

4.14RM9 ZONE
(HORIZONTAL MULTIPLE DWELLINGS WITH MORE THAN 6 DWELLING UNITS)

4.14.1RM9 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.14.1 - RM9 Permitted Uses and Zone Regulations.

Table 4.14.1 - RM9 Permitted Uses and Zone Regulations

Column A		B
Line 1.0	ZONES	RM9
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Horizontal multiple dwelling - with more than 6 dwelling units	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT FRONTAGE	30.0 m
4.0	FLOOR SPACE INDEX	
4.1	Minimum	0.4
4.2	Maximum	0.9
5.0	MAXIMUM DWELLING HEIGHT	
5.1	Flat roof	13.0 m
5.2	Sloped roof	15.0 m
6.0	MINIMUM FRONT AND EXTERIOR SIDE YARD	7.5 m
7.0	MINIMUM INTERIOR SIDE YARD	4.5 m ⁽¹⁾
7.1	Where a horizontal multiple dwelling has a height between 0.0 m and 10.0 m and any portion of the interior lot line abuts a zone permitting detached and/or semi-detached (0174-2017)	7.5 m ⁽¹⁾
7.2	Where a horizontal multiple dwelling has a height greater than 10.0 m and any portion of the interior lot line abuts a zone permitting detached and/or semi-detached (0174-2017)	10.0 m ⁽¹⁾
8.0	MINIMUM REAR YARD	7.5 m ⁽¹⁾
8.1	Where a rear lot line , or any portion thereof, abuts a zone permitting an apartment, townhouse, street townhouse, townhouse on a CEC - private road , and/or horizontal multiple dwelling , and/or an Institutional, Office, Commercial, Employment, or Utility Zone	4.5 m ⁽¹⁾
8.2	Where a horizontal multiple dwelling has a height greater than 10.0 m and less than 15.0 m and any portion of the rear lot line abuts a zone permitting detached and/or semi-detached (0174-2017)	10.0 m ⁽¹⁾
9.0	MAXIMUM ENCROACHMENTS INTO REQUIRED YARDS	
9.1	A porch , inclusive of stairs, located at and accessible from the first storey or below the first storey of the horizontal multiple dwelling (0325-2008)	1.8 m
9.2	An awning, window, chimney , pilaster or corbel (0325-2008)	0.6 m
9.3	A deck , inclusive of stairs, balcony or awning, attached to a rear wall	2.5 m
9.4	A wing wall attached to a horizontal multiple dwelling	3.0 m

Table 4.14.1 continued on next page

Column A		B
Line 1.0	ZONES	RM9
Table 4.14.1 continued from previous page		
10.0	MINIMUM INTERNAL SETBACKS	
10.1	From a front garage face to an internal road or sidewalk	6.0 m
10.2	From a horizontal multiple dwelling to an internal road , sidewalk or visitor parking space	4.5 m
10.3	From a porch or deck , inclusive of stairs, to an internal road or sidewalk	2.9 m
10.4	From an awning, window, chimney , pilaster or corbel to an internal road or sidewalk <i>(0325-2008)</i>	3.9 m
10.5	From a rear wall of a horizontal multiple dwelling to a side wall of another dwelling	10.0 m
10.6	From a rear wall of a horizontal multiple dwelling to a rear wall of another dwelling	15.0 m
10.7	From a rear wall of a horizontal multiple dwelling to an internal walkway	7.5 m
10.8	From a side wall of a horizontal multiple dwelling to a side wall of another dwelling	3.0 m
10.9	From a side wall of a horizontal multiple dwelling to an internal walkway	1.5 m
10.10	From a side wall of a horizontal multiple dwelling to an internal road	4.5 m
10.11	From a side wall of a horizontal multiple dwelling to an abutting visitor parking space	4.5 m
11.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
11.1	Attached garage	Permitted ⁽²⁾
11.2	Minimum parking spaces	✓ ⁽³⁾ ⁽⁴⁾
11.3	Minimum visitor parking spaces	✓ ⁽³⁾
11.4	Maximum driveway width	3.0 m ⁽⁴⁾
12.0	PARKING AREAS AND PARKING STRUCTURE SETBACKS	
12.1	Minimum setback between a parking space and a street	4.5 m
12.2	Minimum setback between a parking space and any other lot line	3.0 m
12.3	Minimum setback of a parking structure constructed above or partially above finished grade to any lot line	6.0 m
12.4	Minimum setback of a parking structure constructed completely below finished grade to any lot line	3.0 m
13.0	INTERNAL ROADS, AISLES AND SIDEWALKS <i>(0190-2014)</i>	
13.1	Minimum width of an internal road/aisle	7.0 m
13.2	Minimum width of an internal road and/or aisle with an abutting parallel visitor parking space	6.0 m
13.3	Internal roads and aisles are permitted to be shared with abutting lands zoned to permit horizontal multiple dwellings with more than six dwelling units , townhouse dwellings or apartments , or any combination of dwellings thereof <i>(0174-2017)</i>	✓
13.4	Minimum width of a sidewalk <i>(0190-2014)</i>	2.0 m

Table 4.14.1 continued on next page

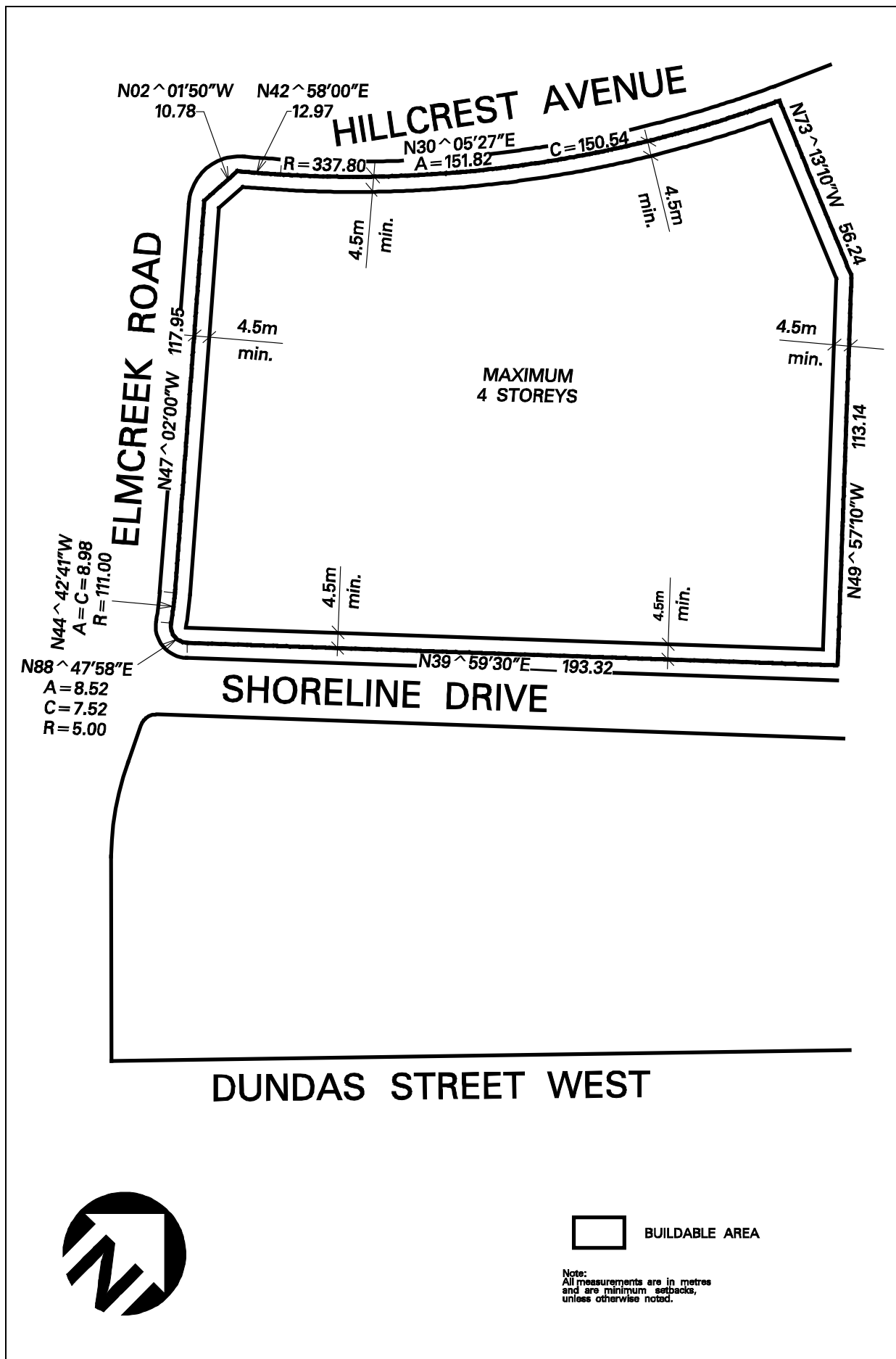
Column A		B
Line 1.0	ZONES	RM9
Table 4.14.1 continued from previous page		
14.0	MINIMUM AMENITY AREA AND LANDSCAPED AREA	
14.1	Minimum landscaped area	40% of lot area
14.2	Minimum amenity area	The greater of 5.6 m ² per dwelling unit or 10% of the site area
14.3	Minimum percentage of total required amenity area to be provided in one contiguous area	50%
15.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁵⁾

- NOTES:**
- (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (2) See also Subsection 4.1.12 of this By-law.
 - (3) See also Part 3 of this By-law.
 - (4) See also Subsection 4.1.9 of this By-law.
 - (5) See Subsection 4.1.2 of this By-law.

4.14.2 RM9 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.14.2.1	Exception: RM9-1	Map # 22	By-law:
In a RM9-1 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.14.2.1.1	(1)	Townhouse Dwelling	
	(2)	Street Townhouse Dwelling	
Regulations			
4.14.2.1.2	A townhouse dwelling shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		
4.14.2.1.3	A street townhouse dwelling shall comply with the RM5 zone regulations contained in Subsection 4.11.1 of this By-law		
4.14.2.1.4	All site development plans shall comply with Schedule RM9-1 of this Exception		



Schedule RM9-1
Map 22

4.14.2.2	Exception: RM9-2	Map # 06	By-law:
In a RM9-2 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.14.2.2.1	(1) Townhouse Dwelling (2) Street Townhouse Dwelling		
Regulations			
4.14.2.2.2	A townhouse dwelling shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		
4.14.2.2.3	A street townhouse dwelling shall comply with the RM5 zone regulations contained in Subsection 4.11.1 of this By-law		

4.14.2.3	Exception: RM9-3	Map # 59	By-law:
In a RM9-3 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.14.2.3.1	(1) Townhouse Dwelling (2) Resident parking required for lands zoned RA3-30		
Regulations			
4.14.2.3.2	A townhouse dwelling shall comply with the RM9 zone regulations contained in Subsection 4.14.1 of this By-law		
4.14.2.3.3	Maximum number of dwelling units	126	
4.14.2.3.4	Required number of below grade resident parking spaces permitted for abutting lands zoned RA3-30	75	

4.14.2.4	Exception: RM9-4	Map # 57	By-law: 0365-2007
In a RM9-4 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.14.2.4.1	(1)	Townhouse Dwelling	
4.14.2.4.2	The following uses are permitted within a horizontal multiple dwelling abutting Thomas Street or Tenth Line West:		
	(1)	Office	
	(2)	Medical Office - Restricted	
	(3)	Personal Service Establishment	
	(4)	Retail Store	
	(5)	Repair Service	
	(6)	Tutoring	
Uses Not Permitted			
4.14.2.4.3	(1)	Carpet or floor covering cleaning service	
	(2)	Pet Shop	
	(3)	Laundromat, laundry depot and/or dry cleaning establishment or depot	
Regulations			
4.14.2.4.4	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.14.2.4.5	Maximum number of dwelling units		194
4.14.2.4.6	Maximum gross floor area - residential		25 000 m ²
4.14.2.4.7	Commercial motor vehicle , trailer and recreational vehicle parking shall not be permitted		
4.14.2.4.8	Only townhouse dwellings shall be permitted within 30.0 m of Tosca Drive		
4.14.2.4.9	Notwithstanding Sentence 4.14.2.4.8, horizontal multiple dwellings shall be permitted within 30.0 m of both Tosca Drive and Thomas Street		
4.14.2.4.10	Minimum setback from front garage face to an internal road		5.5 m
4.14.2.4.11	Maximum projection of a porch and/or balcony , inclusive of stairs, from the wall of a dwelling unit facing a street		1.5 m
4.14.2.4.12	Horizontal Multiple Dwelling:		
	(1)	the regulations of Lines 4.0 to 6.0 inclusive contained in Table 4.14.1 of this By-law shall not apply	
	(2)	the uses permitted in Sentence 4.14.2.4.2 shall only be located within the first storey of a horizontal multiple dwelling	
	(3)	maximum number of uses permitted in Sentence 4.14.2.4.2 per horizontal multiple dwelling unit	1
	(4)	minimum setback of a horizontal multiple dwelling to Thomas Street or Tenth Line West	4.5 m
	(5)	minimum setback to lands zoned RM1-1	15.0 m
	(6)	notwithstanding Clause 4.14.2.4.12(5) the minimum setback from a side wall to lands zoned RM1-1	5.0 m
	(7)	minimum setback of a horizontal multiple dwelling to Bentley Drive	7.0 m
	(8)	maximum height	12.0 m

Exception RM9-4 continued on next page

4.14.2.4	Exception: RM9-4	Map # 57	By-law: 0365-2007
Exception RM9-4 continued from previous page			
4.14.2.4.12 (continued)	(9)	maximum height within 30.0 m of Bentley Drive	10.8 m
	(10)	minimum number of resident parking spaces per one or two-bedroom dwelling unit	1.3
	(11)	minimum number of resident parking spaces per three-bedroom unit	1.4
	(12)	minimum number of visitor parking spaces per dwelling unit	0.15
	(13)	dwelling units facing Thomas Street or Tenth Line West:	
	(13.1)	the main front entrance of a dwelling unit shall face Thomas Street or Tenth Line West with the exception of two (2) upper level dwelling units that shall face the sight triangle of Thomas Street and Tenth Line West	
	(13.2)	a side wall facing Thomas Street or Tenth Line West shall not be permitted	
	(13.3)	the exterior walls for the dwelling units facing the sight triangle of Thomas Street and Tenth Line West shall not be considered side walls	
	(13.4)	the maximum dwelling unit width , with the exception of dwelling units facing the sight triangle of Thomas Street and Tenth Line West	6.2 m
	(13.5)	minimum setback from the side wall of a horizontal multiple dwelling to Tosca Drive	6.0 m
4.14.2.4.13	Townhouse Dwelling:		
	(1)	minimum setback of a townhouse dwelling to Tosca Drive	7.5 m
	(2)	minimum setback from a side wall to lands zoned RM1-1	5.0 m
	(3)	maximum height	10.8 m
	(4)	minimum number of visitor parking spaces per townhouse dwelling unit	0.2

4.14.2.5	Exception: RM9-5	Map # 57	By-law: 0449-2007
In a RM9-5 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.5.1	The regulations of Lines 4.1 and 4.2 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.5.2	Minimum number of dwelling units per hectare		45
4.14.2.5.3	Maximum number of dwelling units per hectare		80
4.14.2.5.4	Maximum height		16.5 m
4.14.2.5.5	Minimum front and exterior side yard		4.5 m
4.14.2.5.6	Minimum rear yard		6.9 m
4.14.2.5.7	Minimum setback from front garage face to an internal road or sidewalk		0.0 m
4.14.2.5.8	A balcony is permitted on top of an attached garage		
4.14.2.5.9	Minimum setback from a horizontal multiple dwelling to an internal road , sidewalk or visitor parking space		0.5 m
4.14.2.5.10	Minimum setback from a porch or deck , inclusive of stairs to an internal road or sidewalk		0.5 m
4.14.2.5.11	Minimum setback from an awning, window projection with or without foundation, chimney , pilaster or corbel to an internal road or sidewalk		0.5 m
4.14.2.5.12	Minimum setback from a rear wall of a horizontal multiple dwelling to the rear wall of another dwelling, excluding an attached garage		12.0 m
4.14.2.5.13	Minimum number of resident parking spaces per one-bedroom dwelling unit		1.0
4.14.2.5.14	Minimum number of resident parking spaces per two-bedroom dwelling unit		1.3
4.14.2.5.15	Minimum number of resident parking spaces per three-bedroom dwelling unit		1.4
4.14.2.5.16	Minimum number of visitor parking spaces per dwelling unit		0.2
4.14.2.5.17	Maximum floor area of an accessory building		100 m ²
4.14.2.5.18	Maximum height : sloped roof - accessory building		4.8 m
4.14.2.5.19	Internal roads are permitted to be shared with abutting lands		

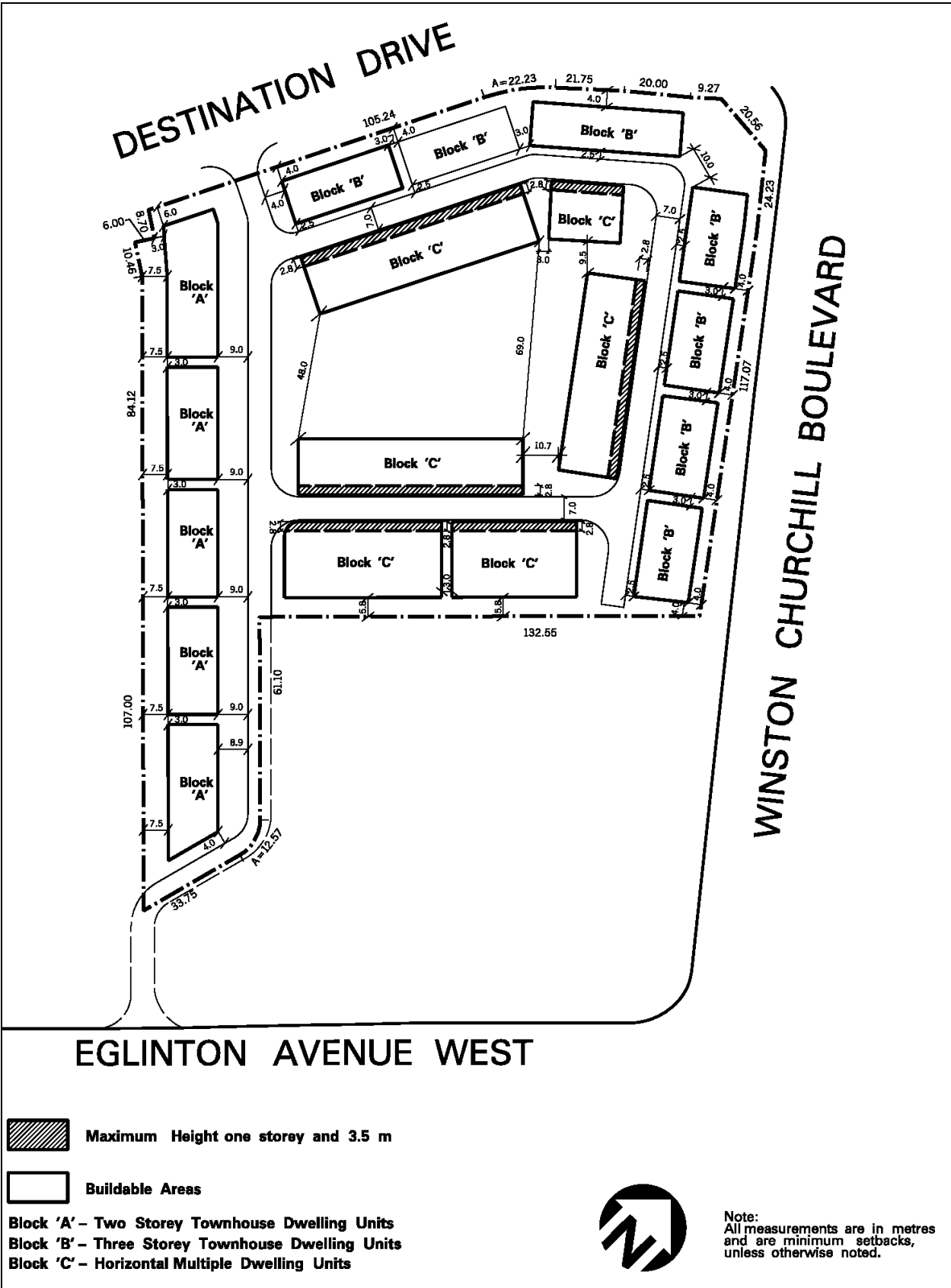
4.14.2.6	Exception: RM9-6	Map # 39W	By-law: 0218-2010, 0179-2018
In a RM9-6 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.6.1	The provisions contained in Subsection 2.1.14 and the regulations of Lines 10.10, 10.11 and 11.4 in Table 4.14.1 contained in Subsection 4.14.1 of this By-law shall not apply		
4.14.2.6.2	Maximum number of dwelling units on all lands zoned RM9-6	186	
4.14.2.6.3	Maximum height for a sloped roof	16.5 m	
4.14.2.6.4	Minimum front yard	5.5 m	
4.14.2.6.5	Minimum exterior side yard - Rio Court	4.5 m	
4.14.2.6.6	Minimum exterior side yard - Hazelton Place	5.5 m	
4.14.2.6.7	Maximum encroachment into required yards of a porch exclusive of stairs	1.8 m	
4.14.2.6.8	Minimum setback from an awning, window, chimney , pilaster or corbel to an internal road or sidewalk	0.5 m	
4.14.2.6.9	Minimum setback from a front garage face to an internal road or sidewalk	1.5 m	
4.14.2.6.10	Minimum setback from a horizontal multiple dwelling to an internal road , sidewalk or visitor parking space	0.5 m	
4.14.2.6.11	Minimum setback from a rear wall of a horizontal multiple dwelling to the rear wall of another dwelling, excluding an attached garage	13.8 m	
4.14.2.6.12	Minimum setback from a side wall of a horizontal multiple dwelling to an internal walkway	0.7 m	
4.14.2.6.13	A balcony is permitted on top of an attached garage		
4.14.2.6.14	Minimum setback between a parking space and any other lot line	1.5 m	
4.14.2.6.15	Minimum number of resident parking spaces per studio/one-bedroom unit	1.0	
4.14.2.6.16	Minimum number of resident parking spaces per two-bedroom unit	1.3	
4.14.2.6.17	Minimum number of resident parking spaces per three-bedroom unit	1.4	
4.14.2.6.18	Minimum number of visitor parking spaces per unit	0.15	
4.14.2.6.19	Maximum floor area of an accessory building	100 m ²	
4.14.2.6.20	Maximum height of an accessory building	6.5 m	

4.14.2.7	Exception: RM9-7	Map # 20	By-law: 0168-2011
In a RM9-7 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.7.1	The regulations contained in Lines 7.1 and 7.2 in Table 4.14.1 contained in Subsection 4.14.1 of this By-law shall not apply		
4.14.2.7.2	Maximum number of dwelling units on all lands zoned RM9-7	27	
4.14.2.7.3	Maximum floor space index	0.68	
4.14.2.7.4	Maximum dwelling height - flat roof	13.8 m	
4.14.2.7.5	Minimum front yard	5.9 m	
4.14.2.7.6	Minimum interior side yard	4.0 m	
4.14.2.7.7	Minimum rear yard	4.0 m	
4.14.2.7.8	Maximum encroachment into required yards of a porch , inclusive of stairs, located at and accessible from the first storey or below the first storey of the horizontal multiple dwelling	2.5 m	
4.14.2.7.9	Minimum setback from a front garage face to an internal road or sidewalk	5.2 m	
4.14.2.7.10	Minimum setback from a horizontal multiple dwelling to an internal road	1.5 m	
4.14.2.7.11	Minimum setback from a horizontal multiple dwelling to a visitor parking space	1.2 m	
4.14.2.7.12	Minimum setback from a horizontal multiple dwelling to a sidewalk or internal walkway	0.0 m	
4.14.2.7.13	Minimum setback from a porch or deck , inclusive of stairs, to an internal road , sidewalk or internal walkway	0.0 m	

4.14.2.8	Exception: RM9-8	Map # 57	By-law: 0176-2012
In a RM9-8 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.14.2.8.1	(1)	Townhouse Dwelling	
Regulations			
4.14.2.8.2	Townhouse dwellings and horizontal multiple dwellings shall comply with the RM9 zone regulations contained in Subsection 4.14.1 of this By-law, except that:		
	(1)	the provisions contained in Subsection 2.1.14 of this By-law shall not apply	
	(2)	for the purposes of this By-law all lands zoned RM9-8 shall be considered one (1) lot	
	(3)	maximum number of dwelling units on all lands zoned RM9-8	149
	(4)	maximum height	15.0 m
	(5)	notwithstanding Schedule RM9-8 of this Exception, minimum setback from a front garage face to an internal road or sidewalk for townhouse dwellings located within each Block 'A' identified on Schedule RM9-8 of this Exception	10.0 m

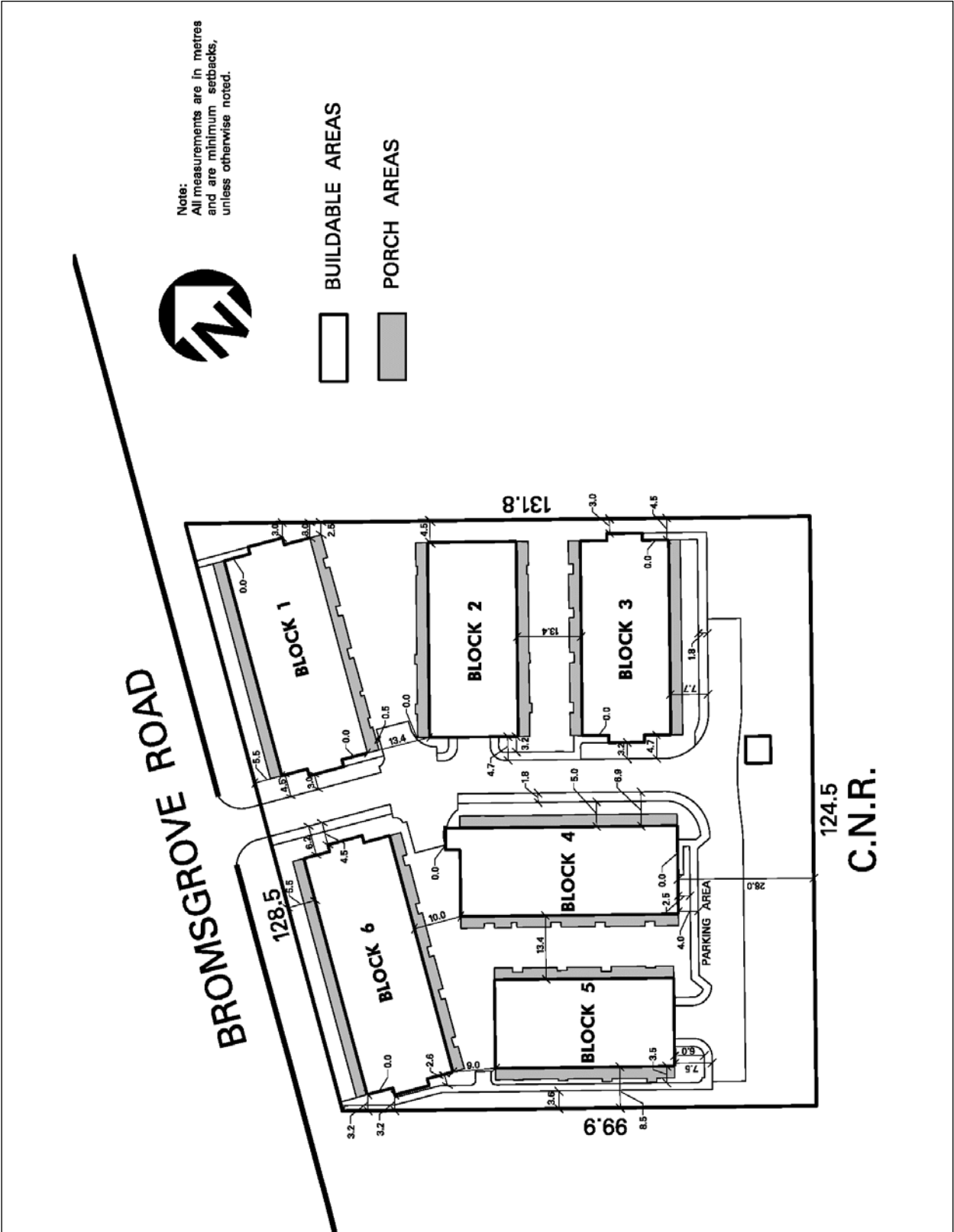
Exception RM9-8 continued on next page

4.14.2.8	Exception: RM9-8	Map # 57	By-law: 0176-2012
Exception RM9-8 continued from previous page			
4.14.2.8.2 (continued)	(6)	notwithstanding Schedule RM9-8 of this Exception, minimum setback from a front garage face to an internal road or sidewalk for townhouse dwellings located within each Block 'B' identified on Schedule RM9-8 of this Exception	6.0 m
	(7)	minimum setback from a horizontal multiple dwelling to an internal road , sidewalk, internal walkway or parking spaces	0.5 m
	(8)	a balcony is permitted on top of an attached garage	
	(9)	maximum projection of a porch , inclusive of stairs, located at and accessible from the first storey or below the first storey outside the buildable area for each Block 'A' and Block 'B' identified on Schedule RM9-8 of this Exception	1.8 m
	(10)	maximum projection of a porch , inclusive of stairs, located at and accessible from the first storey or below the first storey outside the buildable area for each Block 'C' identified on Schedule RM9-8 of this Exception	2.9 m
	(11)	an awning, window, chimney , pilaster or corbel may project outside the buildable area identified on Schedule RM9-8 of this Exception provided that the minimum setback to an internal road or sidewalk shall be 0.5 m	
	(12)	minimum number of resident parking spaces per townhouse dwelling unit located within each Block 'A' identified on Schedule RM9-8 of this Exception	3.0
	(13)	minimum number of visitor parking spaces per townhouse dwelling unit located within each Block 'A' identified on Schedule RM9-8 of this Exception	0.0
	(14)	minimum number of resident parking spaces per townhouse dwelling unit located within each Block 'B' identified on Schedule RM9-8 of this Exception	2.0
	(15)	minimum number of resident parking spaces per one-bedroom horizontal multiple dwelling unit located within each Block 'C' identified on Schedule RM9-8 of his Exception	1.0
	(16)	minimum number of resident parking spaces per two-bedroom horizontal multiple dwelling unit located within each Block 'C' identified on Schedule RM9-8 of this Exception	1.3
	(17)	minimum number of resident parking spaces per three-bedroom horizontal multiple dwelling unit located within each Block 'C' identified on Schedule RM9-8 of this Exception	1.4
	(18)	minimum number of visitor parking spaces per townhouse dwelling unit located within each Block 'B' and per horizontal multiple dwelling unit located within each Block 'C' identified on Schedule RM9-8 of this Exception	0.20
	(19)	the maximum driveway width shall be equal to the width of the front garage face to a maximum of 4.0 m	
	(20)	notwithstanding Schedule RM9-8 of this Exception, one (1) accessory building shall be permitted with a maximum floor area of 100 m ²	
	(21)	all site development plans shall comply with Schedule RM9-8 of this Exception	



Schedule RM9-8
Map 57

4.14.2.9	Exception: RM9-9	Map # 11	By-law: 0118-2017
In a RM9-9 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.9.1	The provisions contained in Article 4.1.5.9 and Lines 10.1, 10.2, 10.3, 10.6, 10.7, 10.9, 10.10 and 10.11 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.9.2	Maximum floor space index	1.2	
4.14.2.9.3	Maximum number of dwelling units	104	
4.14.2.9.4	Maximum dwelling height - flat roof , excluding any mechanical penthouse and/or access stair	11.0 m and 3 storeys	
4.14.2.9.5	Maximum encroachment of a porch , exclusive of stairs, located at and accessible from the first storey of the horizontal multiple dwelling	2.6 m	
4.14.2.9.6	Maximum projection into a yard of a porch , inclusive of stairs, located at and accessible from the first storey of the horizontal multiple dwelling :		
	(1) front yard	3.8 m	
	(2) rear yard	5.5 m	
	(3) interior side yard	3.3 m	
4.14.2.9.7	Maximum projection beyond buildable areas of an awning, window, chimney , pilaster, corbel or other architectural feature	0.6 m	
4.14.2.9.8	Minimum width of a sidewalk	1.5 m	
4.14.2.9.9	Minimum amenity area	434 m ²	
4.14.2.9.10	Maximum floor area of an accessory building	30 m ²	
4.14.2.9.11	Maximum height of an accessory building	3.0 m	
4.14.2.9.12	Minimum setback of a parking structure to any lot line	2.5 m	
4.14.2.9.13	Transformers and ventilation shafts shall be permitted to encroach into a required interior side yard		
4.14.2.9.14	Minimum number of resident parking spaces per three-bedroom unit	1.4	
4.14.2.9.15	Minimum number of visitor parking spaces per unit	0.2	
4.14.2.9.16	All site development plans shall comply with Schedule RM9-9 of this Exception		

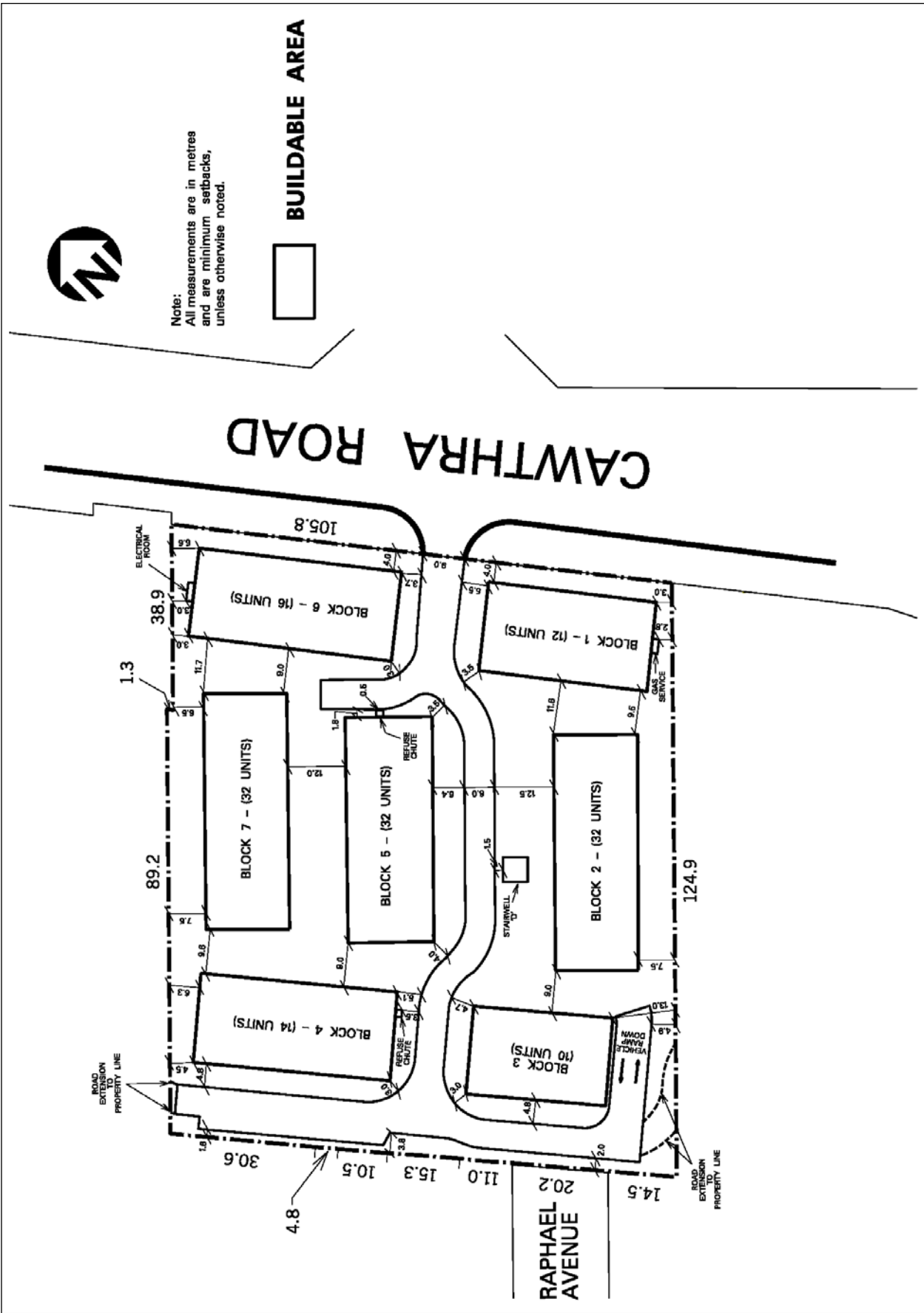


Schedule RM9-9
Map 11

4.14.2.10	Exception: RM9-10	Map # 07	By-law: 0010-2018
In a RM9-10 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.10.1	The provisions of Line 13.0 contained in Table 2.1.14.1 and Lines 10.3 and 10.4 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.10.2	Maximum floor space index		1.5
4.14.2.10.3	Maximum number of dwelling units		148
4.14.2.10.4	Maximum dwelling height - flat roof		14.8 m
4.14.2.10.5	Maximum encroachment into a required front yard of a porch , inclusive of stairs, located at the first storey of a horizontal multiple dwelling		3.5 m
4.14.2.10.6	A porch , inclusive of stairs, located at the first storey of a horizontal multiple dwelling , may project outside the buildable area identified on Schedule RM9-10 of this Exception		
4.14.2.10.7	Maximum projection of a raised terrace, located at the first storey of Block 5 and outside the buildable area identified on Schedule RM9-10 of this Exception		3.5 m
4.14.2.10.8	Maximum projection of a porch or patio, exclusive of stairs, located below the first storey and outside the buildable area identified on Schedule RM9-10 of this Exception		3.4 m
4.14.2.10.9	Maximum projection of a balcony , attached to a front wall , outside the buildable area identified on Schedule RM9-10 of this Exception		1.5 m
4.14.2.10.10	Maximum projection outside the buildable area of an awning, window, chimney , or architectural feature		0.6 m
4.14.2.10.11	Minimum setback from a side wall of a horizontal multiple dwelling to a sidewalk or an internal walkway		1.4 m
4.14.2.10.12	Minimum setback of a rooftop balcony from all exterior edges of Blocks 2 and 7		1.2 m
4.14.2.10.13	Minimum setback between a surface parking space and a lot line that is not a street		1.0 m
4.14.2.10.14	Minimum setback from a parking structure completely below finished grade to any lot line		2.9 m
4.14.2.10.15	Minimum width of an internal road/aisle		6.0 m
4.14.2.10.16	Minimum width of a sidewalk		1.8 m
4.14.2.10.17	Minimum width of an internal walkway		1.5 m
4.14.2.10.18	Minimum amenity area		5.6 m ² per dwelling unit
4.14.2.10.19	Minimum number of resident parking spaces per two-bedroom dwelling unit		1.3
4.14.2.10.20	Minimum number of resident parking spaces per three-bedroom dwelling unit		1.4
4.14.2.10.21	Minimum number of visitor parking spaces per unit		0.2
4.14.2.10.22	Transformers, ventilation shafts and external access stairwells to underground parking shall be permitted to encroach into a required interior side yard		
4.14.2.10.23	All site development plans shall comply with Schedule RM9-10 of this Exception		

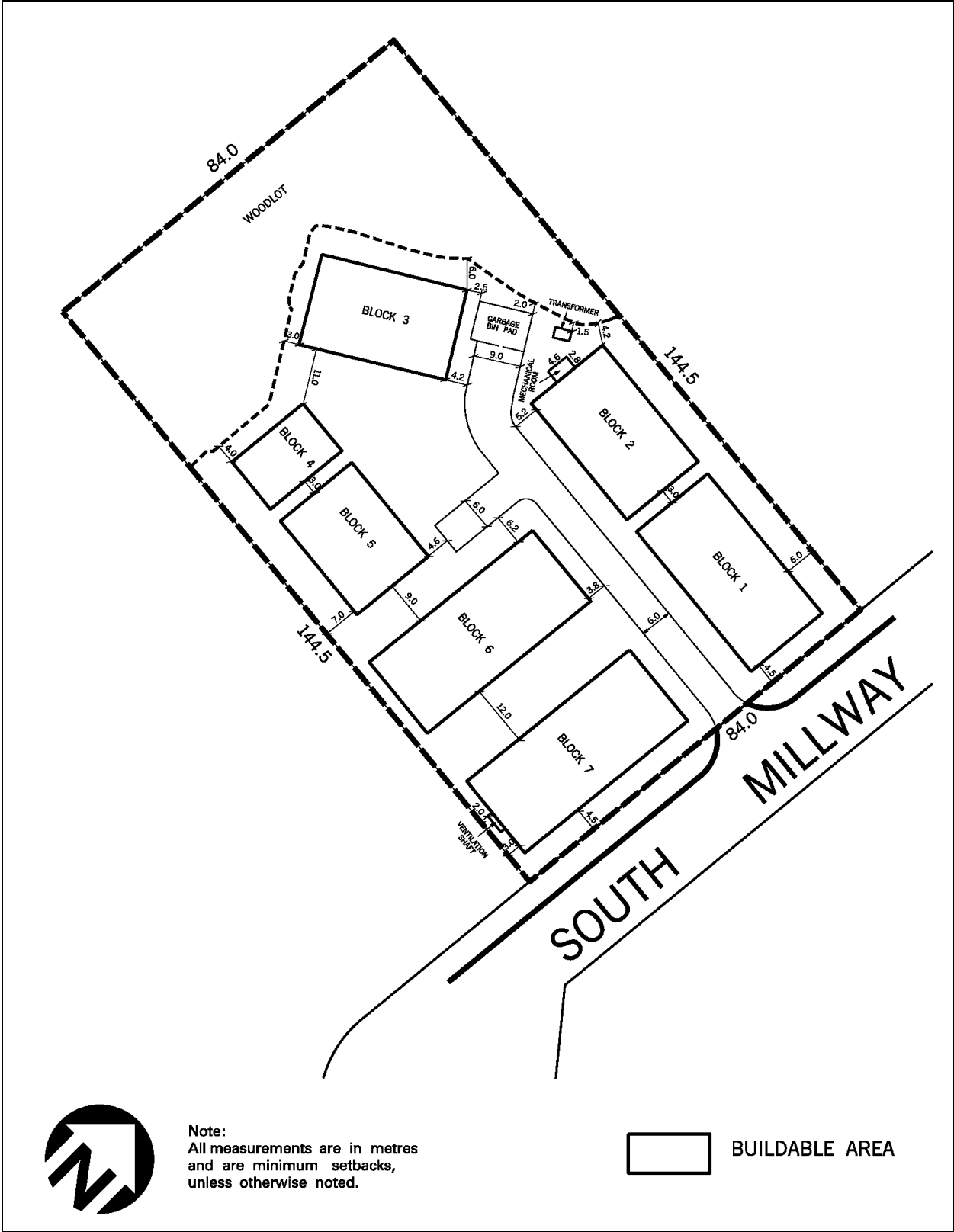
Exception RM9-10 continued on next page

4.14.2.10	Exception: RM9-10	Map # 07	By-law: 0010-2018
Exception RM9-10 continued from previous page			
Section 37 Public Benefits Contribution			
<p>Pursuant to section 37 of the <i>Planning Act</i>, R.S.O 1990, c.P.13, as amended, the height and density of development provided by this Exception shall be permitted where:</p> <p>(1) the owner of the lands zoned RM9-10 enters into an agreement with The Corporation of the City of Mississauga (the City) for the provision of certain facilities, services or matters in return for the increased in height and density of the development;</p> <p>(2) the agreement is registered on title to the lands zoned RM9-10;</p> <p>(3) the owner pays to the City the sum of \$200,000 to be used toward the installation of bicycle lanes, fitness stations and compliance with all other terms and conditions of the agreement referred to in paragraphs (1) and (2) above.</p>			



Schedule RM9-10
Map 07

4.14.2.11	Exception: RM9-11	Map # 25	By-law: 0031-2018
In a RM9-11 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.11.1	The regulations of Lines 10.2, 10.3, 10.6, 10.9 and 10.10 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.11.2	Maximum floor space index	1.8	
4.14.2.11.3	Maximum number of dwelling units	144	
4.14.2.11.4	Maximum dwelling height - flat roof , exclusive of any parapet, mechanical penthouse and/or access stairs	15.0 m and 4 storeys	
4.14.2.11.5	Maximum projection beyond the buildable area of a porch , exclusive of stairs, located at or below the first storey of a horizontal multiple dwelling	1.8 m	
4.14.2.11.6	Maximum projection beyond the buildable area of an awning, window, chimney or other architectural feature	0.6 m	
4.14.2.11.7	Maximum projection beyond the buildable area of a wing wall attached to a horizontal multiple dwelling	1.0 m	
4.14.2.11.8	Maximum projection beyond the buildable area of a balcony , located at or above the first storey of a horizontal multiple dwelling	2.3 m	
4.14.2.11.9	Minimum setback of a parking structure constructed above or partially above finished grade to any lot line	3.0 m	
4.14.2.11.10	Minimum width of an internal road	6.0 m	
4.14.2.11.11	Minimum width of a sidewalk	1.5 m	
4.14.2.11.12	Minimum amenity area	201 m ²	
4.14.2.11.13	Minimum number of resident parking spaces per unit	1.1	
4.14.2.11.14	Minimum number of visitor parking spaces per unit	0.15	
4.14.2.11.15	Stairwells and ventilation shafts shall be permitted outside of the buildable area, except for within the rear yard , and shall be set back a minimum of 3.0 m from an interior side lot line		
4.14.2.11.16	All site development plans shall comply with Schedule RM9-11 of this Exception		



Schedule RM9-11
Map 25

4.14.2.12	Exception: RM9-12	Map # 11	By-law: 0171-2018
In a RM9-12 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.2.12.1	Maximum floor space index		1.0
4.14.2.12.2	Minimum front and exterior side yard		5.0 m
4.14.2.12.3	Minimum setback from a horizontal multiple dwelling to a sidewalk		2.0 m
4.14.2.12.4	Minimum setback from a porch or deck , inclusive of stairs, to an internal road		1.7 m
4.14.2.12.5	Minimum setback from a porch or deck , inclusive of stairs, to a sidewalk		0.0 m
4.14.2.12.6	Minimum setback from a side wall of a horizontal multiple dwelling to an internal road		0.0 m
4.14.2.12.7	Minimum setback of a parking structure constructed completely below finished grade to any lot line		0.0 m
4.14.2.12.8	Minimum width of an internal road/aisle		6.0 m
4.14.2.12.9	Minimum width of a sidewalk		1.5 m
4.14.2.12.10	Minimum amenity area		100 m ²
4.14.2.12.11	Minimum number of resident parking spaces per one-bedroom dwelling unit		1.0