3	deleted by 0050-2013/LPAT Order 2020 June 08						

Table 7.2.1 continued on next page

Colum	n A	В	C	D	E	F	G
Line USES				ZOI			
1.0		CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space
Table 7	7.2.1 continued from prev	ious page					
4A.0	'A' and 'B' <b>STREET</b> FRONTAGES						
4A.1	A building with a streetwall facing an 'A' or 'B' Street Frontage identified on Schedules and Exception Schedules in Part 7 of this By-law shall comply with the regulations contained in Lines 4A.2 to 4A.11 of this Table	<b>~</b>	<b>√</b>	<b>~</b>	<b>&gt;</b>	<b>✓</b>	
4A.2	A minimum of 65% of the area of the first storey streetwall of a building containing a non-residential use facing an 'A' Street Frontage shall contain glazing	<b>✓</b>	✓	<b>✓</b>	<b>✓</b>	<b>√</b>	
4A.3	A minimum of 50% of the area of the first storey streetwall of a building containing a non-residential use facing a 'B' Street Frontage shall contain glazing	*	✓	*	<b>√</b>	<b>√</b>	
4A.4	Each individual unit with a first storey streetwall facing an 'A' Street Frontage shall provide a pedestrian access through a main front entrance facing the 'A' Street Frontage	<b>~</b>	<b>√</b>	<b>~</b>	<b>√</b>	<b>√</b>	
4A.5	Pedestrian access to units above/below the first storey of a building with a first storey streetwall facing an 'A' Street Frontage shall be provided through a main front entrance facing the 'A' Street Frontage	<b>~</b>	<b>√</b>	<b>~</b>	<b>√</b>	<b>✓</b>	
4A.6	Each individual unit with a first storey streetwall facing both 'A' and 'B' Street Frontages shall provide a pedestrian access through a main front entrance facing the 'A' Street Frontage	<b>✓</b>	<b>√</b>	<b>✓</b>	<b>√</b>	<b>√</b>	

Table 7.2.1 continued on next page

Column	n A	В	С	D	E	F	G
Line	USES			ZOI	NES		
1.0		CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space
Table 7	.2.1 continued from previ	ious page					
4A.7	Pedestrian access to units above/below the first storey of a building with a first storey streetwall facing both 'A' and 'B' Street Frontages shall be provided through a main front entrance facing the 'A' Street Frontage	<b>√</b>	<b>√</b>	<b>✓</b>	<b>✓</b>	<b>√</b>	
4A.8	Each individual unit with a first storey streetwall facing a 'B' Street Frontage shall provide a pedestrian access through a main front entrance facing the 'B' Street Frontage	<b>√</b>	<b>√</b>	<b>√</b>	<b>√</b>	<b>√</b>	
4A.9	Pedestrian access to units above/below the first storey of a building with a first storey streetwall facing a 'B' Street Frontage shall be provided through a main front entrance facing the 'B' Street Frontage	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	
4A.10	Vehicular access to a building with a first storey streetwall facing both 'A' and 'B' Street Frontages shall be provided from the 'B' Street Frontage	<b>√</b>	<b>√</b>	<b>√</b>	<b>√</b>	<b>√</b>	
4A.11	An above grade or partially above grade <b>parking structure</b> shall not face a <b>street</b> with an 'A' <b>Street</b> Frontage	✓	✓	<b>√</b>	✓		
4B.0	HEIGHT						
4B.1	Minimum <b>Height</b>	3 storeys	3 storeys	3 storeys	3 storeys	3 storeys	
4C.0	PODIUMS IN RESIDENTIAL BUILDINGS						
4C.1	Apartment, long-term care and retirement buildings greater than 12 storeys shall contain a podium	<b>√</b>	✓	<b>√</b>	<b>√</b>		
4C.2	The minimum height of a podium measured at the <b>streetwall</b> shall be three <b>storeys</b>	<b>√</b>	✓	<b>√</b>	<b>√</b>		

Table 7.2.1 continued on next page

Colum	n A	В	С	D	E	F	G
Line	USES			ZOI	NES		
1.0		CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space
Table 7	.2.1 continued from previ	ious page					
5.0	SETBACKS AND ENCROACHMENTS						
5.1	The first three <b>storeys</b> of a podium in a residential <b>building</b> shall not project beyond or behind the <b>first storey</b> of the <b>streetwall</b>	<b>√</b>	<b>√</b>	✓	<b>√</b>		
5.2	Minimum setback from the exterior face of a podium of residential <b>buildings</b> and <b>structures</b> , or parts thereof, located above the podium structure				3.0 m		
5.3	Notwithstanding the zone regulation contained in Line 5.2 of this Table, the maximum encroachment of portions of a residential <b>building</b> or <b>structure</b> into the required setback				1.5 m		
6.0	DRIVEWAYS, AISLES, PARKING AREAS, ACCESS AND PARKING						
6.1	An at-grade driveway, aisle, parking area or loading area shall not be permitted between a wall of a building or structure and a lot line abutting a street or within 7.6 m of a lot line abutting a street except for vehicular accesses or where a property has a lot line abutting more than two streets, an at-grade driveway, aisle or parking area shall not be permitted between the wall of a building or structure and a lot line abutting two of the streets	*					
6.2	Driveways, condominium roads and aisles are permitted to be shared with abutting lands with the same zoning	<b>~</b>	<b>~</b>	<b>√</b>	<b>√</b>	<b>√</b>	
7.0	LANDSCAPED OPEN SPACE AREA						
7.1	Minimum Landscaped Open Space Area				40% of the lot area		

Table 7.2.1 continued on next page

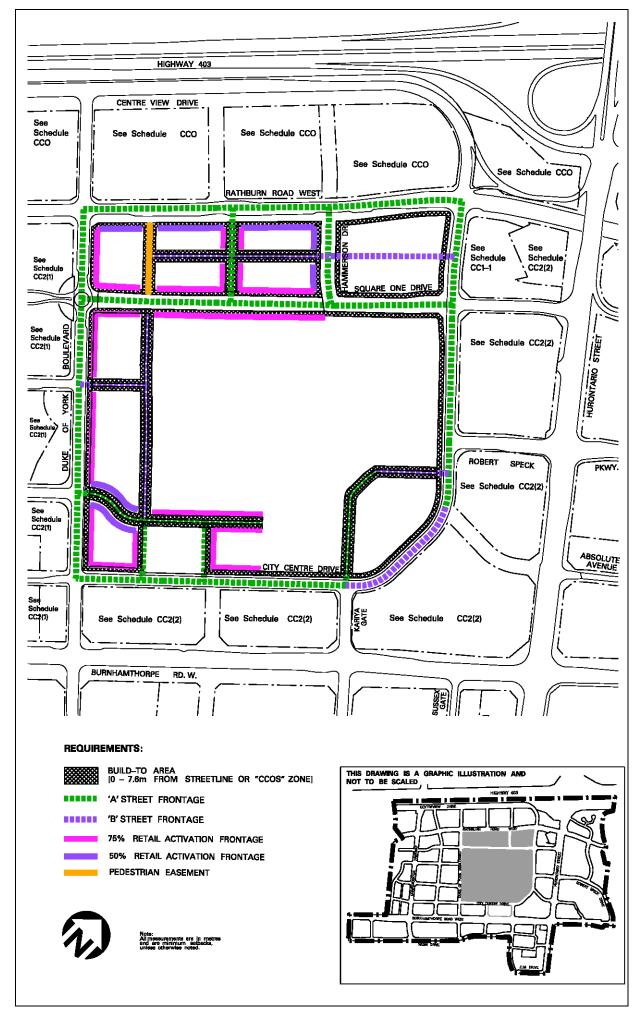
Colum	n	A		В	C	D	E	F	G	
Line	USES			ZONES						
1.0				CC1 Downtown Core - Core Commercial	CC2 Downtown Core - Mixed Use	CC3 Downtown Core - Mixed Use Transition Area	CC4 Downtown Core - Mixed Use	CCO Downtown Core - Office	CCOS Downtown Core - Open Space	
Table 7	Table 7.2.1 continued from previous page									
8.0	EXEMI	PTION	IS							
8.1	deleted 0050-20 Order 2	)13/LF								
Definit	ions									
For the	purpose	of Part	t 7 of By-lav	v 0225-2007,	as amended,	the following	definitions sh	nall apply:		
Glazing	;	mean	s clear or tr	ansparent glas	ss.					
Podium	l				structure or portion of the b		cated at or ab	oove <b>establish</b>	ed grade	
Height Podium			the verticate of the poor		tween the <b>est</b> a	ablished grad	<b>e</b> and the high	hest point of the	he roof	
Holdin	g Provisi	on								
		(1)	the lands z further ame Part 13 of following a followi	this By-law, a requirements:  Every of an exvelopment Agroration of the eeing to the irnicipal works vision of land transit rights vision of park related provivelopment Agrication of landignments of related to 'A' and related so this is not exist.  In graymbol H so legally existing symbol H so legally existing existing symbol H so legally existing existing symbol H so legally existing exis	H-CC2, H-C laps 22, 28 and as amended, under the cutted Service greement in a serie City of Missistallation or possions provide greements will defor new publicades, where ror impose and any for the constoner City a reservice Part of this Established to not prevent the constant of the City and the constant of the constant of the City and the constant of the con	ed from the w C3, H-CCO a d 29 of Sched pon satisfaction ing Agreement form satisfact sissauga, addition placement of a unicipal walky or future public asements, ince visions of require d that the Serve not require the lic roads, include to therwise p obligation up struction of a re ight-of-way to ortages identific by-law, where ent the use of le e of passing of y the zone in w also not prevent t in an increase of required p ugs and struct	nd/or H-CCO lule B contain on of the  at and/or ory to The ressing and all required ways, the c road wideni luding the aired securitie vicing and an egratuitous uding permitted und on a landown new road; o be used for ied on the a street curre buildings and f this By-law which they are at alterations se to gross flo parking to sup	os by hed in angs, es, es, es, es ently ently efforce to bor		

**NOTES:** (1)

- (1) See also Subsection 7.1.4A of this By-law.
- (2) See also Subsection 7.1.1 of this By-law.
- (3) See also Subsection 7.1.2 of this By-law.
- (4) See Article 7.2.1.1 of this By-law.
- (5) See also Subsection 7.1.5 of this By-law.
- (6) See also Subsection 7.1.3 of this By-law.

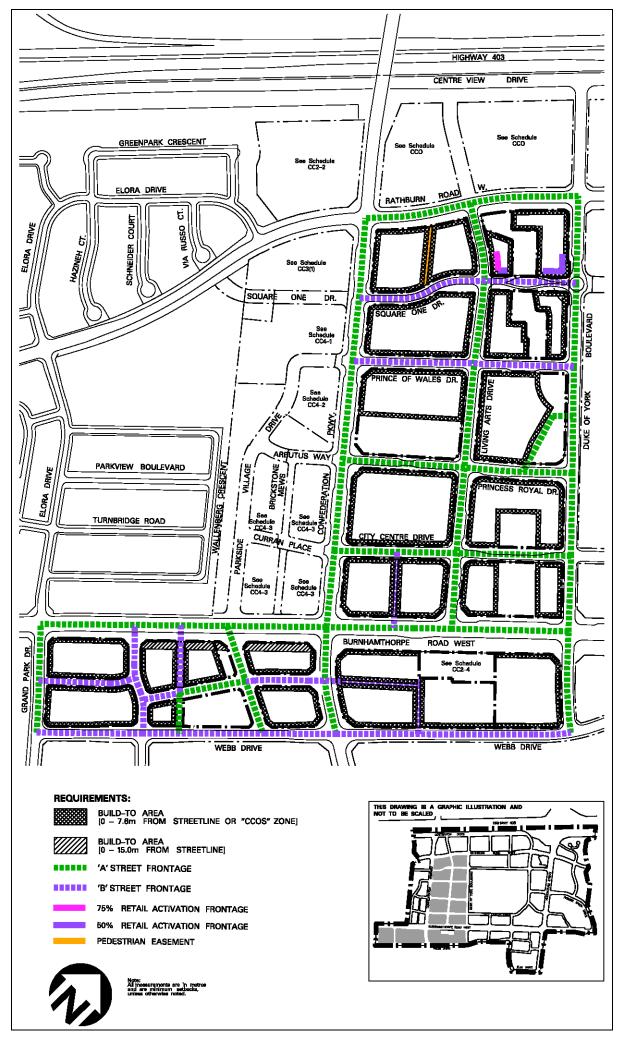
7.2.1.1 For properties zoned CC1, additions which are constructed onto any **building** or **structure** legally **existing** on the date of passing of this By-law shall not be subject to the regulations of Lines 4.1 and 4.2 contained in Table 7.2.1 of this By-law for 100 City Centre Drive. (0018-2021)

Revised: 2021 February 28



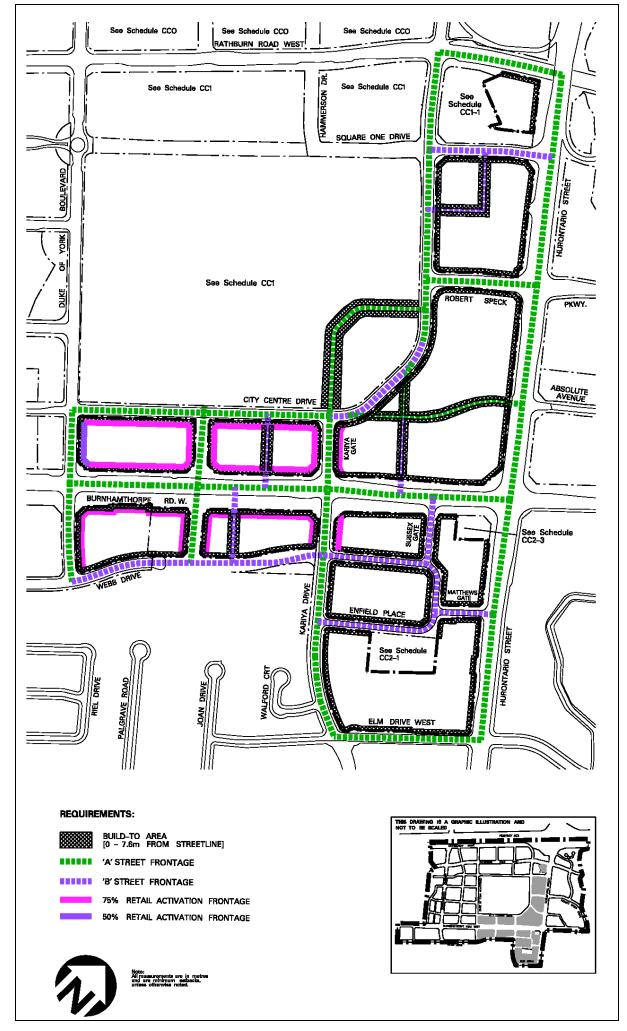
Schedule CC1

Map 29 (OMB Order 2014 February 20), (0263-2016), (0050-2013/LPAT Order 2020 June 08)



#### Schedule CC2(1)

Maps 22 and 29 (OMB Order 2015 May 11), (0050-2013/LPAT Order 2020 June 08), (0155-2021), (0257-2021)

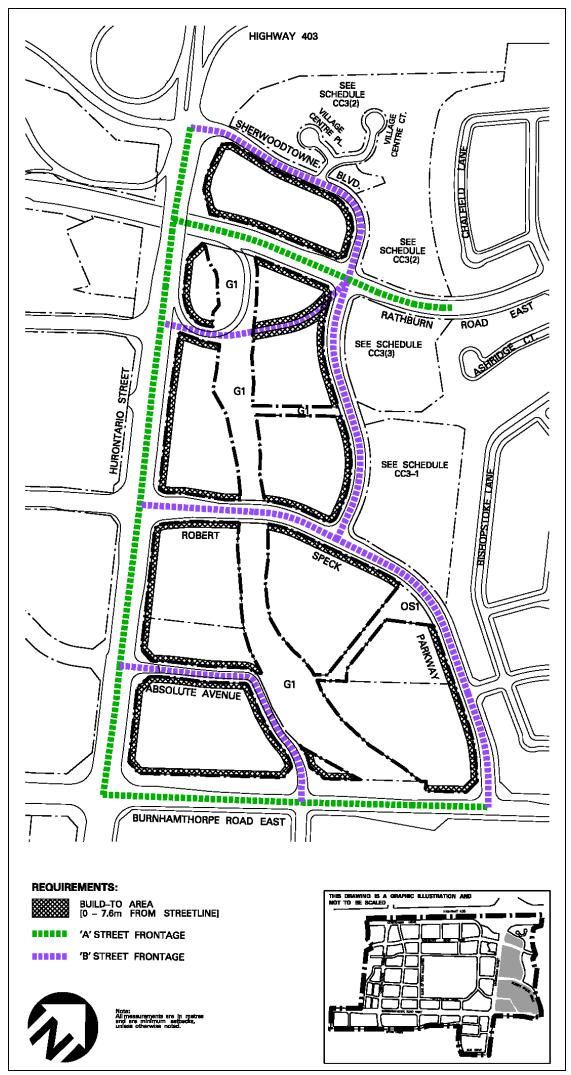


Schedule CC2(2)

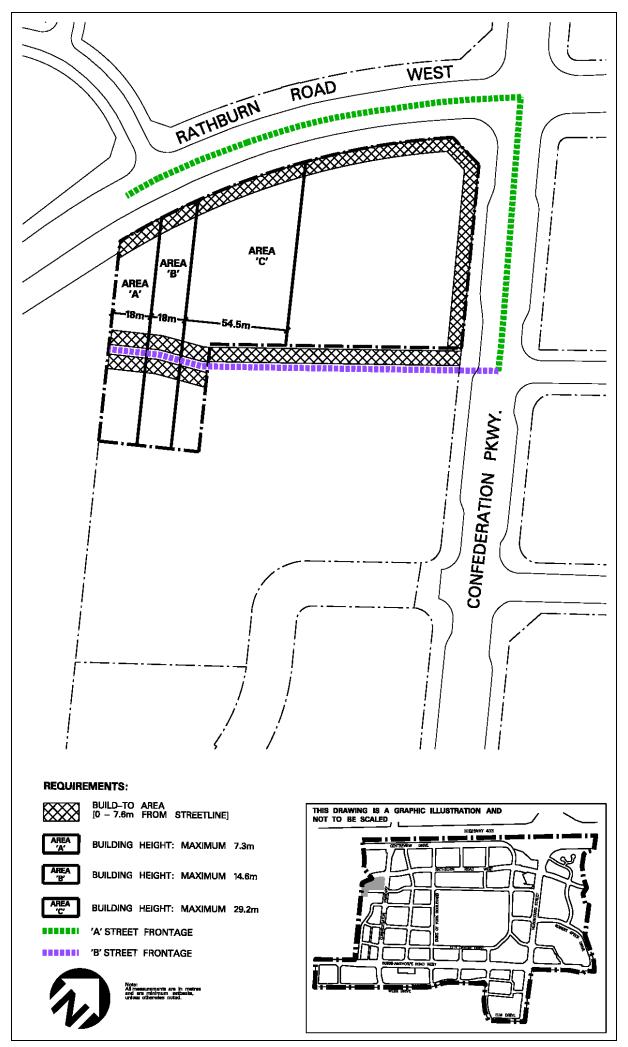
Maps 22 and 29

 $(0050\text{-}2013/LPAT\ Order\ 2020\ June\ 08),\ (0140\text{-}2021),\ (0181\text{-}2021),\ (0214\text{-}2021),\ (0097\text{-}2022),\ (0111\text{-}2022),\ (0219\text{-}2022),\ (0220\text{-}2022)$ 

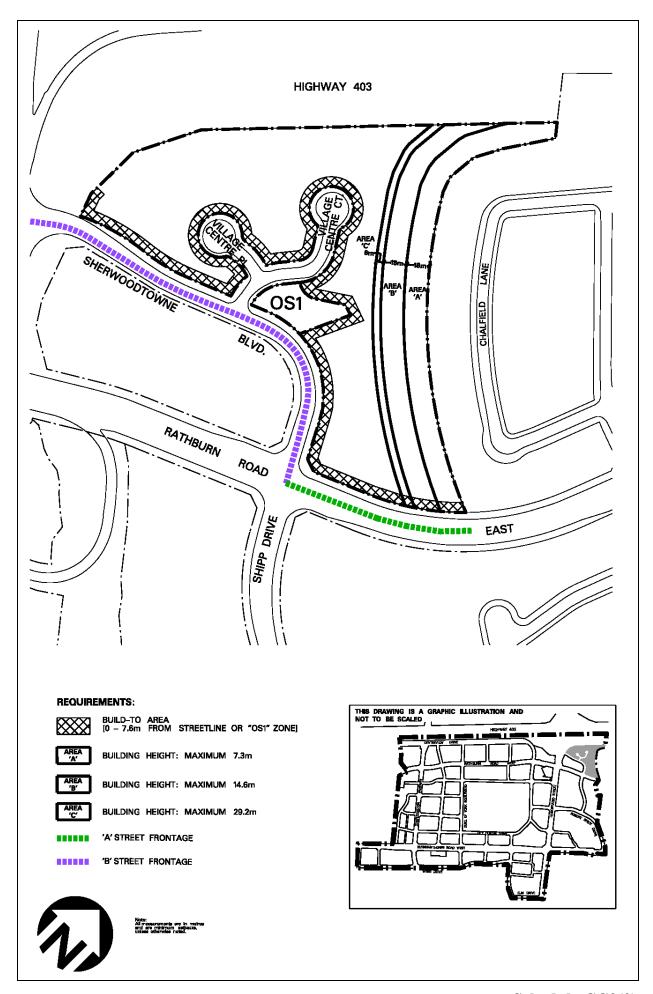
Revised: 2023 March 31 Page 7.2.1 ~ 9



Schedule CC2(3)
Map 28
(0050-2013/LPAT Order 2020 June 08)

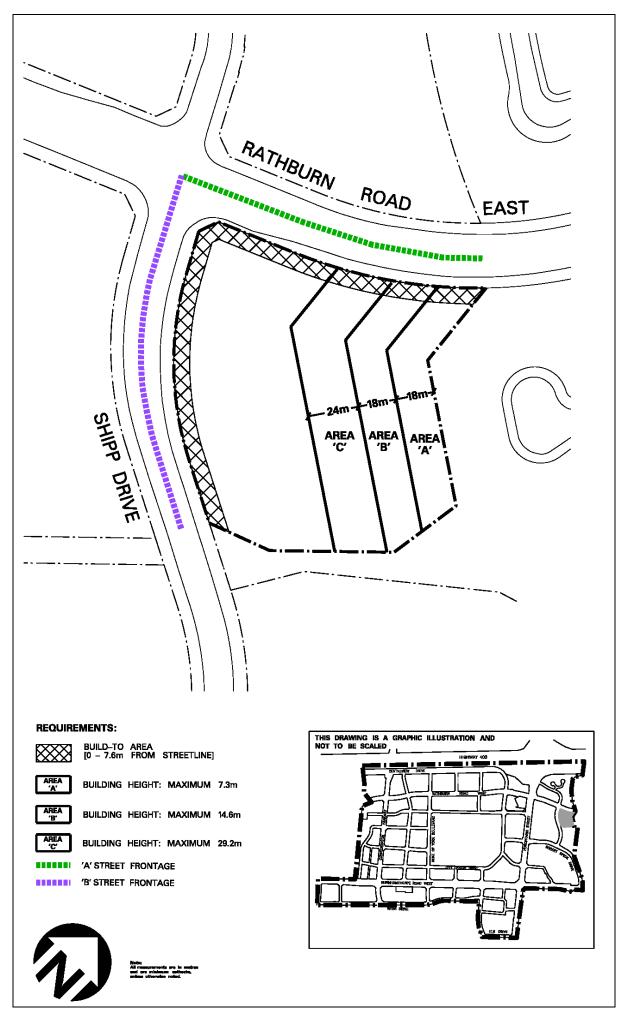


Schedule CC3(1)
Map 29
(0050-2013/LPAT Order 2020 June 08)



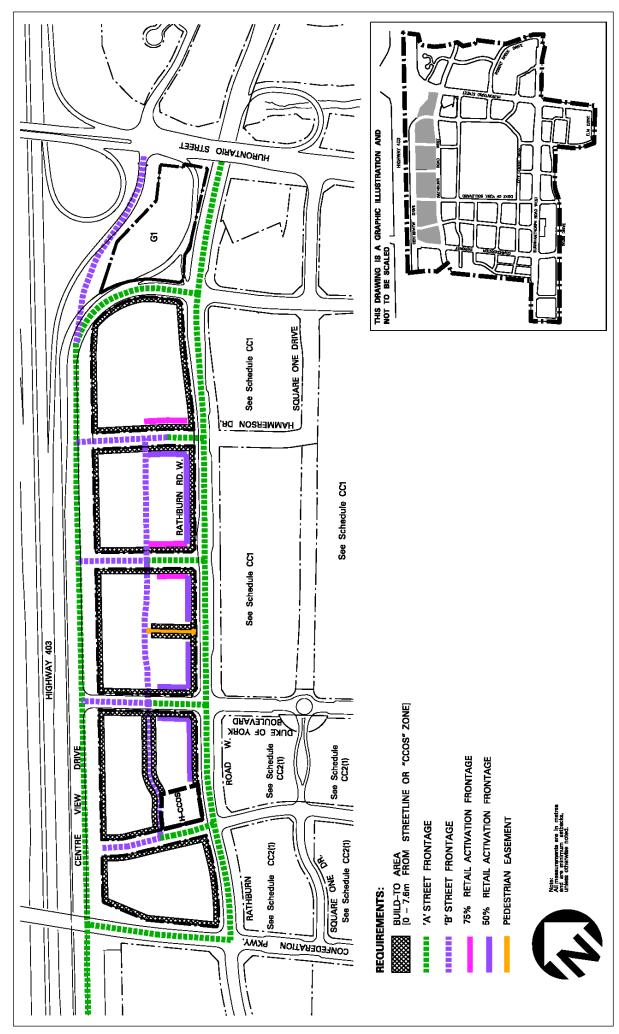
Schedule CC3(2) Map 28

Map 28 (0050-2013/LPAT Order 2020 June 08)



Schedule CC3(3)

Map 28 (0050-2013/LPAT Order 2020 June 08)

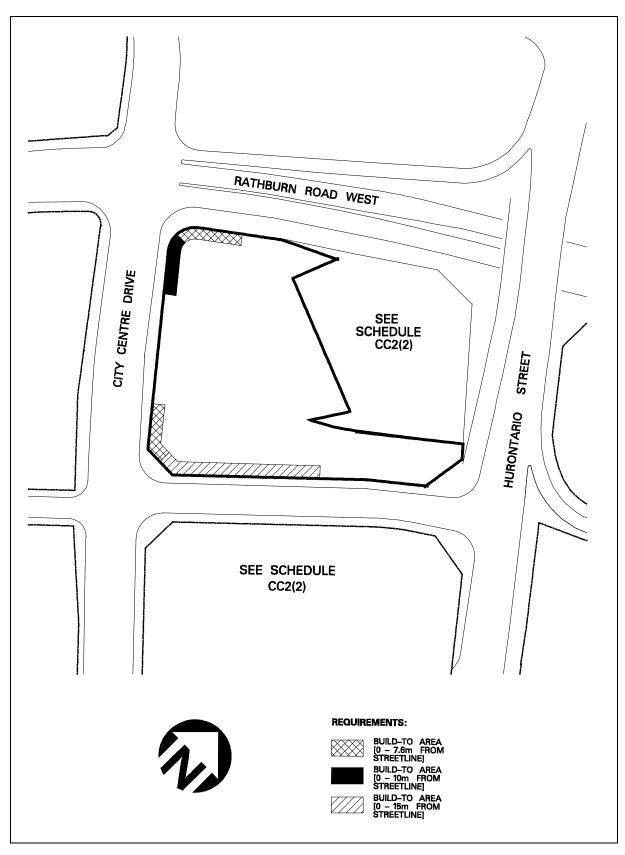


Schedule CCO Map 29 (0050-2013/LPAT Order 2020 June 08)

#### **7.2.2** CC1 Exception Zones

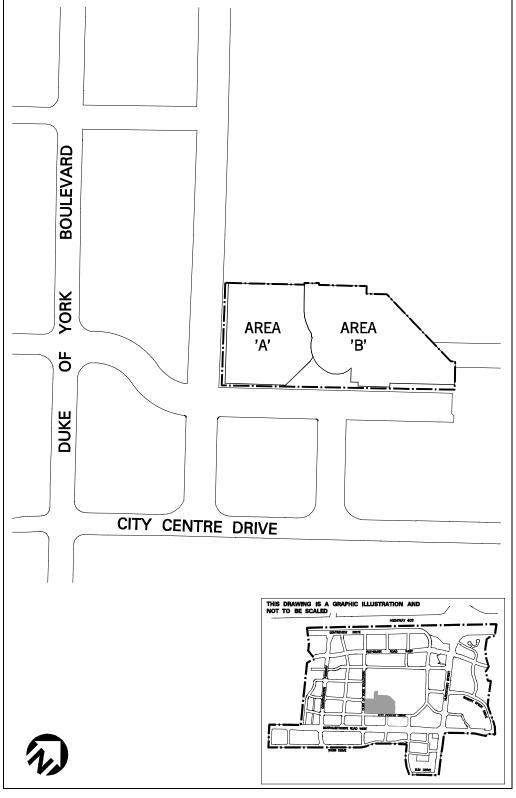
Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

7.2.2.1	Exception: CC1-1	Map # 29	By-law: 03 0308-2011	25-2008,
	ne the permitted <b>uses</b> and appling <b>uses</b> /regulations shall app		all be as specified fo	r a CC1 zone except
Regulations				
7.2.2.1.1	Minimum height			6.1 m
7.2.2.1.2	Minimum setback to a stree	et line		1.0 m
7.2.2.1.3	A minimum of one main fro structure shall be located w			
7.2.2.1.4	Notwithstanding Sentence 7 maximum of one <b>building</b> of main front entrance outside	or <b>structure</b> shall hav		
7.2.2.1.5	Maximum <b>gross floor area structure</b> subject to regulate of this Exception			1 400 m <sup>2</sup>
7.2.2.1.6	A driveway, aisle or parking the wall of a building or structure entrance and a lot line abutt	ructure not containin		
7.2.2.1.7	"Main Front Entrance" mean primary access point into a l the <b>build-to-area</b>		C	
7.2.2.1.8	All site development plans s this Exception	shall comply with Sc	hedule CC1-1 of	



Schedule CC1-1 Map 29

7.2.2.2	Exception: CC1-2	Map # 29	By-law: OMB Or 2014 February 20		
In a CC1-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC1 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations	Regulations				
7.2.2.2.1	Minimum glazing for <b>first storey streetwall</b> of non-residential <b>60% building</b> facing an 'A' <b>Street</b> Frontage within Area 'A'			60%	
7.2.2.2.2	2 Minimum height for Area 'A' 13.5 m			13.5 m	
7.2.2.2.3	Minimum height for Area 'B' 7.5 m			7.5 m	
7.2.2.2.4	"Height" means the measure top of the parapet of the low	ement from <b>established grad</b> vest roof	e to the		

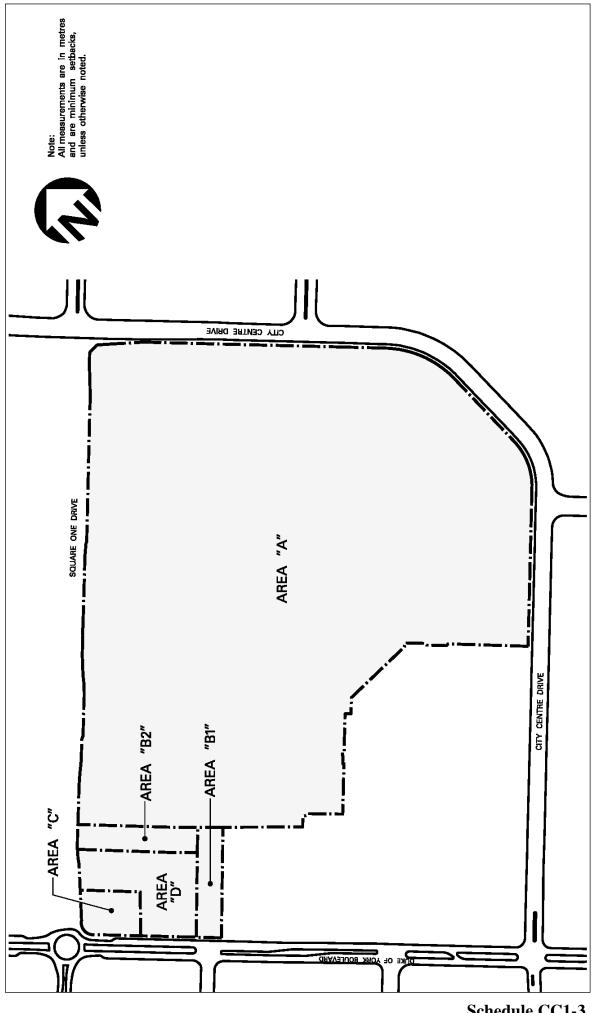


**Schedule CC1-2** Map 29

7.2.2.3	Exception: CC1-3	Map # 29	By-law: 005 LPAT Orde	50-2013/ r 2020 June 08
	ne the permitted <b>uses</b> and appling <b>uses</b> /regulations shall app		l be as specified for	a CC1 zone except
Additional Pe	rmitted Use			
7.2.2.3.1	(1) Motor Vehicle Sales	S		
Regulations				
7.2.2.3.2	Minimum combined floor s	pace index for Areas '	C' and 'D'	3.0
7.2.2.3.3	Maximum number of motor display per retail store	r vehicles permitted fo	r interior	4
7.2.2.3.4	Maximum number of require of test drive motor vehicles		ed for storage	20
7.2.2.3.5	Storage of test drive motor underground parking struc		located in an	
7.2.2.3.6	Minimum glazing for <b>first</b> s building facing an 'A' <b>Stree</b>		on-residential	60%
7.2.2.3.7	Minimum height of Areas 'A	A' and 'C'		10.7 m
7.2.2.3.8	Areas 'B1' and 'B2' shall per bridge above each <b>private</b> i		*	
7.2.2.3.9	Maximum width of a pedes	trian bridge		12.0 m
7.2.2.3.10	"Height" means the measure established grade measure lowest roof	_		
7.2.2.3.11	"Motor Vehicle Sales" mean sale of new motor vehicles	ns a <b>building</b> or part th	ereof, for the	

**Exception CC1-3 continued on next page** 

7.2.2.3	Exception: CC1-3	Map # 29	By-law: 0050-2013/ LPAT Order 2020 June 08			
<b>Exception CC</b>	Exception CC1-3 continued from previous page					
7.2.2.3.12	All site development plans shall comply with Schedule CC1-3 of this Exception					
<b>Holding Provi</b>	sion					
	part of the lands zoned H-CC Map 29 of Schedule B contain amended, upon satisfaction of	ned in Part 13 of this By-law, f the following requirements:	as			
	Development Agreem The Corporation of the and agreeing to the in required municipal we the provision of land widenings, and transition including the provision of required securities, the Servicing and Deverguire the gratuitous roads, including realign otherwise permitted us obligation upon a land construction of a new convey/dedicate to the a street on 'A' and 'B'	e City a right-of-way to be used <b>Street</b> Frontages identified on tof this By-law, where a <b>stree</b>	kways, ad , ed that blic ose an the ed for n the			
	the holding symbol H buildings and structu passing of this By-law permitted by the zone holding symbol H sha existing buildings wh gross floor area - no	I shall not prevent the <b>use</b> of <b>ures</b> legally <b>existing</b> on the day for any other <b>uses</b> which are in which they are located. Thall also not prevent alterations hich do not result in an increase <b>n-residential</b> or the addition of apport the <b>uses</b> within these <b>ex</b>	ne to se to of			

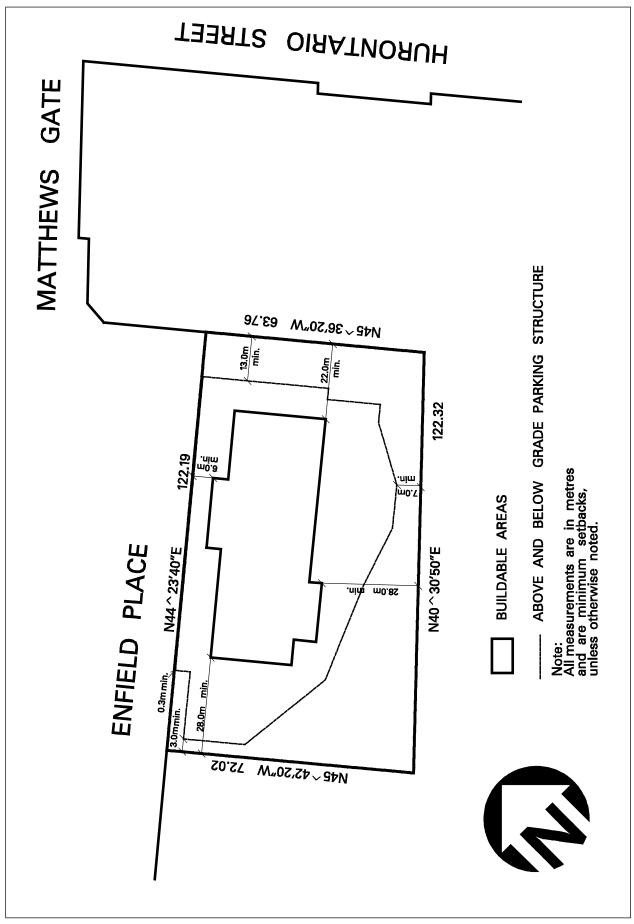


Schedule CC1-3 Map 29

#### 7.2.3 CC2 Exception Zones

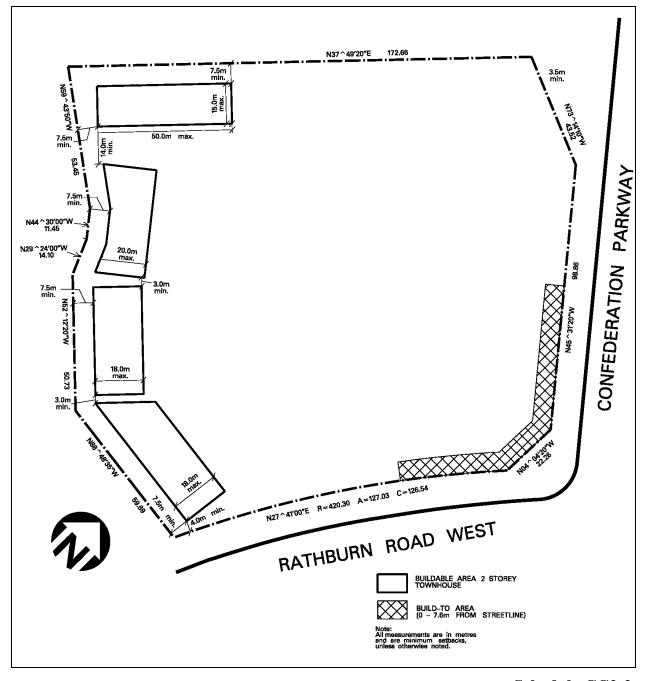
Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

7.2.3.1	Exception: CC2-1	Map # 22	By-law: 0174-2017	
In a CC2-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC2 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations				
7.2.3.1.1	Maximum number of dwelli	ing units	285	
7.2.3.1.2	Maximum floor space index - apartment zone		4.6	
7.2.3.1.3	Minimum landscaped area		65% of the <b>lot area</b>	
7.2.3.1.4	Maximum height		25 storeys	
7.2.3.1.5	Maximum number of tander	m resident <b>parking spaces</b>	10	
7.2.3.1.6	All site development plans s this Exception	hall comply with Schedule C	C2-1 of	



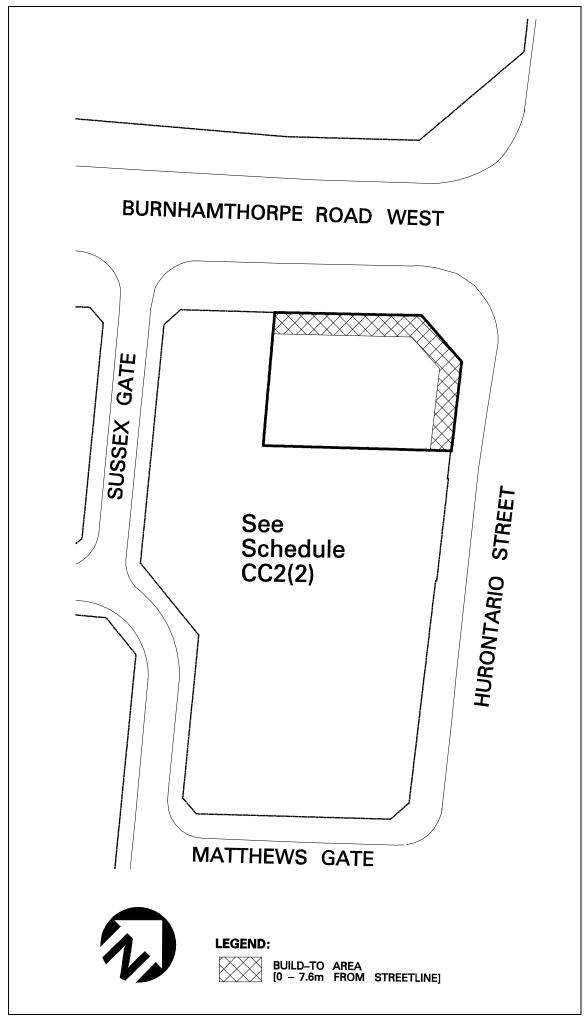
Schedule CC2-1 Map 22

7.2.3.2	Exception: CC2-2	Map # 29	By-law: 0181-2018/LPAT Order 2019 February 15		
that the following	In a CC2-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC2 zone except that the following <b>uses</b> /regulations shall apply:				
Additional Per	Additional Permitted Use				
7.2.3.2.1	7.2.3.2.1 (1) <b>Townhouse</b>				
Regulation					
7.2.3.2.2	All site development plans shall comply with Schedule CC2-2 of this Exception				



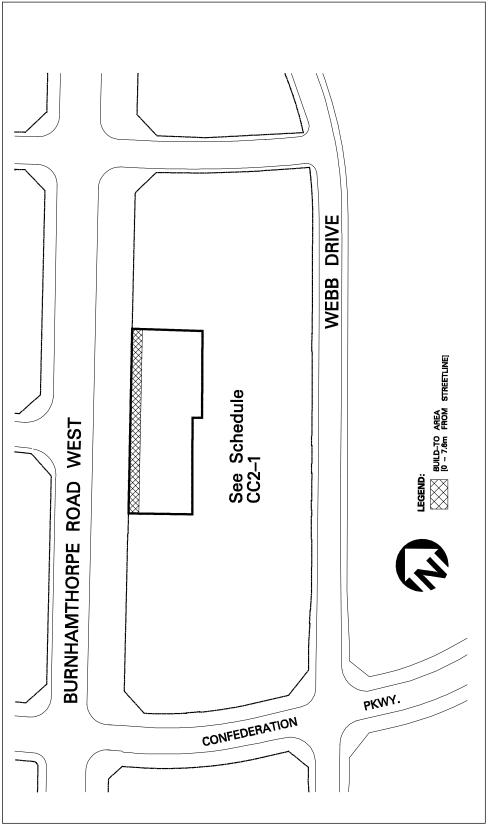
Schedule CC2-2 Map 29

7.2.2.2	Encom	₩ CC2 2	Man # 22	D., Jan., 0050 2012/	
7.2.3.3	Excep	tion: CC2-3	Map # 22	By-law: 0050-2013/ LPAT Order 2020 June 08	
In a CC2-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC2 zone except that the following <b>uses</b> /regulations shall apply:					
Additional Per	rmitted	Use			
7.2.3.3.1	(1)	Motor vehicle service station legally existing on the date of passing of this By-law			
Regulation					
7.2.3.3.2		e development plans s aception	shall comply with Schedule	CC2-3 of	
<b>Holding Provi</b>	sion				
	part of Map 2	the lands zoned H-Co 2 of Schedule B conta	be removed from the whole C2-3 by further amendment ained in Part 13 of this By-l of the following requirement	t to aw, as	
	(1)	Development Agree Corporation of the Cagreeing to the instanunicipal works, in provision of land de widenings, and transincluding the provision required securities, at the Servicing and Dorequire the gratuitour oads, including reacotherwise permitted an obligation upon a the construction of a	*	to The sing and required vs, the bad sents, ons of ided that all not w public not impose pay for	
	(2)	(2) convey/dedicate to the City a right-of-way to be used for a <b>street</b> on 'A' and 'B' <b>Street</b> Frontages identified on the Schedules of this Part of this By-law, where a <b>street</b> currently does not exist;			
	(3)	of passing of this By permitted by the zon holding symbol H sl existing buildings we gross floor area - n	H shall not prevent the use etures legally existing on the y-law for any other uses where in which they are located hall also not prevent alteration which do not result in an incon-residential or the additional support the uses within these etures.	ne date  iich are  l. The  ions to  crease to  ion of	



Schedule CC2-3 Map 22

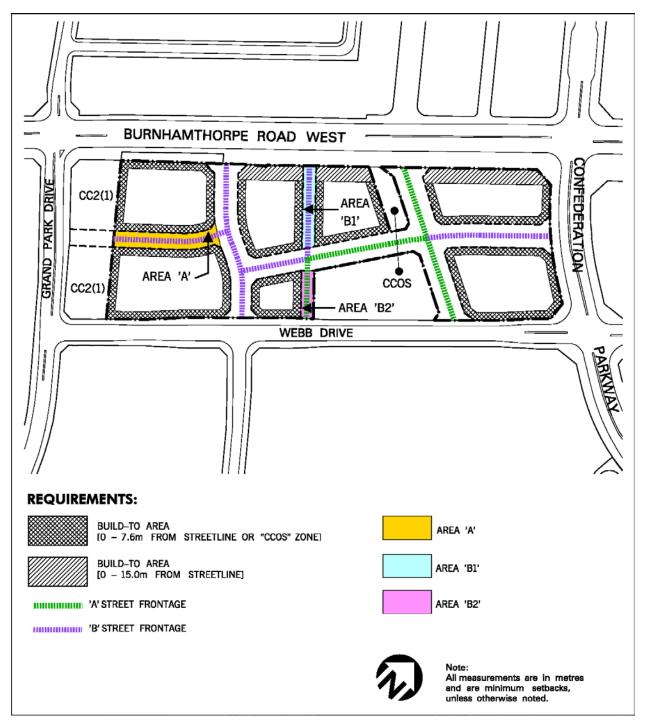
7.2.3.4	Exception: CC2-4	Map # 22	By-law:		
In a CC2-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC2 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations	Regulations				
7.2.3.4.1	7.2.3.4.1 The regulations of Sentences 3.1.1.4.3 and 3.1.1.4.4 of this By-law shall not apply				
7.2.3.4.2	2.3.4.2 All site development plans shall comply with Schedule CC2-4 of this Exception				



Schedule CC2-4 Map 22

7.2.3.5	Excepti	on: CC2-5	Map # 22	By-law: OMB Order 2015 May 11, 0078-2019, 0094-2021, 0052-2022
		rmitted <b>uses</b> and appregulations shall app		specified for a CC2 zone except
Regulations				
7.2.3.5.1	buildin		area of the <b>first storey street</b> residential use facing an 'A' <b>S</b> ong	
7.2.3.5.2	Restau	rants shall be permi	tted on the <b>first</b> and second <b>s</b>	toreys
7.2.3.5.3	Area 'A	•	w grade <b>parking structure</b> u	nder
7.2.3.5.4			rmit below grade <b>parking str</b> urface public access easement	
7.2.3.5.5	All site this Exc		shall comply with Schedule C	CC2-5 of
<b>Holding Provi</b>	sion			
	part of of Sche	the lands zoned H-C dule B contained in	be removed from the whole of C2-5 by further amendment the Part 13 of this By-law, as amount owing requirements:	o Map 22
	(1)	Development Agree Corporation of the agreeing to the inst municipal works, in provision of land devidenings, and transincluding the provision of land frequired securities, the Servicing and I require the gratuito roads, including reaction of a new construction of a new the holding symbol buildings and strue passing of this By-by the zone in whice	H shall not prevent the <b>use</b> of <b>ctures</b> legally <b>existing</b> on the law for those <b>uses</b> which are put they are located, or the exposupport the <b>uses</b> within these	or The organd equired so, the organd equired so, the organd equired so, the organism of the organism organism of the organism organism organism of the organism o

Revised: 2023 March 31 Page 7.2.3 ~ 7



Schedule CC2-5 Map 22

## Part 7 - Downtown Core Zones

7.2.3.6	Exception: CC2-6	Map # 29	By-law: 0174-2017
	e the permitted <b>uses</b> and appl ng <b>uses</b> /regulations shall app	•	specified for a CC2 zone except
Additional Per	mitted Uses		
7.2.3.6.1	(1) Outdoor markets' an	d other outdoor sales	
Regulation			
7.2.3.6.2	The provisions of Lines 4.0 this By-law shall not apply	and 5.0 contained in Table 2.	1.9.7 of

7.2.3.7	Exception: CC2-7	Map # 22	By-law: OLT Order 2021 October 21			
	In a CC2-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CC2 zone except that the following <b>uses</b> /regulations shall apply:					
Regulation						
7.2.3.7.1	The regulations of Line 5.1 By-law shall not apply	contained in Table 7.2.1 of th	iis			

Revised: 2023 March 31 Page 7.2.3 ~ 9

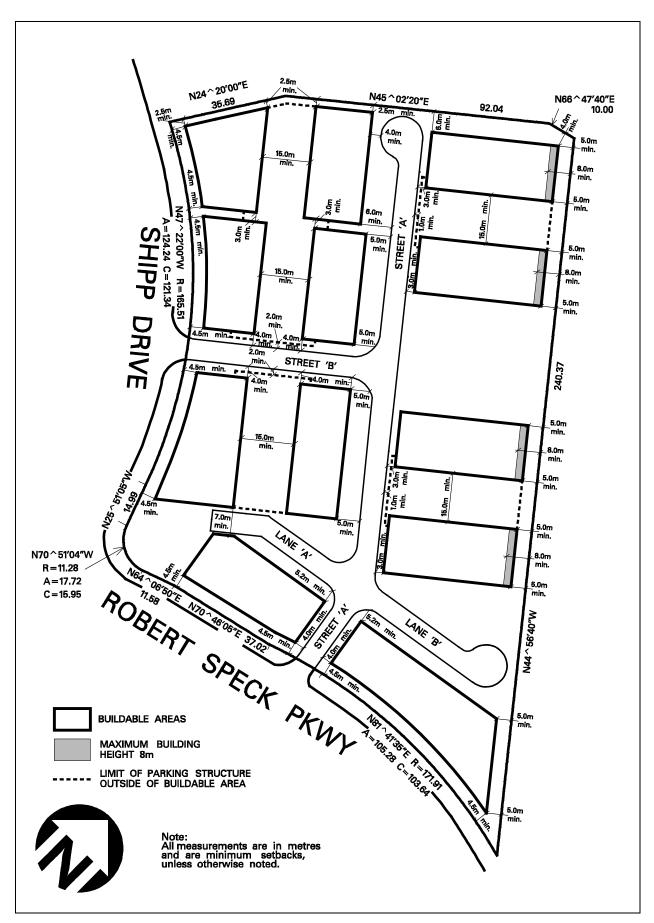
7.2.3.8	Exception: CC2-8	Map # 22	By-law: 0050-2013/ LPAT Order 2020 June 08
	one the permitted <b>uses</b> and app wing <b>uses</b> /regulations shall ap		be as specified for a CC2 zone except
Regulations			
7.2.3.8.1	Minimum Retail Activatio Burnhamthorpe Road Wes		fronting onto 65%
7.2.3.8.2	Pedestrian access to units a <b>building</b> with a <b>first store</b> be provided through a <b>mai</b>	y streetwall facing Webl	Drive may
7.2.3.8.3	Access for vehicle servicing garbage pick-up and loading Burnhamthorpe Road Wes	ng) may be permitted from	
Holding Pro	vision		
	Development Agree The Corporation of and agreeing to the required municipal	CC2-8 by further amendn n Part 13 of this By-law, a	nent to Map 22 as amended,  nt and/or ory to addressing t of all pal walkways,
	widenings, and traincluding the provious of required securities that the Servicing a not require the grapublic roads, inclusion otherwise pernimpose an obligation	nsit rights-of-way and easision of parkland, the pro- ies, and related provisions and Development Agreen tuitous dedication of land ding realignments of road nitted under the <i>Planning</i> on upon a landowner to catton of a new road;	sements, visions s provided nents will for new ds, where Act or
	(2) convey/dedicate to a <b>street</b> on 'A' and	the City a right-of-way to the City a right-of-way to B' <b>Street</b> Frontages identified a right of this By-law, where	tified on the
	(3) the holding symbol of <b>buildings</b> and <b>s</b> of passing of this I permitted by the zet holding symbol H <b>existing buildings gross floor area</b> -	It H shall not prevent the tructures legally existing By-law for any other uses one in which they are local shall also not prevent alto which do not result in an non-residential or the according to support the uses within	g on the date which are ated. The erations to increase to ddition of

## 7.2.4 CC3 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

7.2.4.1	Exception: CC3-1	Map # 28		181-2018/LPAT 9 February 15, 2
	ne the permitted <b>uses</b> and appling <b>uses</b> /regulations shall app	licable regulations shall be as ly:	specified f	or a CC3 zone except
Additional Per	rmitted Uses			
7.2.4.1.1	<ul><li>(1) Townhouse</li><li>(2) Street Townhouse</li></ul>			
Regulations				
7.2.4.1.2	Maximum <b>gross floor area</b> Schedule CC3-1 of this Exc	- residential on all lands sho eption	wn on	20 000 m <sup>2</sup>
7.2.4.1.3	Minimum landscaped open	space area		40% of the <b>lot area</b>
7.2.4.1.4	Maximum <b>height</b> - <b>townho</b> measured from <b>established</b> <b>sloped roof</b>	use: grade to the highest ridge of	a	13.0 m
7.2.4.1.5				0.6 m
7.2.4.1.6	without a foundation, exclusion	rches, balconies and terraces, sive of stairs, outside the n Schedule CC3-1 of this Exc		2.0 m
7.2.4.1.7	Minimum aisle width			6.0 m
7.2.4.1.8		ce for <b>overnight accommoda</b> entre/convention centre, rest tainment establishment		60.0 m
7.2.4.1.9	Minimum visitor parking s	paces per dwelling unit		0.30
7.2.4.1.10	line from the nearest part of	as a distance measured in a str the <b>building</b> or <b>structure</b> or e containing the <b>use</b> , to the clo	portion	
7.2.4.1.11	All site development plans s this Exception	shall comply with Schedule C	C3-1 of	

Revised: 2023 January 31 Page 7.2.4 ~ 1



Schedule CC3-1 Map 28

### **7.2.5** CC4 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

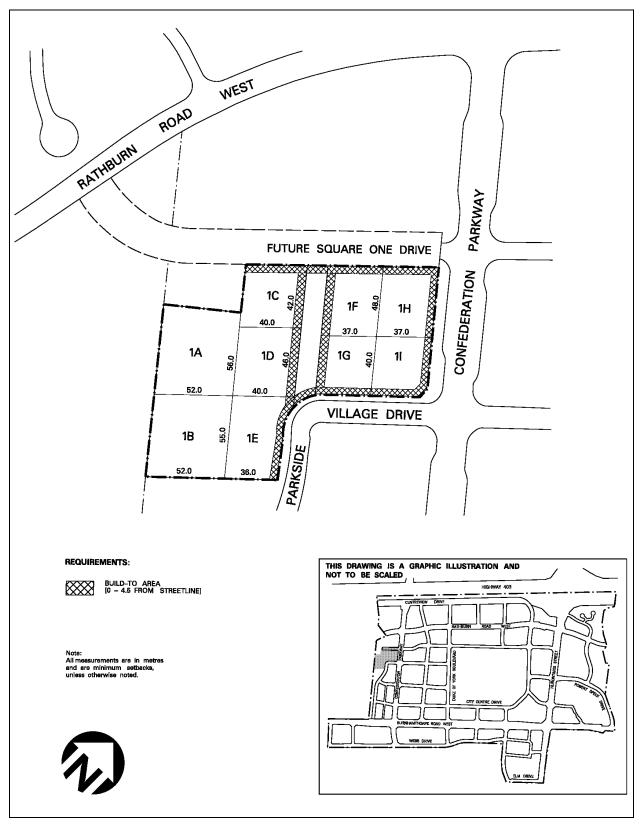
7.2.5.1		icable regular	Map a		d for a CC4	By-law: 0105-2013, 0026-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0050-2013/LPAT Order 2020 June 08, 0149-2020 zone except that the following
uses/regulation		_	LIONS SHAII DC	as specific	u 101 a CC4	zone except that the following
Permitted Us	ses					
7.2.5.1.1	CC3 or C	oned CC4-1 a OS1 shall only Iding or retir	y be used for	an <b>apartm</b>		
Regulations						
7.2.5.1.2	on Parce	m heights and l Blocks 1A t on shall confo	o 1I as ident	ified on Sch	nedule CC4-	
	Parcel Block	Maximum Building Height	Maximum Tower Floor Plate	Minimum Podium Height	Maximum Podium Height	
	1A	81.0 m and 24 <b>storeys</b>	670 m <sup>2</sup>	7.0 m and 3 storeys	18.0 m and 5 storeys	
	1B	81.0 m and 24 storeys	670 m <sup>2</sup>	7.0 m and 3 storeys	18.0 m and 5 storeys	
	1C	18.0 m and 5 storeys		7.0 m and 3 storeys	18.0 m and 5 storeys	
	1D	106.0 m and 34 storeys	740 m <sup>2</sup>	12.0 m and 3 storeys	25.0 m and 7 storeys	
	1E	18.0 m and 5 storeys		7.0 m and 3 storeys	18.0 m and 5 storeys	
	1F	98.0 m and 20 storeys	740 m <sup>2</sup>	12.0 m and 3 storeys	25.0 m and 7 storeys	
	1G	18.0 m and 5 storeys		7.0 m and 3 storeys	18.0 m and 5 storeys	
	1H	18.0 m and 5 storeys		7.0 m and 3 storeys	18.0 m and 5 storeys	
	11	139.0 m and 45 storeys	790 m <sup>2</sup>	12.0 m and 3 storeys	25.0 m and 7 storeys	
7.2.5.1.2A		lations of Lir contained in T				
7.2.5.1.3	Motor v zoned Co	<b>ehicle</b> parkin C4-1	g may be pro	ovided off si	ite on lands	
7.2.5.1.4	identified structur care or r setback t	standing the rad on Schedule or part there tirement but on a street ling or structure	e CC4-1 of the cof is used for a condition in the condition is a condition in the condition	nis Exception an aparts or an aparts or situated at 0 m to that p	on, where a <b>l</b> ment, long-t t grade, the i	building, term minimum
7.2.5.1.5	Exceptio	standing the pon, a lobby loo um of 1.5 m i	cated on the	ground floo	r level may	encroach
7.2.5.1.6	Exceptio	standing the pon, a <b>balcony</b> into the requi	and bay win	dow may er		

**Exception CC4-1 continued on next page** 

7.2.5.1	Exception: CC4-1	Map # 29	By-law: 0105-2013, 0026-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0050-2013/ LPAT Order 2020 June 08, 0149-2020
<b>Exception Co</b>	C4-1 continued from previou	s page	
7.2.5.1.7	Exception, an open staircase	ons of Sentence 7.2.5.1.4 of the and <b>porch</b> located on the gramaximum of 1.5 m into the results.	round
7.2.5.1.8	apply to those parts of a <b>bui</b> ground floor level, at or with	7.2.5.1.4 of this Exception shalding or structure located or hin the build-to-area identification used for a permitted use.4 of this By-law	n the ied on
7.2.5.1.9	Schedule CC4-1 of this Exc entrances for the purposes of lands and landscaped areas entrances shall be permitted	ements of <b>build-to-areas</b> identention, vehicular and pedestrate ingress and egress to and frabutting vehicular and pedestrand shall not be included in the <b>area</b> identified on Schedule Control of the	ian rom the crian the
7.2.5.1.10	Minimum setback to the <b>lot</b> and OS1	<b>lines</b> abutting the lands zone	ed CCOS 5.75 m
7.2.5.1.11	Minimum setback to a cond	lominium road	4.5 m
7.2.5.1.12	Exception, a balcony, open	ons of Sentence 7.2.5.1.11 of staircase, <b>porch</b> and bay win m into the required setback	
7.2.5.1.13	<b>building</b> , <b>structure</b> or part has a minimum separation of	Exception is only permitted we thereof abutting a <b>condomin</b> distance of 18.5 m from anoth thereof located on the opposition.	<b>ium road</b> ner
7.2.5.1.14	Maximum setback to a cond	dominium road	6.0 m
7.2.5.1.15		7.2.5.1.14 of this Exception s  re or part thereof containing	
7.2.5.1.16	* *	law, Parcel Blocks 1A to 1E -1 of this Exception shall be	inclusive
7.2.5.1.17		law, Parcel Blocks 1F to 1I in -1 of this Exception shall be	nclusive

**Exception CC4-1 continued on next page** 

7.2.5.1	Exception: CC4-1	Map # 29	By-law: 0105-2013, 0026-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0050-2013/LPAT Order 2020 June 08, 0149-2020
<b>Exception CC</b>	4-1 continued from previous	s page	
7.2.5.1.18	All site development plans s this Exception	shall comply with Schedule C	C4-1 of



**Schedule CC4-1** Map 29

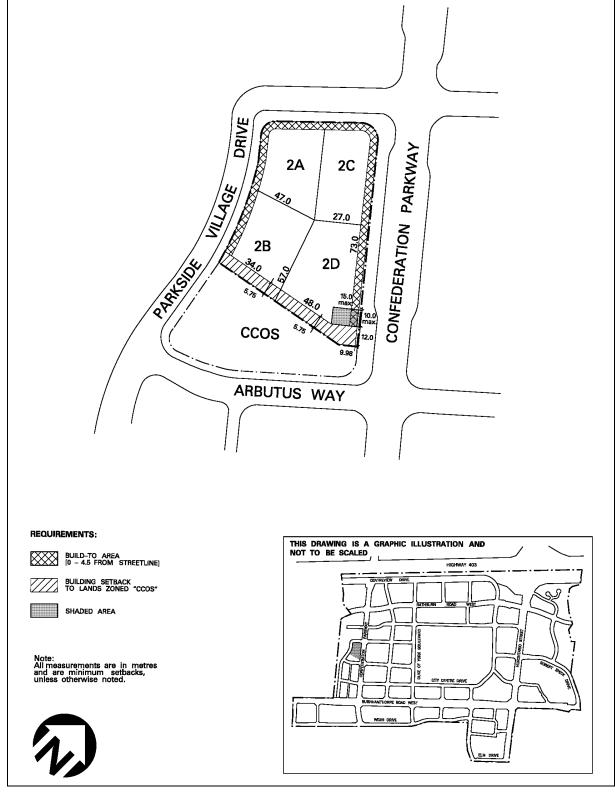
7.2.5.2	Exception	on: CC4-2	Ma	np # 29		By-law: 0026-2014, 0174-2017, 0050-2013/ LPAT Order 2020 June 08,
						0149-2020
In a CC4-2 zor	_			ole regulations	shall be as s	specified for a CC4 zone except
Regulations						
7.2.5.2.1	structur Schedule	es on Parcel	Blocks 2A	tes of all <b>build</b> i to 2D as ident on shall confor	ified on	
	Parcel Block	Maximum Building Height	Maximur Tower Floor Pla	Podium	Maximum Podium Height	
	2A	124.0 m and 40 <b>storeys</b>	790 m <sup>2</sup>	7.0 m and 3 <b>storeys</b>	18.0 m and 5 storeys	
	2B	46.0 m and 12 storeys	1 000 m <sup>2</sup>		18.0 m and 5 storeys	
	2C	25.0 m and 7 storeys		12.0 m and 3 storeys	25.0 m and 7 storeys	
	2D	154.0 m and 55 <b>storeys</b>	929 m <sup>2</sup>	12.0 m and 3 storeys	25.0 m and 7 storeys	
7.2.5.2.1A	_	ılations of Li		A.0 to 4A.11, 40 By-law shall no	C.0 to 4C.2	and 5.1
7.2.5.2.2	Motor v	ehicle parkin	g may be	provided off sit	e on lands	zoned
7.2.5.2.3	identified building long-ter the minim	d on Schedul g, structure o m care or re mum setback	e CC4-2 or part then tirement to a stree	dimensions of the finist Exception reof is used for a building and is the shall be 3 notaining that use	n, where a an apartme situated at 3.0 m to that	e <b>nt</b> , grade,
7.2.5.2.4	Exception	on, a lobby lo	cated on the	of Sentence 7.2 ne ground floor into the required	level may	
7.2.5.2.5	Exception	on, a <b>balcony</b>	and bay v	of Sentence 7.2 vindow may end t line setback		
7.2.5.2.6	of 1.5 m into the required <b>street line</b> setback  The provisions of Sentence 7.2.5.2.3 of this Exception shall not apply to those parts of a <b>building</b> , <b>structure</b> or parts thereof located on Parcel Blocks 2C and 2D facing Confederation Parkway as identified on Schedule CC4-2 of this Exception					
7.2.5.2.7	The provisions of Sentences 7.2.5.2.3 and 7.2.5.2.4 of this Exception shall not apply to those parts of a <b>building</b> or <b>structure</b> located above the ground floor level located on the lands identified in Sentence 7.2.5.2.6 of this Exception					
7.2.5.2.8	Notwithstanding the provisions of Sentence 7.2.5.2.3 of this Exception, an open staircase and <b>porch</b> located on the ground floor level may encroach a maximum of 1.5 m into the required <b>street line</b> setback					
7.2.5.2.9	apply to ground f Schedule	those parts o loor level, at	f a <b>buildi</b> or within is Excepti	5.2.3 of this Ex ng or structure the build-to-ar on used for a per f this By-law	located on ea identifie	the d on

**Exception CC4-2 continued on next page** 

7.2.5.2	Exception: CC4-2	Map # 29	By-law: 0026-2014, 0174-2017, 0050-2013/ LPAT Order 2020 June 08, 0149-2020		
<b>Exception C</b>	C4-2 continued from previou	s page			
7.2.5.2.10	on Schedule CC4-2 of this lentrances for the purposes of lands and landscaped area entrances shall be permitted	ements of <b>build-to-areas</b> identification, vehicular and pedentification, vehicular and pedentification of ingress and egress to and find the sabutting vehicular and pedentification of the included in the area identified on Schedule (	estrian rom the estrian the		
7.2.5.2.11	identified on Schedule CC4	loor of all <b>buildings</b> and <b>stru</b> -2 of this Exception that abut ll be allocated for a permitted .4 of this By-law	ts		
7.2.5.2.12	maximum of 40% of the lin Schedule CC4-2 of this Exc	7.2.5.2.11 of this Exception, a lear <b>building</b> frontage identification that abuts Confederations of the than a <b>use</b> identified that	ied on ion		
7.2.5.2.13	identified on Schedule CC4	loor of all <b>buildings</b> and <b>stru</b> -2 of this Exception that abuse ated for a permitted <b>use</b> ident law	ts lands		
7.2.5.2.14	maximum of 30% of the lin Schedule CC4-2 of this Exc	7.2.5.2.13 of this Exception, a tear <b>building</b> frontage identifiception that abuts lands zone other than a <b>use</b> identified in law	ied on I		
7.2.5.2.15	Notwithstanding Sentence 7.2.5.2.13 of this Exception, the ground floor area of all <b>buildings</b> and <b>structures</b> within the shaded area of Parcel Block 2D identified on Schedule CC4-2 of this Exception shall be restricted to the use of a <b>restaurant</b> having a minimum area of 100 m <sup>2</sup> <b>gross floor area</b> - <b>non-residential</b> , with or without a patio				
7.2.5.2.16	For the purpose of Sentences 7.2.5.2.11 and 7.2.5.2.15 of this Exception, each individual unit, located at or within the <b>build-to-area</b> , containing a <b>use</b> identified in Subsection 7.1.4 of this By-law, shall be required to provide a pedestrian access through the <b>main front entrance</b> which shall face Confederation Parkway				
7.2.5.2.17	For the purpose of Sentence 7.2.5.2.13 of this Exception, each individual unit containing a <b>use</b> identified in Subsection 7.1.4 of this By-law, shall be required to provide a pedestrian access through the <b>main front entrance</b> which shall face lands zoned CCOS				
7.2.5.2.18	For the purpose of this Exception, linear <b>building</b> frontage shall be measured for that portion of the <b>building</b> located at or within the <b>build-to-area</b> measured from the exterior of outside walls parallel to the <b>street line</b>				
7.2.5.2.19	Where a <b>lot</b> or <b>block</b> abuts lands zoned CCOS and is located within Parcel Blocks 2B and 2D as identified on Schedule CC4-2 of this Exception, the minimum <b>building</b> setback to lands zoned CCOS shall be in accordance with Schedule CC4-2 of this Exception				
7.2.5.2.20		ions of Sentence 7.2.5.2.19 of anopy may project a maximum			

**Exception CC4-2 continued on next page** 

7.2.5.2	Exception: CC4-2	Map # 29	By-law: 0026-2014, 0174-2017, 0050-2013/ LPAT Order 2020 June 08, 0149-2020	
<b>Exception CC</b>	4-2 continued from previou	s page		
7.2.5.2.21		ses of this By-law, Parcel Blocks 2A to 2D tified on Schedule CC4-2 of this Exception shall one property		
7.2.5.2.22	All site development plans sof this Exception	shall comply with Schedule CO	C4-2	



Schedule CC4-2 Map 29

In a CC4-3 zone the permitted uses and applicable regulations shall be as specified for a CC4 zo that the following uses/regulations shall apply:    Regulations	7.2.5.3	Exception	on: CC4-3	Мар	# 29		By-law: 0089-2010, 0105-2013, 0026-2014, 0174-2017, 0050-2013/ LPAT Order 2020 June 0
Maximum heights and floor plates of all buildings and structures on Parcel Blocks 3A to 3J as identified on Schedule CC4-3 of this Exception shall conform to the following schedule:    Parcel   Maximum Block   Musimum Podium Height   Maximum Podium Height   S storeys   3	that the follo	wing uses/re			regulations	shall be as	specified for a CC4 zone e
Block   Building   Height   Floor Plate   Floor Plate   Floor Plate   Floor Plate   Height   Height		Maximu structur Schedule	res on Parcel e CC4-3 of th	Blocks 3A to	o 3J as ident	tified on	
22 storeys   3 storeys   5 storeys			Building	Tower	Podium	Podium	
3B		3A		730 m <sup>2</sup>			
3C   70.0 m and   22 storeys   7.0 m and   3 storeys   5 storeys     3D   12.0 m and   3 storeys   3 storeys   3 storeys     3E   109.0 m and   36 storeys   3 storeys   5 storeys     3F   14.0 m and   3 storeys   3 storeys   3 storeys     3G   109.0 m and   3 storeys   3 storeys   3 storeys     3G   109.0 m and   36 storeys   3 storeys   3 storeys     3G   109.0 m and   36 storeys   3 storeys   5 storeys     3H   30.0 m and   7 storeys   3 storeys     3I   136.0 m and   790 m²   12.0 m   30.0 m and   7 storeys   3 storeys     3J   30.0 m and   7 storeys   3 storeys   3 storeys     3J   30.0 m and   7 storeys   3 storeys		3B	21.0 m and		7.0 m and	21.0 m and	
3 storeys   5 storeys   5 storeys   3 storeys   3 storeys   5 storeys   3 storeys   5 storeys   3 storeys   5 storeys   3 storeys   5 storeys   3 storeys   5 storeys   3 st		3C	70.0 m and	730 m <sup>2</sup>	7.0 m and	18.0 m and	
36 storeys   3 storeys   5 storeys		3D					
3F 14.0 m and 3 storeys 3 storeys 3 storeys  3G 109.0 m and 663 m² 7.0 m and 18.0 m and 36 storeys 5 storeys  3H 30.0 m and 7 storeys 3 storeys  3I 136.0 m and 790 m² 12.0 m and 7 storeys 3 storeys  3J 30.0 m and 790 m² 12.0 m and 7 storeys 3 storeys  3J 30.0 m and 7 storeys 3 storeys  3J 30.0 m and 7 storeys 3 storeys  3The regulations of Lines 3.2, 4A.0 to 4A.11, 4C.0 to 4C.2 and 5.1		3E		663 m <sup>2</sup>			
3G   109.0 m and   36 storeys   3 storey		3F	14.0 m and		7.0 m and	14.0 m and	
3H 30.0 m and 7 storeys 3 storeys  3I 136.0 m and 45 storeys 790 m <sup>2</sup> 12.0 m and 7 storeys 3 storeys  3J 30.0 m and 7 storeys 3 storeys 3 storeys 3 storeys 3 storeys  The regulations of Lines 3.2, 4A.0 to 4A.11, 4C.0 to 4C.2 and 5.1		3G	109.0 m and	663 m <sup>2</sup>	7.0 m and	18.0 m and	
45 storeys		ЗН	30.0 m and		12.0 m and	30.0 m and	
7 storeys and 3 storeys 7 storeys  7.2.5.3.1A The regulations of Lines 3.2, 4A.0 to 4A.11, 4C.0 to 4C.2 and 5.1		3I		790 m <sup>2</sup>	and		
		3J			and		
contained in Table 7.2.1 of this By-law shall not apply	7.2.5.3.1A	The regulations of Lines 3.2, 4A.0 to 4A.11, 4C.0 to 4C.2 and 5.1 contained in Table 7.2.1 of this By-law shall not apply					

# 7.2.5.3.2 **Motor vehicle** parking may be provided off site on lands zoned CC4-3

7.2.5.3.3 Notwithstanding the minimum dimensions of the **build-to-areas** identified on Schedule CC4-3 of this Exception, where a **building**, **structure** or part thereof is used for an **apartment**, **long-term care** or **retirement building** and is situated at grade, the minimum setback to a **street line** shall be 3.0 m to that portion of the **building** or **structure** containing that **use** 

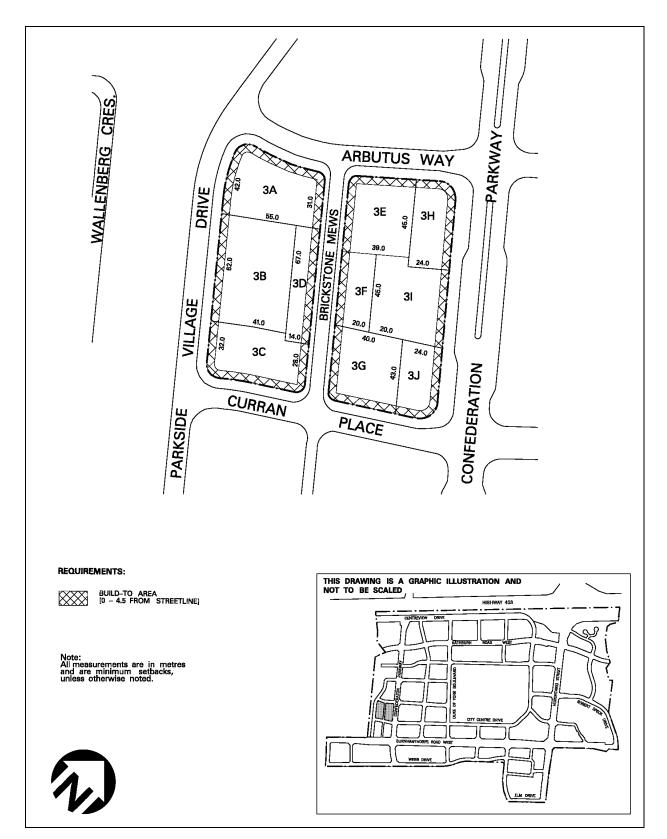
7.2.5.3.4 Notwithstanding the provisions of Sentence 7.2.5.3.3 of this Exception, a lobby located on the ground floor level may encroach a maximum of 1.5 m into the required **street line** setback

7.2.5.3.5 Notwithstanding the provisions of Sentence 7.2.5.3.3 of this Exception, a **balcony** and bay window may encroach a maximum of 1.5 m into the required **street line** setback

7.2.5.3.6 The provisions of Sentence 7.2.5.3.3 of this Exception shall not apply to those parts of a **building**, **structure** or parts thereof located on Parcel Blocks 3H, 3I and 3J facing Confederation Parkway as identified on Schedule CC4-3 of this Exception

**Exception CC4-3 continued on next page** 

7.2.5.3	Exception: CC4-3	Map # 29	By-law: 0089-2010, 0105-2013, 0026-2014, 0174-2017, 0050-2013/ LPAT Order 2020 June 08				
Exception Co	C4-3 continued from previous	s page					
7.2.5.3.7	Exception shall not apply to <b>structure</b> located above the	The provisions of Sentences 7.2.5.3.3 and 7.2.5.3.4 of this Exception shall not apply to those parts of a <b>building</b> or <b>structure</b> located above the ground floor level located on the lands identified in Sentence 7.2.5.3.6 of this Exception					
7.2.5.3.8	Exception, an open staircase	ons of Sentence 7.2.5.3.3 of the and <b>porch</b> located on the gramaximum of 1.5 m into the re	ound				
7.2.5.3.9	apply to those parts of a <b>bui</b> ground floor level, at or with	7.2.5.3.3 of this Exception shalding or structure located or hin the build-to-area identification used for a permitted use.4 of this By-law	n the ed on				
7.2.5.3.10	Notwithstanding the requirements of <b>build-to-areas</b> identified on Schedule CC4-3 of this Exception, vehicular and pedestrian entrances for the purposes of ingress and egress to and from the lands and <b>landscaped areas</b> abutting vehicular and pedestrian entrances shall be permitted and shall not be included in the calculation of the <b>build-to-area</b> identified on Schedule CC4-3 of this Exception						
7.2.5.3.11	The portion of the ground floor of all <b>buildings</b> and <b>structures</b> identified on Schedule CC4-3 of this Exception that abuts Confederation Parkway shall be allocated for a permitted use identified in Subsection 7.1.4 of this By-law						
7.2.5.3.12	Notwithstanding Sentence 7.2.5.3.11 of this Exception, a maximum of 40% of the linear <b>building</b> frontage identified on Schedule CC4-3 of this Exception that abuts Confederation Parkway may be used for use other than a use identified in Subsection 7.1.4 of this By-law						
7.2.5.3.13	For the purpose of Sentence 7.2.5.3.11 of this Exception, each individual unit, located at or within the <b>build-to-area</b> , containing a <b>use</b> identified in Subsection 7.1.4 of this By-law, shall be required to provide a pedestrian access through the <b>main front entrance</b> which shall face Confederation Parkway						
7.2.5.3.14	The portion of the ground floor of all <b>buildings</b> and <b>structures</b> located on Parcel Blocks 3E and 3H identified on Schedule CC4-3 of this Exception that abuts Princess Royal Drive shall be allocated for a permitted <b>use</b> identified in Subsection 7.1.4 of this By-law						
7.2.5.3.15	Notwithstanding Sentence 7.2.5.3.14 of this Exception, a maximum of 40% of the linear <b>building</b> frontage located on Parcel Blocks 3E and 3H identified on Schedule CC4-3 of this Exception that abuts Princess Royal Drive may be used for use other than a <b>use</b> identified in Subsection 7.1.4 of this By-law						
7.2.5.3.16	For the purpose of this Exception, linear <b>building</b> frontage shall be measured for that portion of the <b>building</b> located at or within the <b>build-to-area</b> measured from the exterior of outside walls parallel to the <b>street line</b>						
7.2.5.3.17	For the purposes of this By-law, Parcel Blocks 3A to 3D inclusive identified on Schedule CC4-3 of this Exception shall be considered one property						
7.2.5.3.18	For the purposes of this By-law, Parcel Blocks 3E to 3J inclusive identified on Schedule CC4-3 of this Exception shall be considered one property						
7.2.5.3.19	All site development plans shall comply with Schedule CC4-3 of this Exception						

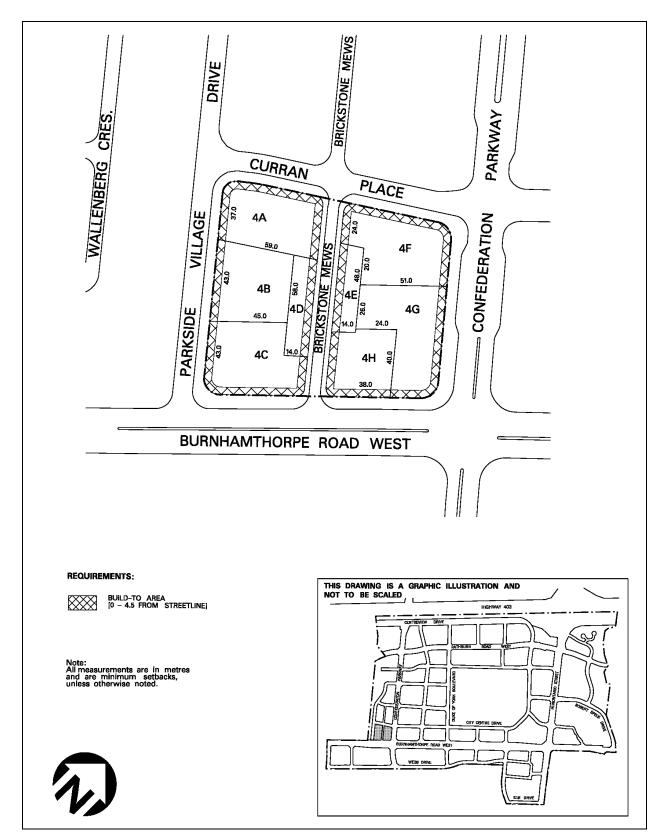


**Schedule CC4-3** Map 29

7.2.5.4	Exception	Exception: CC4-4		Map # 29		By-law: 0105-2013, 0026-2014, 0174-2017, 0050-2013/LPAT Order 2020 June 08		
In a CC4-4 z that the follo				ble regulations	s shall be as	specified for a CC4 zone except		
Regulations								
7.2.5.4.1	structur Schedule	Maximum heights and floor plates of all <b>buildings</b> and <b>structures</b> on Parcel Blocks 4A to 4H as identified on Schedule CC4-4 of this Exception shall conform to the following schedule:						
	Parcel Block	Maximum Building Height	Maximur Tower Floor Plate	m Minimum Podium Height	Maximum Podium Height			
	4A	127.0 m and	$740 \text{ m}^2$	7.0 m and	25.0 m and			
	4B	41 <b>storeys</b> 18.0 m and		3 storeys 7.0 m and	6 <b>storeys</b> 25.0 m and			
		6 storeys		3 storeys	6 storeys			
	4C	156.0 m and 49 <b>storeys</b>	840 m <sup>2</sup>	7.0 m and 3 storeys	29.0 m and 8 storeys			
	4D	12.0 m and 4 storeys		7.0 m and 3 storeys	15.5 m and 4 storeys			
	4E	12.0 m and 4 storeys		7.0 m and 3 storeys	15.5 m and 4 storeys			
	4F	134.0 m and	810 m <sup>2</sup>	7.0 m and	29.0 m and	_		
		43 storeys		3 storeys	8 storeys			
	4G	25.0 m and 8 <b>storeys</b>		7.0 m and 3 storeys	29.0 m and 8 storeys			
	4H	156.0 m and 49 <b>storeys</b>	838 m <sup>2</sup>	12.0 m and 3 storeys	29.0 m and 8 storeys			
7.2.5.4.1A		The regulations of Lines 3.2, 4A.0 to 4A.11, 4C.0 to 4C.2 and 5.1 contained in Table 7.2.1 of this By-law shall not apply						
7.2.5.4.2		Motor vehicle parking may be provided off site on lands zoned CC4-4						
7.2.5.4.3	identified building long-ter the minim	Notwithstanding the minimum dimensions of the <b>build-to-areas</b> identified on Schedule CC4-4 of this Exception, where a <b>building</b> , <b>structure</b> or part thereof is used for an <b>apartment</b> , <b>long-term care</b> or <b>retirement building</b> and is situated at grade, the minimum setback to a <b>street line</b> shall be 3.0 m to that portion of the <b>building</b> or <b>structure</b> containing that <b>use</b>						
7.2.5.4.4	this Exce may enc	Notwithstanding the provisions of Sentence 7.2.5.4.3 of this Exception, a lobby located on the ground floor level may encroach a maximum of 1.5 m into the required street line setback						
7.2.5.4.5	Exception	Notwithstanding the provisions of Sentence 7.2.5.4.3 of this Exception, a <b>balcony</b> and bay window may encroach a maximum of 1.5 m into the required <b>street line</b> setback						
7.2.5.4.6	Exception floor lev	Notwithstanding the provisions of Sentence 7.2.5.4.3 of this Exception, an open staircase and <b>porch</b> located on the ground floor level may encroach a maximum of 1.5 m into the required <b>street line</b> setback						

**Exception CC4-4 continued on next page** 

7.2.5.4	Exception: CC4-4	Map # 29	By-law: 0105-2013, 0026-2014, 0174-2017, 0050-2013/LPAT Order 2020 June 08			
Exception Co	C4-4 continued from previous	s page				
7.2.5.4.7	apply to those parts of a <b>bui</b> ground floor level, at or with Schedule CC4-4 of this Exc	The provisions of Sentence 7.2.5.4.3 of this Exception shall not apply to those parts of a <b>building</b> or <b>structure</b> located on the ground floor level, at or within the <b>build-to-area</b> identified on Schedule CC4-4 of this Exception used for a permitted <b>use</b> identified in Subsection 7.1.4 of this By-law				
7.2.5.4.8	Notwithstanding the requirements of <b>build-to-areas</b> identified on Schedule CC4-4 of this Exception, vehicular and pedestrian entrances for the purposes of ingress and egress to and from the lands and <b>landscaped areas</b> abutting vehicular and pedestrian entrances shall be permitted and shall not be included in the calculation of the <b>build-to-area</b> identified on Schedule CC4-4 of this Exception					
7.2.5.4.9	For the purposes of this By-law, Parcel Blocks 4A to 4D inclusive identified on Schedule CC4-4 of this Exception shall be considered one property					
7.2.5.4.10	For the purposes of this By-law, Parcel Blocks 4E to 4H inclusive identified on Schedule CC4-4 of this Exception shall be considered one property					
7.2.5.4.11	That outdoor display of seasonal products be permitted within Parcel Blocks 4F to 4G inclusive identified on Schedule CC4-4 of this Exception					
7.2.5.4.12	Minimum setback from the exterior face of a podium of  buildings and structures, or parts thereof, located above the podium structure for Parcel Blocks 4E to 4H inclusive identified on Schedule CC4-4 of this Exception					
7.2.5.4.13	into the required setback for	Maximum encroachment of portions of a <b>building</b> or <b>structure</b> into the required setback for Parcel Blocks 4E to 4H inclusive identified on Schedule CC4-4 of this Exception				
7.2.5.4.14	All site development plans shall comply with Schedule CC4-4 of this Exception					

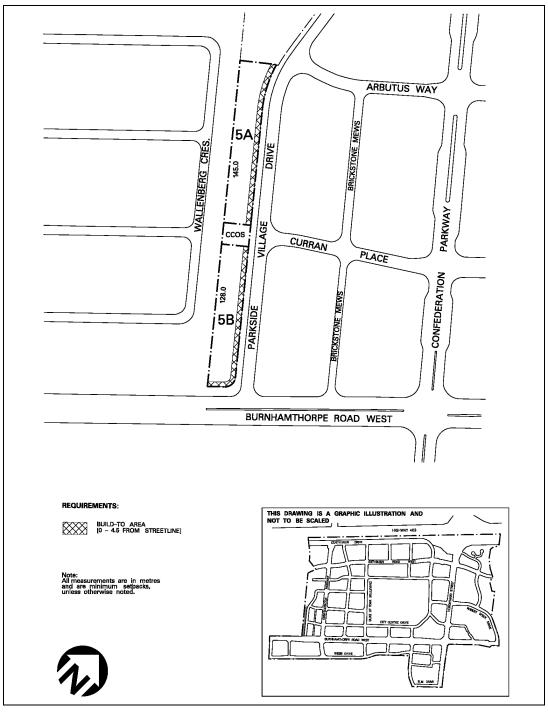


**Schedule CC4-4** Map 29

7.2.5.5	Exception: CC4-5		Map #	29	By-law: 0105-2013, 0026-2014, 0174-2017, 0050-2013/LPAT Order 2020 June 08
In a CC4-5 zor uses/regulation			ons shall be	as specified for	a CC4 zone except that the following
Permitted Use	es				
7.2.5.5.1	Lands zoned CC4-5 shall only be used for the following:				
	<ul> <li>(1) Apartment</li> <li>(2) Long-term care building or retirement building</li> <li>(3) Back to Back Townhouse</li> </ul>				
Regulations					
7.2.5.5.2	structure	s on Parcel B CC4-5 of this	locks 5A and	of all <b>buildings</b> 15B as identifie hall conform to	d on
	Parcel Block	Maximum Building Height	Minimum Podium Height		
	5A	16.0 m and 4 <b>storeys</b>	7.0 m and 3 storeys		
	5B	16.0 m and 4 <b>storeys</b>	7.0 m and 3 storeys		
7.2.5.5.2A	•			o 4A.11, 4C.0 to law shall not ap	
7.2.5.5.3	Motor vehicle parking may be provided off site on lands zoned CC4-5				
7.2.5.5.4	Notwithstanding the minimum dimensions of the <b>build-to-areas</b> identified on Schedule CC4-5 of this Exception, where a <b>building</b> , <b>structure</b> or part thereof is used for an <b>apartment</b> , <b>long-term care</b> or <b>retirement building</b> and is situated at grade, the minimum setback to a <b>street line</b> shall be 3.0 m to that portion of the <b>building</b> or <b>structure</b> containing that <b>use</b>				
7.2.5.5.5	Notwithstanding the provisions of Sentence 7.2.5.5.4 of this Exception, a lobby located on the ground floor level may encroach a maximum of 1.5 m into the required street line setback				
7.2.5.5.6	Notwithstanding the provisions of Sentence 7.2.5.5.4 of this Exception, a <b>balcony</b> and bay window may encroach a maximum of 1.5 m into the required <b>street line</b> setback				
7.2.5.5.7	Notwithstanding the provisions of Sentence 7.2.5.5.4 of this Exception, an open staircase and <b>porch</b> located on the ground floor level may encroach a maximum of 1.5 m into the required <b>street line</b> setback				
7.2.5.5.8	The provisions of Sentence 7.2.5.5.4 of this Exception shall not apply to those parts of a <b>building</b> or <b>structure</b> located on the ground floor level, at or within the <b>build-to-area</b> identified on Schedule CC4-5 of this Exception used for a permitted <b>use</b> identified in Subsection 7.1.4 of this By-law				
7.2.5.5.9	Notwithstanding the requirements of <b>build-to-areas</b> identified on Schedule CC4-5 of this Exception, vehicular and pedestrian entrances for the purposes of ingress and egress to and from the lands and <b>landscaped areas</b> abutting vehicular and pedestrian entrances shall be permitted and shall not be included in the calculation of the <b>build-to-area</b> identified on Schedule CC4-5 of this Exception				

**Exception CC4-5 continued on next page** 

7.2.5.5	Exception: CC4-5	Map # 29	By-law: 0105-201 0026-2014, 0174- 0050-2013/LPAT 2020 June 08	-2017,	
Exception CC4	4-5 continued from previous	s page			
7.2.5.5.10	Minimum setback from a <b>dwelling unit</b> to the <b>lot lines</b> abutting the lands zoned OS1 4.5 m				
7.2.5.5.11	Notwithstanding Sentence 7.2.5.5.10 of this Exception, required setback of an underground <b>parking structure</b> , parking stairwell and enclosure, and retaining walls			0.0 m	
7.2.5.5.12	Minimum setback from a <b>dwelling unit</b> to the <b>lot lines</b> abutting the lands zoned CCOS			3.0 m	
7.2.5.5.13	Notwithstanding Sentence 7.2.5.5.12 of this Exception, required setback of an underground <b>parking structure</b> , parking stairwell and enclosure, and retaining walls			0.0 m	
7.2.5.5.14	Minimum number of loading spaces			0	
7.2.5.5.15	All site development plans shall comply with Schedule CC4-5 of this Exception				



**Schedule CC4-5** Map 29

## **7.2.5A** CCO Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

## **7.2.6 CCOS Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

7.2.6.1	Exception: CCOS-1	Map # 29	By-law: OMB Order 2014 February 20, 0263-2016				
In a CCOS-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a CCOS zone except that the following <b>uses</b> /regulations shall apply:							
Regulations							
7.2.6.1.1	Minimum height		1 storey				
7.2.6.1.2	A <b>building</b> with a maximum maximum <b>gross floor area</b> commercial uses accessory						
7.2.6.1.3		ory to a Recreational Use" mea restaurant or take-out restan patio					
Holding Prov	ision						
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-CCOS-1 by further amendment to Map 29 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:  (1) delivery of an executed Servicing Agreement and/or Development Agreement in a form satisfactory to The Corporation of the City of Mississauga, addressing and agreeing to the installation or placement of all required municipal works, including municipal walkways, the provision of land dedication for future public road widenings, and transit rights-of-way and easements, including the provision of parkland, the provisions of required securities, and related provisions provided that the Servicing and Development Agreements will not require the gratuitous dedication of land for new public roads, including realignments of roads, where not otherwise permitted under the <i>Planning Act</i> or impose an obligation upon a landowner to construct or pay for the construction of a new road;  (2) the holding symbol H shall not prevent the <b>use</b> of <b>buildings</b> and <b>structures</b> legally <b>existing</b> on the date of passing of this By-law for those <b>uses</b> which are permitted by the zone in which they are located, or the expansion of parking facilities to support the <b>uses</b> within these <b>existing</b>						

7.2.6.2	Exception:	CCOS-2	Map # 29	By-law: 0174-2017
	•	itted <b>uses</b> and ap es/regulations sh		e as specified for a CCOS zone
Additional Per	rmitted Uses			
7.2.6.2.1 (1) Restaurant (2) Take-out Restaurant (3) Outdoor patio accessory to a restaurant or take-out restaurant (4) Outdoor markets' and other outdoor sales				
Regulations				
7.2.6.2.2	The provisions of Lines 4.0 and 5.0 contained in Table 2.1.9.7 of this By-law shall not apply			
7.2.6.2.3	Maximum <b>gross floor area - non-residential</b> used for a 240 m <sup>2</sup> <b>restaurant</b> and/or <b>take-out restaurant</b>			