

<b>4.13A</b>	<b>RM8 ZONE (BACK TO BACK AND/OR STACKED TOWNHOUSES)</b>
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**4.13A.1 RM8 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the RM8-14 Exception Zone. *(0181-2018/LPAT Order 2019 February 15)*

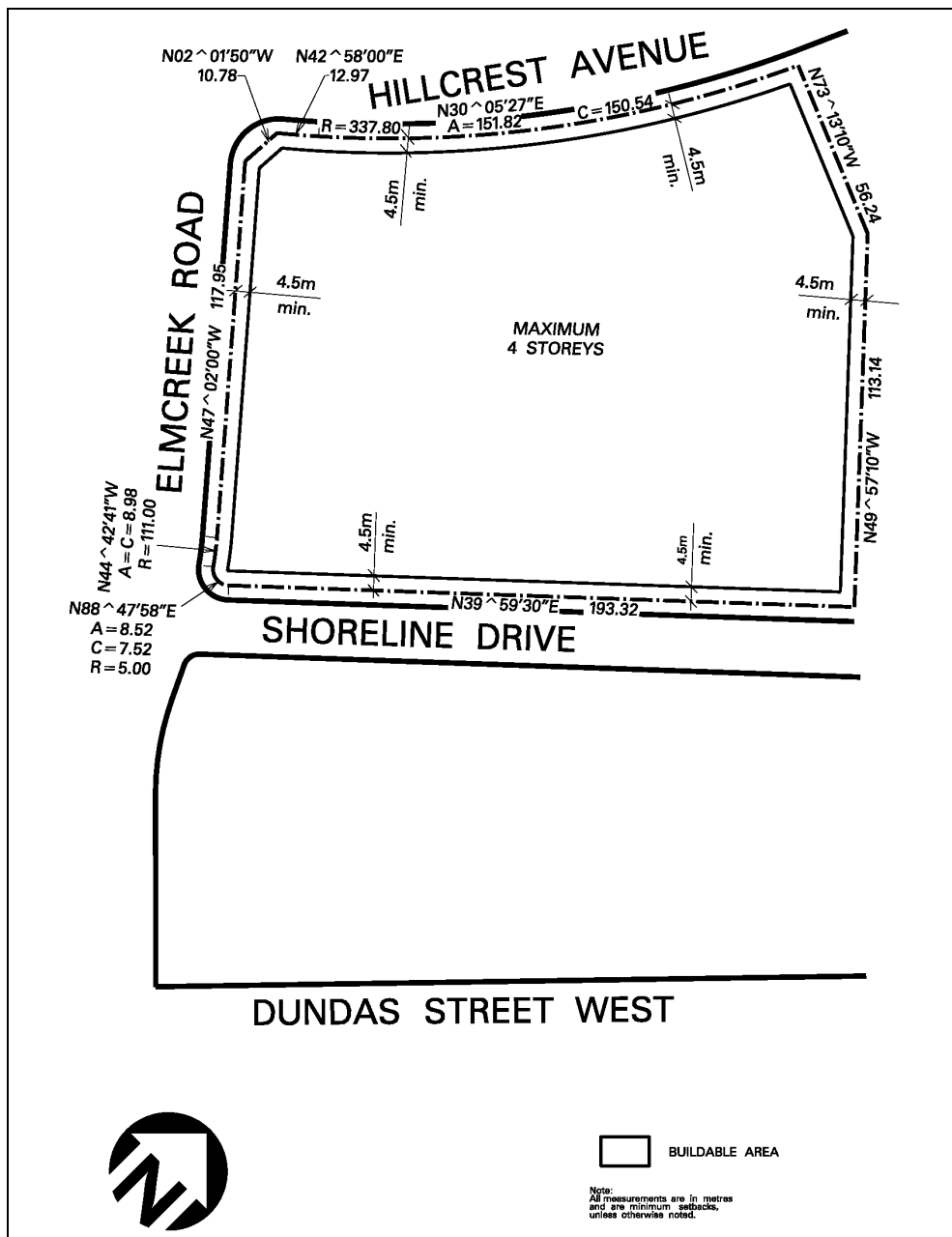


Part 4 - Residential Zones

4.13A.2 RM8 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.13A.2.1	Exception: RM8-1	Map # 22	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM8-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.13A.2.1.1	(1) <b>Back to Back Townhouse</b> (2) <b>Stacked Townhouse</b> (3) <b>Townhouse</b> (4) <b>Street Townhouse</b>		
<b>Regulations</b>			
4.13A.2.1.2	A <b>townhouse</b> shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		
4.13A.2.1.3	A <b>street townhouse</b> shall comply with the RM5 zone regulations contained in Subsection 4.11.1 of this By-law		
4.13A.2.1.4	All site development plans shall comply with Schedule RM8-1 of this Exception		



Schedule RM8-1  
Map 22

**Part 4 - Residential Zones**

4.13A.2.2	Exception: RM8-2	Map # 06	By-law: 0181-2018/LPAT Order 2019 February 15
<p>In a RM8-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Permitted Uses</b>			
4.13A.2.2.1	(1)	<b>Back to Back Townhouse</b>	
	(2)	<b>Stacked Townhouse</b>	
	(3)	<b>Townhouse</b>	
	(4)	<b>Street Townhouse</b>	
<b>Regulations</b>			
4.13A.2.2.2	A <b>townhouse</b> shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		
4.13A.2.2.3	A <b>street townhouse</b> shall comply with the RM5 zone regulations contained in Subsection 4.11.1 of this By-law		

4.13A.2.3	Exception: RM8-3	Map # 59	By-law: 0181-2018/LPAT Order 2019 February 15
<p>In a RM8-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Permitted Uses</b>			
4.13A.2.3.1	(1)	<b>Back to Back Townhouse</b>	
	(2)	<b>Stacked Townhouse</b>	
	(3)	<b>Townhouse</b>	
	(4)	Resident parking required for lands zoned RA3-30	
<b>Regulations</b>			
4.13A.2.3.2	A <b>townhouse</b> shall comply with the RM8-14 zone regulations contained in Exception Table 4.13A.2.14 of this By-law		
4.13A.2.3.3	Maximum number of <b>dwelling units</b>		126
4.13A.2.3.4	Required number of below grade resident <b>parking spaces</b> permitted for abutting lands zoned RA3-30		75

**Part 4 - Residential Zones**

4.13A.2.4	Exception: RM8-4	Map # 57	By-law: 0365-2007, 0181-2018/LPAT Order 2019 February 15
In a RM8-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.13A.2.4.1	(1) <b>Back to Back Townhouse</b> (2) <b>Stacked Townhouse</b> (3) <b>Townhouse</b>		
4.13A.2.4.2	The following <b>uses</b> are permitted within a <b>back to back</b> and/or <b>stacked townhouse</b> abutting Thomas Street or Tenth Line West:		
	(1) <b>Office</b> (2) <b>Medical Office - Restricted</b> (3) <b>Personal Service Establishment</b> (4) <b>Retail Store</b> (5) <b>Repair Service</b> (6) <b>Tutoring</b>		
<b>Uses Not Permitted</b>			
4.13A.2.4.3	(1) Carpet or floor covering cleaning service (2) Pet Shop (3) Laundromat, laundry depot and/or dry cleaning establishment or depot		
<b>Regulations</b>			
4.13A.2.4.4	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.13A.2.4.5	Maximum number of <b>dwelling units</b>		194
4.13A.2.4.6	Maximum <b>gross floor area - residential</b>		25 000 m <sup>2</sup>
4.13A.2.4.7	<b>Commercial motor vehicle</b> , trailer and recreational vehicle parking shall not be permitted		
4.13A.2.4.8	Only <b>townhouses</b> shall be permitted within 30.0 m of Tosca Drive		
4.13A.2.4.9	Notwithstanding Sentence 4.13A.2.4.8, <b>back to back</b> and/or <b>stacked townhouses</b> shall be permitted within 30.0 m of both Tosca Drive and Thomas Street		
4.13A.2.4.10	Minimum setback from a <b>garage face</b> to a <b>condominium road</b>		5.5 m
4.13A.2.4.11	Maximum projection of a <b>porch</b> and/or <b>balcony</b> , inclusive of stairs, from the wall of a <b>dwelling unit</b> facing a <b>street</b>		1.5 m
4.13A.2.4.12	<b>Back to Back</b> and/or <b>Stacked Townhouses</b> :		
	(1) the regulations of Sentences 4.13A.2.14.3, 4.13A.2.14.4, 4.13A.2.14.5, 4.13A.2.14.6 and 4.13A.2.14.7 contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
	(2) the <b>uses</b> permitted in Sentence 4.13A.2.4.2 of this Exception shall only be located within the <b>first storey</b> of a <b>back to back</b> and/or <b>stacked townhouse</b>		
	(3) maximum number of <b>uses</b> permitted in Sentence 4.13A.2.4.2 of this Exception per back to back and/or stacked townhouse <b>dwelling unit</b>		1
	(4) minimum setback of a <b>back to back</b> and/or <b>stacked townhouse</b> to Thomas Street or Tenth Line West		4.5 m
	(5) minimum setback to lands zoned RM1-1		15.0 m

**Exception RM8-4 continued on next page**



**Part 4 - Residential Zones**

4.13A.2.5	Exception: RM8-5	Map # 57	By-law: 0449-2007, 0181-2018/LPAT Order 2019 February 15
In a RM8-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.5.1	The regulations of Sentences 4.13A.2.14.3 and 4.13A.2.14.4 contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.5.2	Minimum number of <b>dwelling units</b> per hectare		45
4.13A.2.5.3	Maximum number of <b>dwelling units</b> per hectare		80
4.13A.2.5.4	Maximum <b>height</b>		16.5 m
4.13A.2.5.5	Minimum <b>front</b> and <b>exterior side yard</b>		4.5 m
4.13A.2.5.6	Minimum <b>rear yard</b>		6.9 m
4.13A.2.5.7	Minimum setback from a <b>garage face</b> to a <b>condominium road</b> or sidewalk		0.0 m
4.13A.2.5.8	A <b>balcony</b> is permitted on top of an attached <b>garage</b>		
4.13A.2.5.9	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b> , sidewalk or visitor <b>parking space</b>		0.5 m
4.13A.2.5.10	Minimum setback from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a <b>condominium road</b> or sidewalk		0.5 m
4.13A.2.5.11	Minimum setback from an awning, window projection with or without foundation, <b>chimney</b> , pilaster or corbel to a <b>condominium road</b> or sidewalk		0.5 m
4.13A.2.5.12	Minimum setback from a rear wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to the rear wall of another dwelling, excluding an attached <b>garage</b>		12.0 m
4.13A.2.5.13	Minimum number of resident <b>parking spaces</b> per one-bedroom <b>dwelling unit</b>		1.0
4.13A.2.5.14	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.3
4.13A.2.5.15	Minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.4
4.13A.2.5.16	Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.2
4.13A.2.5.17	Maximum <b>floor area</b> of an <b>accessory building</b>		100 m <sup>2</sup>
4.13A.2.5.18	Maximum <b>height</b> : <b>sloped roof - accessory building</b>		4.8 m
4.13A.2.5.19	<b>Condominium roads</b> are permitted to be shared with abutting lands		

**Part 4 - Residential Zones**

4.13A.2.6	Exception: RM8-6	Map # 39W	By-law: 0218-2010, 0179-2018, 0181-2018/LPAT Order 2019 February 15
In a RM8-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.6.1	The provisions contained in Subsection 2.1.14 and the regulations of Clauses 4.13A.2.14.11(10), 4.13A.2.14.11(11) and 4.13A.2.14.12(4) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.6.2	Maximum number of <b>dwelling units</b> on all lands zoned RM8-6		186
4.13A.2.6.3	Maximum <b>height: sloped roof</b>		16.5 m
4.13A.2.6.4	Minimum <b>front yard</b>		5.5 m
4.13A.2.6.5	Minimum <b>exterior side yard</b> - Rio Court		4.5 m
4.13A.2.6.6	Minimum <b>exterior side yard</b> - Hazelton Place		5.5 m
4.13A.2.6.7	Maximum encroachment into required <b>yards</b> of a <b>porch</b> , exclusive of stairs		1.8 m
4.13A.2.6.8	Minimum setback from an awning, window, <b>chimney</b> , pilaster or corbel to a <b>condominium road</b> or sidewalk		0.5 m
4.13A.2.6.9	Minimum setback from a <b>garage face</b> to a <b>condominium road</b> or sidewalk		1.5 m
4.13A.2.6.10	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b> , sidewalk or visitor <b>parking space</b>		0.5 m
4.13A.2.6.11	Minimum setback from a rear wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a rear wall of another dwelling, excluding an attached <b>garage</b>		13.8 m
4.13A.2.6.12	Minimum setback from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to an internal walkway		0.7 m
4.13A.2.6.13	A <b>balcony</b> is permitted on top of an attached <b>garage</b>		
4.13A.2.6.14	Minimum setback between a <b>parking space</b> and any other <b>lot line</b>		1.5 m
4.13A.2.6.15	Minimum number of resident <b>parking spaces</b> per studio/one-bedroom <b>dwelling unit</b>		1.0
4.13A.2.6.16	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.3
4.13A.2.6.17	Minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.4
4.13A.2.6.18	Minimum visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.15
4.13A.2.6.19	Maximum <b>floor area</b> of an <b>accessory building</b>		100 m <sup>2</sup>
4.13A.2.6.20	Maximum <b>height</b> of an <b>accessory building</b>		6.5 m



**Part 4 - Residential Zones**

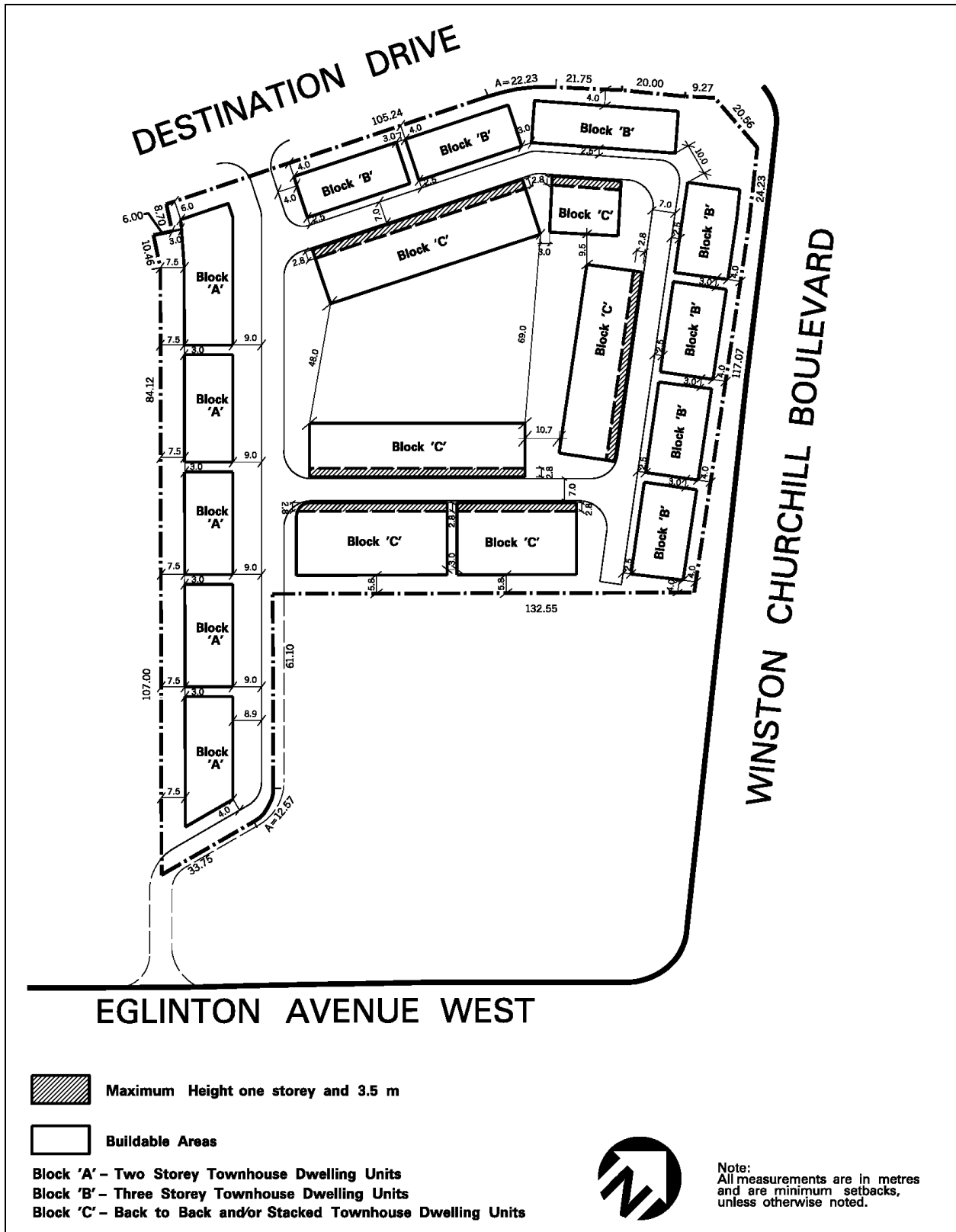
4.13A.2.7	Exception: RM8-7	Map # 20	By-law: 0168-2011, 0181-2018/LPAT Order 2019 February 15
In a RM8-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.7.1	The regulations of Clauses 4.13A.2.14.8(1) and 4.13A.2.14.8(2) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.7.2	Maximum number of <b>dwelling units</b> on all lands zoned RM8-7		27
4.13A.2.7.3	Maximum <b>floor space index</b>		0.68
4.13A.2.7.4	Maximum dwelling <b>height:</b> <b>flat roof</b>		13.8 m
4.13A.2.7.5	Minimum <b>front yard</b>		5.9 m
4.13A.2.7.6	Minimum <b>interior side yard</b>		4.0 m
4.13A.2.7.7	Minimum <b>rear yard</b>		4.0 m
4.13A.2.7.8	Maximum encroachment of a <b>porch</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the <b>back to back</b> and/or <b>stacked townhouse</b> into a required <b>yard</b>		2.5 m
4.13A.2.7.9	Minimum setback from a <b>garage face</b> to a <b>condominium road</b> or sidewalk		5.2 m
4.13A.2.7.10	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b>		1.5 m
4.13A.2.7.11	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a visitor <b>parking space</b>		1.2 m
4.13A.2.7.12	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a sidewalk or internal walkway		0.0 m
4.13A.2.7.13	Minimum setback from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a <b>condominium road</b> , sidewalk or internal walkway		0.0 m

4.13A.2.8	Exception: RM8-8	Map # 57	By-law: 0176-2012, 0181-2018/LPAT Order 2019 February 15
In a RM8-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.13A.2.8.1	(1) <b>Townhouse</b>		
<b>Regulations</b>			
4.13A.2.8.2	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.13A.2.8.3	For the purposes of this By-law all lands zoned RM8-8 shall be considered one <b>lot</b>		
4.13A.2.8.4	Maximum number of <b>dwelling units</b> on all lands zoned RM8-8		149
4.13A.2.8.5	Maximum <b>height</b>		15.0 m
4.13A.2.8.6	Notwithstanding Schedule RM8-8 of this Exception, minimum setback from a <b>garage face</b> to a <b>condominium road</b> or sidewalk for <b>townhouses</b> located within each Block 'A' identified on Schedule RM8-8 of this Exception		10.0 m

**Exception RM8-8 continued on next page**

**Part 4 - Residential Zones**

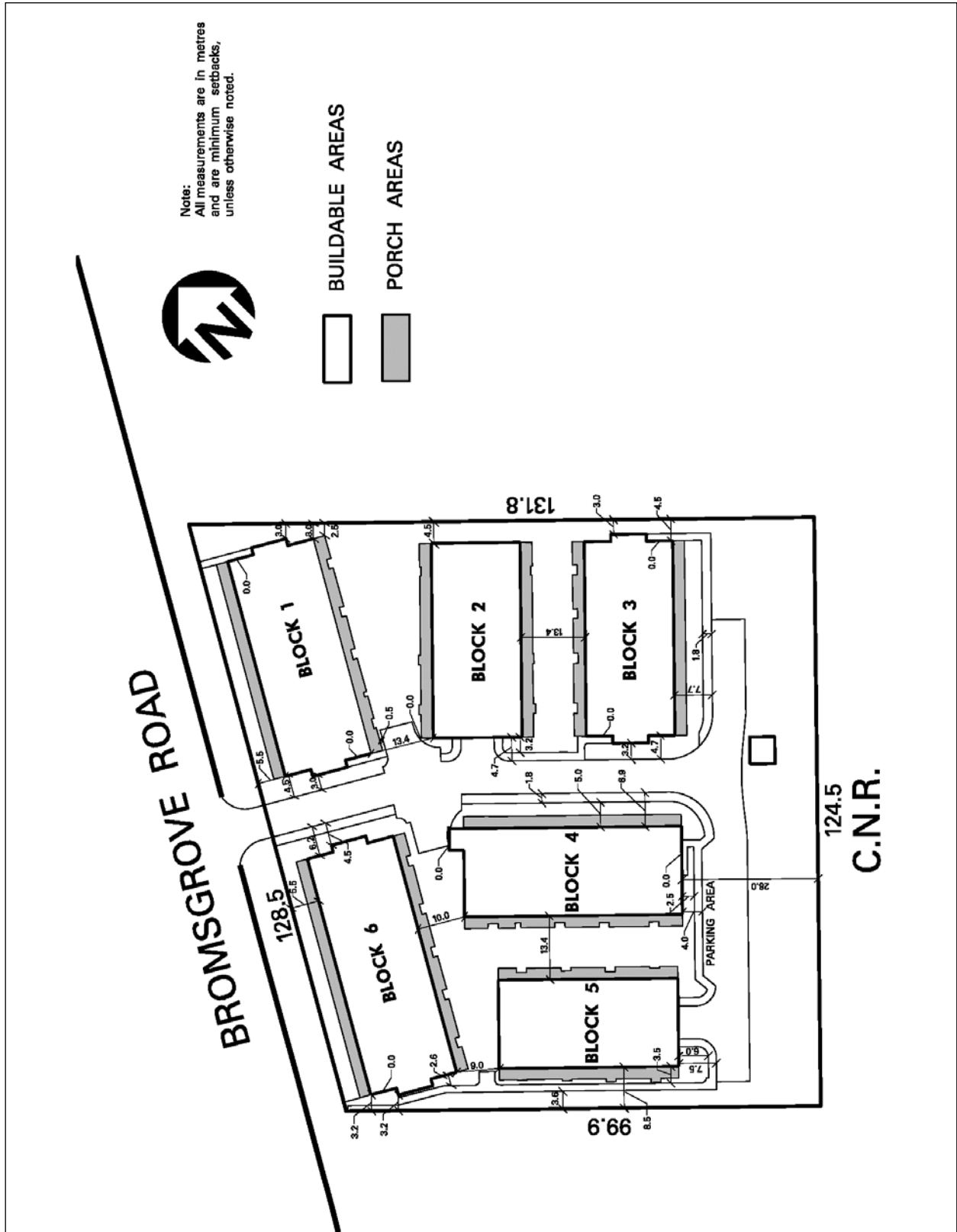
4.13A.2.8	Exception: RM8-8	Map # 57	By-law: 0176-2012, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM8-8 continued from previous page</b>			
4.13A.2.8.7	Notwithstanding Schedule RM8-8 of this Exception, from a <b>garage face</b> to a <b>condominium road</b> or sidewalk for <b>townhouses</b> located within each Block 'B' identified on Schedule RM8-8 of this Exception		6.0 m
4.13A.2.8.8	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b> , sidewalk, internal walkway or <b>parking spaces</b>		0.5 m
4.13A.2.8.9	A <b>balcony</b> is permitted on top of an attached <b>garage</b>		
4.13A.2.8.10	Maximum projection of a <b>porch</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> outside the buildable area for each Block 'A' and Block 'B' identified on Schedule RM8-8 of this Exception		1.8 m
4.13A.2.8.11	Maximum projection of a <b>porch</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> outside the buildable area for each Block 'C' identified on Schedule RM8-8 of this Exception		2.9 m
4.13A.2.8.12	An awning, window, <b>chimney</b> , pilaster or corbel may project outside the buildable area identified on Schedule RM8-8 of this Exception provided that the minimum setback to a <b>condominium road</b> or sidewalk shall be 0.5 m		
4.13A.2.8.13	Minimum number of resident <b>parking spaces</b> per townhouse <b>dwelling unit</b> located within each Block 'A' identified on Schedule RM8-8 of this Exception		3.0
4.13A.2.8.14	Minimum number of visitor <b>parking spaces</b> per townhouse <b>dwelling unit</b> located within each Block 'A' identified on Schedule RM8-8 of this Exception		0.0
4.13A.2.8.15	Minimum number of resident <b>parking spaces</b> per townhouse <b>dwelling unit</b> located within each Block 'B' identified on Schedule RM8-8 of this Exception		2.0
4.13A.2.8.16	Minimum number of resident <b>parking spaces</b> per one-bedroom back to back and/or stacked townhouse <b>dwelling unit</b> located within each Block 'C' identified on Schedule RM8-8 of this Exception		1.0
4.13A.2.8.17	Minimum number of resident <b>parking spaces</b> per two-bedroom back to back and/or stacked townhouse <b>dwelling unit</b> located within each Block 'C' identified on Schedule RM8-8 of this Exception		1.3
4.13A.2.8.18	Minimum number of resident <b>parking spaces</b> per three-bedroom back to back and/or stacked townhouse <b>dwelling unit</b> located within each Block 'C' identified on Schedule RM8-8 of this Exception		1.4
4.13A.2.8.19	Minimum number of visitor <b>parking spaces</b> per townhouse <b>dwelling unit</b> located within each Block 'B' and per back to back and/or stacked townhouse <b>dwelling unit</b> located within each Block 'C' identified on Schedule RM8-8 of this Exception		0.20
4.13A.2.8.20	The maximum <b>driveway</b> width shall be equal to the width of the <b>garage face</b> to a maximum of 4.0 m		
4.13A.2.8.21	Notwithstanding Schedule RM8-8 of this Exception, one <b>accessory building</b> shall be permitted with a maximum <b>floor area</b> of 100 m <sup>2</sup>		
4.13A.2.8.22	All site development plans shall comply with Schedule RM8-8 of this Exception		



Schedule RM8-8  
 Map 57

**Part 4 - Residential Zones**

4.13A.2.9	Exception: RM8-9	Map # 11	By-law: 0118-2017, 0181-2018/LPAT Order 2019 February 15
<p>In a RM8-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.13A.2.9.1	The provisions contained in Article 4.1.5.9 and the regulations of Clauses 4.13A.2.14.11(1), (2), (3), (6), (7), (9), (10) and (11) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.9.2	Maximum <b>floor space index</b>		1.2
4.13A.2.9.3	Maximum number of <b>dwelling units</b>		104
4.13A.2.9.4	Maximum <b>height:</b> <b>flat roof</b> , excluding any mechanical penthouse and/or access stairs		11.0 m and 3 <b>storeys</b>
4.13A.2.9.5	Maximum encroachment of a <b>porch</b> , exclusive of stairs, located at and accessible from the <b>first storey</b> of the <b>back to back</b> and/or <b>stacked townhouse</b>		2.6 m
4.13A.2.9.6	Maximum projection into a <b>yard</b> of a <b>porch</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> of the <b>back to back</b> and/or <b>stacked townhouse</b> :		
	(1) <b>front yard</b>		3.8 m
	(2) <b>rear yard</b>		5.5 m
	(3) <b>interior side yard</b>		3.3 m
4.13A.2.9.7	Maximum projection beyond buildable areas of an awning, window, <b>chimney</b> , pilaster, corbel or other architectural feature		0.6 m
4.13A.2.9.8	Minimum width of a sidewalk		1.5 m
4.13A.2.9.9	Minimum <b>amenity area</b>		434 m <sup>2</sup>
4.13A.2.9.10	Maximum <b>floor area</b> of an <b>accessory building</b>		30 m <sup>2</sup>
4.13A.2.9.11	Maximum <b>height</b> of an <b>accessory building</b>		3.0 m
4.13A.2.9.12	Minimum setback of a <b>parking structure</b> to any <b>lot line</b>		2.5 m
4.13A.2.9.13	Transformers and ventilation shafts shall be permitted to encroach into a required <b>interior side yard</b>		
4.13A.2.9.14	Minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.4
4.13A.2.9.15	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.2
4.13A.2.9.16	All site development plans shall comply with Schedule RM8-9 of this Exception		



Schedule RM8-9  
Map 11

**Part 4 - Residential Zones**

4.13A.2.10	Exception: RM8-10	Map # 07	By-law: 0010-2018, 0181-2018/LPAT Order 2019 February 15
In a RM8-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.10.1	The provisions of Line 13.0 contained in Table 2.1.14.1 and the regulations of Clauses 4.13A.2.14.11(3) and 4.13A.2.14.11(4) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.10.2	Maximum <b>floor space index</b>		1.5
4.13A.2.10.3	Maximum number of <b>dwelling units</b>		148
4.13A.2.10.4	Maximum <b>height:</b> <b>flat roof</b>		14.8 m
4.13A.2.10.5	Maximum encroachment into a required <b>front yard</b> of a <b>porch</b> , inclusive of stairs, located at the <b>first storey</b> of a <b>back to back</b> and/or <b>stacked townhouse</b>		3.5 m
4.13A.2.10.6	A <b>porch</b> , inclusive of stairs, located at the <b>first storey</b> of a <b>back to back</b> and/or <b>stacked townhouse</b> , may project outside the buildable area identified on Schedule RM8-10 of this Exception		
4.13A.2.10.7	Maximum projection of a raised terrace, located at the <b>first storey</b> of Block 5 and outside the buildable area identified on Schedule RM8-10 of this Exception		3.5 m
4.13A.2.10.8	Maximum projection of a <b>porch</b> or patio, exclusive of stairs, located below the <b>first storey</b> and outside the buildable area identified on Schedule RM8-10 of this Exception		3.4 m
4.13A.2.10.9	Maximum projection of a <b>balcony</b> , attached to a <b>front wall</b> , outside the buildable area identified on Schedule RM8-10 of this Exception		1.5 m
4.13A.2.10.10	Maximum projection outside the buildable area of an awning, window, <b>chimney</b> , or architectural feature		0.6 m
4.13A.2.10.11	Minimum setback from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a sidewalk or an internal walkway		1.4 m
4.13A.2.10.12	Minimum setback of a rooftop <b>balcony</b> from all exterior edges of Blocks 2 and 7		1.2 m
4.13A.2.10.13	Minimum setback between a surface <b>parking space</b> and a <b>lot line</b> that is not a <b>street</b>		1.0 m
4.13A.2.10.14	Minimum setback from a <b>parking structure</b> completely below finished grade to any <b>lot line</b>		2.9 m
4.13A.2.10.15	Minimum width of a <b>condominium road/aisle</b>		6.0 m
4.13A.2.10.16	Minimum width of a sidewalk		1.8 m
4.13A.2.10.17	Minimum width of an internal walkway		1.5 m
4.13A.2.10.18	Minimum <b>amenity area</b>		5.6 m <sup>2</sup> per <b>dwelling unit</b>
4.13A.2.10.19	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.3
4.13A.2.10.20	Minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.4
4.13A.2.10.21	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.2
4.13A.2.10.22	Transformers, ventilation shafts and external access stairwells to underground parking shall be permitted to encroach into a required <b>interior side yard</b>		

**Exception RM8-10 continued on next page**

Part 4 - Residential Zones

4.13A.2.10	Exception: RM8-10	Map # 07	By-law: 0010-2018, 0181-2018/LPAT Order 2019 February 15
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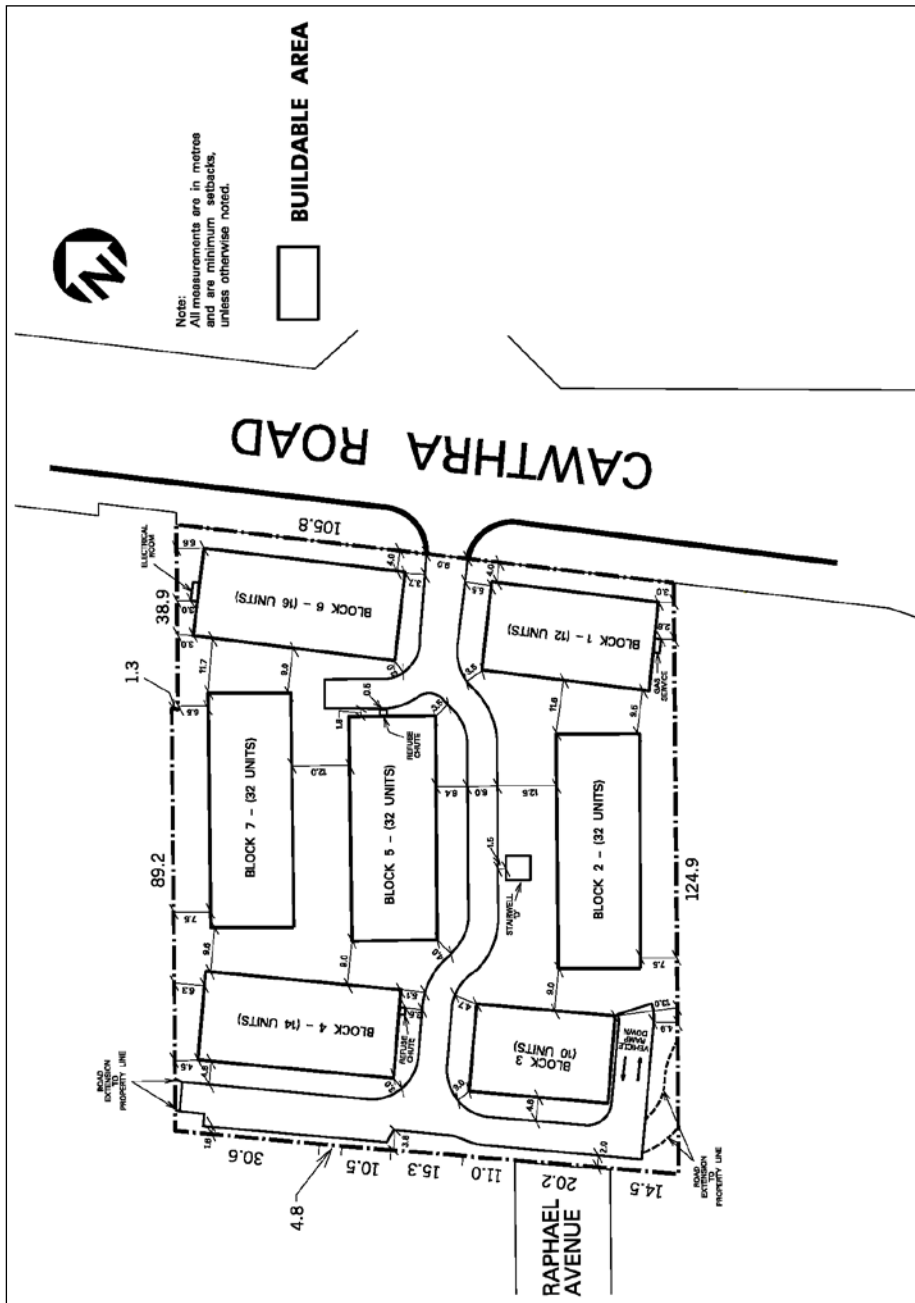
**Exception RM8-10 continued from previous page**

4.13A.2.10.23 All site development plans shall comply with Schedule RM8-10 of this Exception

**Section 37 Public Benefits Contribution**

Pursuant to section 37 of the *Planning Act*, R.S.O 1990, c.P.13, as amended, the height and density of development provided by this Exception shall be permitted where:

- (1) the owner of the lands zoned RM8-10 enters into an agreement with The Corporation of the City of Mississauga (the City) for the provision of certain facilities, services or matters in return for the increased in height and density of the development;
- (2) the agreement is registered on title to the lands zoned RM8-10;
- (3) the owner pays to the City the sum of \$200,000 to be used toward the installation of bicycle lanes, fitness stations and compliance with all other terms and conditions of the agreement referred to in paragraphs (1) and (2) above.



Schedule RM8-10  
Map 07

**Part 4 - Residential Zones**

4.13A.2.11	Exception: RM8-11	Map # 25	By-law: 0031-2018, 0181-2018/LPAT Order 2019 February 15
In a RM8-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.11.1	The regulations of Clauses 4.13A.2.14.11(2), (3), (6), (9), and (10) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.11.2	Maximum <b>floor space index</b>		1.8
4.13A.2.11.3	Maximum number of <b>dwelling units</b>		144
4.13A.2.11.4	Maximum <b>height:</b> <b>flat roof</b> , exclusive of any parapet, mechanical penthouse and/or access stairs		15.0 m and 4 <b>storeys</b>
4.13A.2.11.5	Maximum projection beyond the buildable area of a <b>porch</b> , exclusive of stairs, located at or below the <b>first storey</b> of a <b>back to back</b> and/or <b>stacked townhouse</b>		1.8 m
4.13A.2.11.6	Maximum projection beyond the buildable area of an awning, window, <b>chimney</b> or other architectural feature		0.6 m
4.13A.2.11.7	Maximum projection beyond the buildable area of a <b>wing wall</b> attached to a <b>back to back</b> and/or <b>stacked townhouse</b>		1.0 m
4.13A.2.11.8	Maximum projection beyond the buildable area of a <b>balcony</b> , located at or above the <b>first storey</b> of a <b>back to back</b> and/or <b>stacked townhouse</b>		2.3 m
4.13A.2.11.9	Minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>		3.0 m
4.13A.2.11.10	Minimum width of a <b>condominium road</b>		6.0 m
4.13A.2.11.11	Minimum width of a sidewalk		1.5 m
4.13A.2.11.12	Minimum <b>amenity area</b>		201 m <sup>2</sup>
4.13A.2.11.13	Minimum number of resident <b>parking spaces</b> per unit		1.1
4.13A.2.11.14	Minimum number of visitor <b>parking spaces</b> per unit		0.15
4.13A.2.11.15	Stairwells and ventilation shafts shall be permitted outside of the buildable area, except for within the <b>rear yard</b> , and shall be set back a minimum of 3.0 m from an <b>interior side lot line</b>		
4.13A.2.11.16	All site development plans shall comply with Schedule RM8-11 of this Exception		





**Part 4 - Residential Zones**

4.13A.2.12	Exception: RM8-12	Map # 11	By-law: 0171-2018, 0181-2018/LPAT Order 2019 February 15
In a RM8-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.12.1	Maximum <b>floor space index</b>		1.0
4.13A.2.12.2	Minimum <b>front</b> and <b>exterior side yard</b>		5.0 m
4.13A.2.12.3	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a sidewalk		2.0 m
4.13A.2.12.4	Minimum setback from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a <b>condominium road</b>		1.7 m
4.13A.2.12.5	Minimum setback from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a sidewalk		0.0 m
4.13A.2.12.6	Minimum setback from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b>		0.0 m
4.13A.2.12.7	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>		0.0 m
4.13A.2.12.8	Minimum width of a <b>condominium road/aisle</b>		6.0 m
4.13A.2.12.9	Minimum width of a sidewalk		1.5 m
4.13A.2.12.10	Minimum <b>amenity area</b>		100 m <sup>2</sup>
4.13A.2.12.11	Minimum number of resident <b>parking spaces</b> per one-bedroom <b>dwelling unit</b>		1.0

4.13A.2.13	Exception: RM8-13	Map # 14	By-law: 0191-2018, 0181-2018/LPAT Order 2019 February 15
In a RM8-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.13A.2.13.1	The provisions contained in Subsections 2.1.14 and 2.1.30 and Articles 4.1.1.3 and 4.1.1.4 contained in Subsection 4.1.1 of this By-law shall not apply		
4.13A.2.13.2	Maximum <b>floor space index</b>		1.5
4.13A.2.13.3	Maximum <b>height:</b> <b>flat roof</b>		16.0 m and 3 <b>storeys</b>
4.13A.2.13.4	The <b>lot line</b> abutting North Service Road shall be deemed to be the <b>front lot line</b>		
4.13A.2.13.5	Minimum setback from the <b>lot line</b> abutting Camilla Road		7.0 m
4.13A.2.13.6	Maximum encroachment of a <b>porch</b> , inclusive of stairs, <b>balcony</b> , landing or awning located on the <b>first storey</b> , into a required <b>yard</b>		4.5 m
4.13A.2.13.7	Minimum setback from a <b>back to back</b> and/or <b>stacked townhouse</b> to a sidewalk or visitor <b>parking space</b>		2.0 m
4.13A.2.13.8	Minimum setback from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a <b>condominium road</b> or sidewalk		2.0 m
4.13A.2.13.9	Minimum setback from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to an internal walkway		0.0 m

**Exception RM8-13 continued on next page**

**Part 4 - Residential Zones**

4.13A.2.13	Exception: RM8-13	Map # 14	By-law: 0191-2018, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM8-13 continued from previous page</b>			
4.13A.2.13.10	Minimum setback from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b> and/or a visitor <b>parking space</b>		3.0 m
4.13A.2.13.11	Minimum setback from a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>		1.0 m
4.13A.2.13.12	Minimum width of a sidewalk		1.5 m
4.13A.2.13.13	Minimum width of a <b>condominium road</b> and/or <b>aisle</b>		6.0 m
4.13A.2.13.14	Minimum amenity area		250 m <sup>2</sup>
4.13A.2.13.15	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.3
4.13A.2.13.16	Minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.4
4.13A.2.13.17	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.2
4.13A.2.13.18	"Amenity Area" means an indoor and/or outdoor recreational area provided for the communal use of the residents		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM8-13 by further amendment to Map 14 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) submission of updated grading and servicing drawings to the satisfaction of the City;</li> <li>(2) submission of an updated Functional Servicing Report/Stormwater Management Report to the satisfaction of the City;</li> <li>(3) submission of final Remediation Report;</li> <li>(4) completion and filing of a Record of Site Condition (RSC) with the Ministry of Environment and Climate Change;</li> <li>(5) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i>, as amended, in a form and on terms satisfactory to the City;</li> <li>(6) delivery of an executed Development Agreement to the satisfaction of the City;</li> <li>(7) satisfactory arrangements for a right-in, right-out access onto North Service Road.</li> </ol>			

**Part 4 - Residential Zones**

4.13A.2.14	Exception: RM8-14	Map # 01, 03, 11, 20, 21, 25, 48E, 56	By-law: 0325-2008, 0190-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM8-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified as follows:			
<b>Permitted Uses</b>			
4.13A.2.14.1	(1)	<b>Back to Back Townhouses</b>	
	(2)	<b>Stacked Townhouses</b>	
<b>Regulations</b>			
4.13A.2.14.2	Minimum <b>lot frontage</b>		30.0 m
4.13A.2.14.3	Minimum <b>floor space index</b>		0.4
4.13A.2.14.4	Maximum <b>floor space index</b>		0.9
4.13A.2.14.5	Maximum <b>height: sloped roof</b>		15.0 m
4.13A.2.14.6	Maximum <b>height: flat roof</b>		13.0 m
4.13A.2.14.7	Minimum <b>front and exterior side yard</b>		7.5 m
4.13A.2.14.8	Minimum <b>interior side yard:</b>		4.5 m
	(1)	where a <b>back to back</b> and/or <b>stacked townhouse</b> has a <b>height</b> between 0.0 m and 10.0 m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached dwelling</b> and/or <b>semi-detached</b>	7.5 m
	(2)	where a <b>back to back</b> and/or <b>stacked townhouse</b> has a <b>height</b> greater than 10.0 m and any portion of the <b>interior lot line</b> abuts a zone permitting <b>detached dwelling</b> and/or <b>semi-detached</b>	10.0 m
4.13A.2.14.9	Minimum <b>rear yard:</b>		7.5 m
	(1)	where a <b>rear lot line</b> , or any portion thereof, abuts a zone permitting an <b>apartment, townhouse, street townhouse,</b> and/or <b>back to back</b> and/or <b>stacked townhouse,</b> and/or an Institutional, Office, Commercial, Employment, or Utility Zone	4.5 m
	(2)	where a <b>back to back</b> and/or <b>stacked townhouse</b> has a <b>height</b> greater than 10.0 m and less than 15.0 m and any portion of the <b>rear lot line</b> abuts a zone permitting <b>detached dwelling</b> and/or <b>semi-detached</b>	10.0 m
4.13A.2.14.10	Maximum encroachments into required <b>yards:</b>		
	(1)	a <b>porch</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the <b>back to back</b> and/or <b>stacked townhouse</b>	1.8 m
	(2)	an awning, window, <b>chimney</b> , pilaster or corbel	0.6 m
	(3)	a <b>deck</b> , inclusive of stairs, <b>balcony</b> or awning, attached to a rear wall	2.5 m
	(4)	a <b>wing wall</b> attached to a <b>back to back</b> and/or <b>stacked townhouse</b>	3.0 m
4.13A.2.14.11	Minimum internal setbacks:		
	(1)	from a <b>garage face</b> to a <b>condominium road</b> or sidewalk	6.0 m
	(2)	from a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b> , sidewalk or visitor <b>parking space</b>	4.5 m
	(3)	from a <b>porch</b> or <b>deck</b> , inclusive of stairs, to a <b>condominium road</b> or sidewalk	2.9 m

**Exception RM8-14 continued on next page**

**Part 4 - Residential Zones**

4.13A.2.14	Exception: RM8-14	Map # 01, 03, 11, 20, 21, 25, 48E, 56	By-law: 0325-2008, 0190-2014, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM8-14 continued from previous page</b>			
4.13A.2.14.11 (continued)	(4)	from an awning, window, <b>chimney</b> , pilaster or corbel to a <b>condominium road</b> or sidewalk	3.9 m
	(5)	from a rear wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a side wall of another dwelling	10.0 m
	(6)	from a rear wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a rear wall of another dwelling	15.0 m
	(7)	from a rear wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to an internal walkway	7.5 m
	(8)	from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a side wall of another dwelling	3.0 m
	(9)	from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to an internal walkway	1.5 m
	(10)	from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to a <b>condominium road</b>	4.5 m
	(11)	from a side wall of a <b>back to back</b> and/or <b>stacked townhouse</b> to an abutting visitor <b>parking space</b>	4.5 m
4.13A.2.14.12	Attached <b>garage</b> , parking and <b>driveway</b> :		
	(1)	attached <b>garage</b>	Permitted
	(2)	minimum <b>parking spaces</b>	See Part 3
	(3)	minimum visitor <b>parking spaces</b>	See Part 3
	(4)	maximum <b>driveway</b> width	3.0 m
4.13A.2.14.13	<b>Parking areas</b> and <b>parking structure</b> setbacks:		
	(1)	minimum setback between a <b>parking space</b> and a <b>street</b>	4.5 m
	(2)	minimum setback between a <b>parking space</b> and any other <b>lot line</b>	3.0 m
	(3)	minimum setback of a <b>parking structure</b> constructed above or partially above finished grade to any <b>lot line</b>	6.0 m
	(4)	minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	3.0 m
4.13A.2.14.14	<b>Condominium roads, aisles</b> and sidewalks:		
	(1)	minimum width of a <b>condominium road/aisle</b>	7.0 m
	(2)	minimum width of a <b>condominium road</b> and/or <b>aisle</b> with an abutting parallel visitor <b>parking space</b>	6.0 m
	(3)	<b>condominium roads</b> and <b>aisles</b> are permitted to be shared with abutting lands zoned to permit <b>back to back</b> and/or <b>stacked townhouses, townhouses</b> or <b>apartments</b> , or any combination of dwellings thereof	
	(4)	minimum width of a sidewalk	2.0 m
4.13A.2.14.15	Minimum <b>amenity area</b> and <b>landscaped area</b> :		
	(1)	minimum <b>landscaped area</b>	40% of <b>lot area</b>
	(2)	minimum <b>amenity area</b>	The greater of 5.6 m <sup>2</sup> per <b>dwelling unit</b> or 10% of the site area
	(3)	minimum percentage of total required <b>amenity area</b> to be provided in one contiguous area	50%
4.13A.2.14.16	<b>Accessory buildings</b> and <b>structures</b>		Permitted

**Part 4 - Residential Zones**

4.13A.2.15	Exception: RM8-15	Map # 20	By-law: LPAT Order 2019 March 26
In a RM8-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM8-14 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.13A.2.15.1	(1)	<b>Townhouse</b>	
<b>Regulations</b>			
4.13A.2.15.2	The provisions contained in Subsections 2.1.14 and 2.1.30 and the regulations of Sentence 4.13A.2.14.8, Clauses 4.13A.2.14.9(2), 4.13A.2.14.11(1) to 4.13A.2.14.11(4), 4.13A.2.14.11(7), 4.13A.2.14.12(4), 4.13A.2.14.13(2) and 4.13A.2.14.15(3) contained in Exception Table 4.13A.2.14 of this By-law shall not apply		
4.13A.2.15.3	The wall of a <b>building</b> or <b>structure</b> that faces a <b>driveway</b> shall be deemed to be the front wall		
4.13A.2.15.4	Minimum <b>rear yard</b>		6.0 m
4.13A.2.15.5	Maximum dwelling <b>height - flat roof</b> , excluding any mechanical penthouse and/or access stairs		13.0 m
4.13A.2.15.6	Maximum encroachment of a <b>porch</b> or <b>deck</b> , inclusive of stairs, located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , into a required <b>front yard</b>		1.8 m
4.13A.2.15.7	Minimum width of a <b>condominium road/aisle</b>		6.0 m
4.13A.2.15.8	Minimum width of a sidewalk		1.5 m
4.13A.2.15.9	Minimum <b>landscaped area</b> for all lands zoned RM8-15		23%
4.13A.2.15.10	Minimum <b>amenity area</b>		5.6 m <sup>2</sup> per <b>dwelling unit</b>
4.13A.2.15.11	<b>Stacked Townhouse:</b>		
	(1)	maximum encroachment into a <b>front yard</b> of a <b>balcony</b>	1.6 m
	(2)	minimum setback from a rear wall of a <b>stacked townhouse</b> to a rear wall of another <b>stacked townhouse</b>	10.0 m
	(3)	minimum setback of a side or rear wall to internal walkway	0.0 m
	(4)	minimum setback from a front wall of a <b>stacked townhouse</b> to a <b>condominium road</b>	2.5 m
	(5)	minimum setback of a maximum of one <b>garage face</b> to a <b>condominium road</b>	5.0 m
	(6)	maximum number of units with one resident <b>parking space</b>	1
4.13A.2.15.12	<b>Townhouse:</b>		
	(1)	minimum setback from a front wall to a <b>condominium road</b>	2.5 m
	(2)	maximum encroachment of a <b>balcony</b> into a <b>rear yard</b>	1.2 m
	(3)	maximum encroachment of a <b>porch, deck</b> or <b>balcony</b> inclusive of stairs into a required <b>front yard</b>	1.6 m
4.13A.2.15.13	All site development plans shall comply with Schedule RM8-15 of this Exception		

**Exception RM8-15 continued on next page**

**Part 4 - Residential Zones**

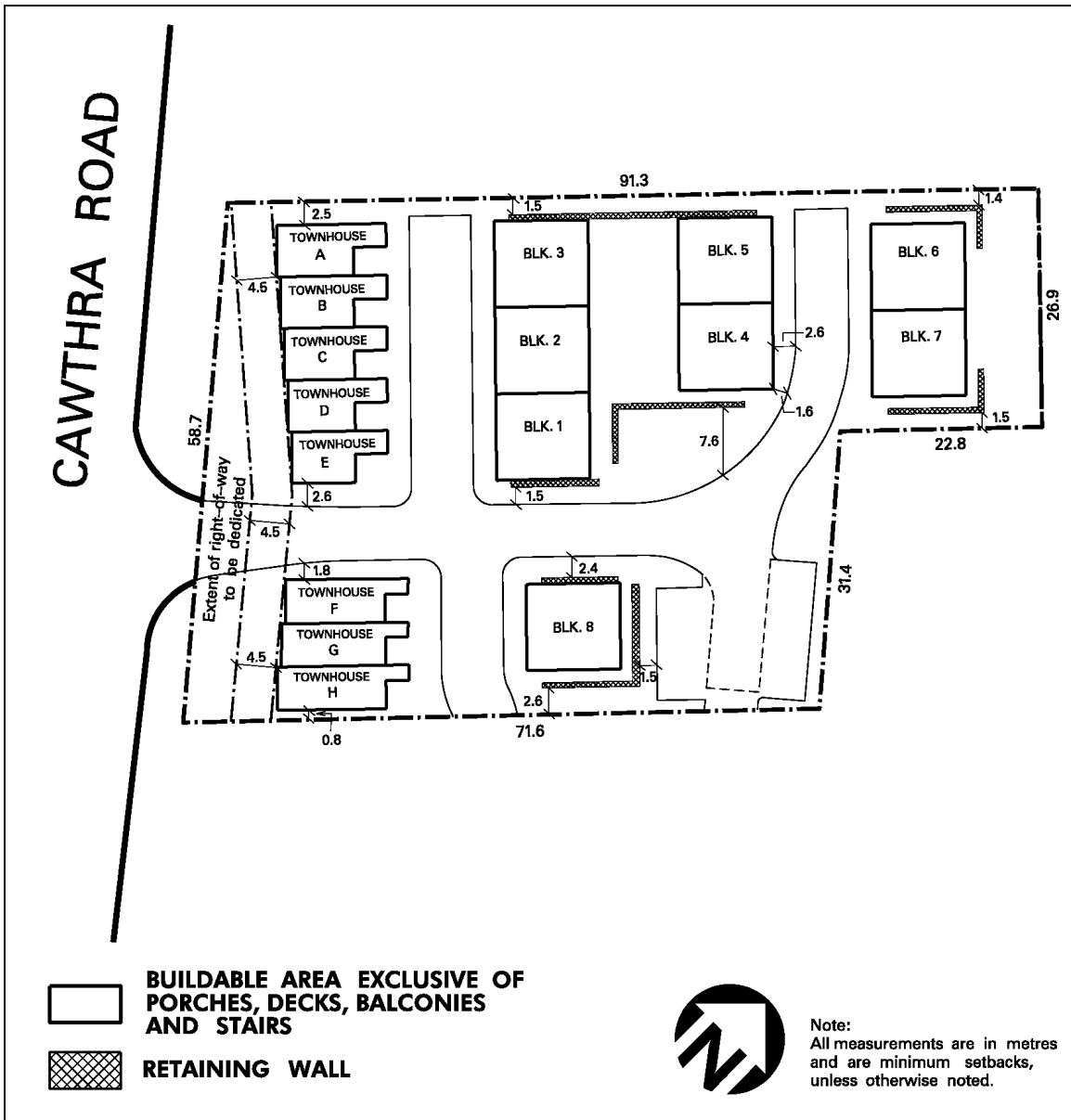
4.13A.2.15	Exception: RM8-15	Map # 20	By-law: LPAT Order 2019 March 26
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**Exception RM8-15 continued from previous page**

**Holding Provision**

The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM8-15 by further amendment to Map 20 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:

- (1) provision of any outstanding technical plans, studies and reports to the satisfaction of the City of Mississauga ("City") and Region of Peel ("Region") including:
  - (1.1) updated functional servicing report including grading and servicing plan;
  - (1.2) current Environmental Site Screening Questionnaire and Declaration (ESSQD);
  - (1.3) updated noise impact study;
  - (1.4) updated shadow study.
- (2) provision of noise, servicing, access and right-of-way requirements to the Region;
- (3) confirmation that the lands to be dedicated to the City meet applicable Ministry of Environment, Conservation and Parks;
- (4) establishment of satisfactory access and interconnection arrangements with the proposed development at 3105 Cawthra Road.



**Schedule RM8-15**  
Map 20

