

**4.12 RM6 ZONE
(TOWNHOUSE DWELLINGS ON A CEC - PRIVATE ROAD)**

4.12.1 RM6 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.12.1 - RM6 Permitted Uses and Zone Regulations.

Table 4.12.1 - RM6 Permitted Uses and Zone Regulations

Column A		B
Line 1.0	ZONES	RM6
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Townhouse dwellings on a CEC - private road	✓ ⁽¹⁾
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	115 m ²
3.2	Corner lot	190 m ²
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	5.0 m
4.2	Corner lot	8.3 m
5.0	MINIMUM DWELLING UNIT WIDTH	5.0 m ⁽²⁾
6.0	MINIMUM FRONT YARD	
6.1	Interior lot/corner lot	4.5 m ⁽³⁾
6.2	Minimum setback from a front garage face to a street, CEC - private road or CEC - sidewalk (0379-2009)	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	
7.1	Lot with an exterior side lot line that is a street line of a designated right-of-way 20.0 m or greater identified in Subsection 2.1.14 of this By-law	7.5 m ⁽³⁾
7.2	Lot with an exterior side lot line abutting a street	4.5 m ⁽³⁾
7.3	Lot with an exterior side lot line abutting a CEC - private road	4.5 m
7.4	Lot with an exterior side lot line abutting a CEC - sidewalk	3.3 m
7.5	Minimum setback from a front garage face to a street, CEC - private road or CEC - sidewalk (0379-2009)	6.0 m
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Attached side	0.0 m
8.2	Unattached side	1.5 m ⁽³⁾
8.3	Where interior side lot line is the rear lot line of an abutting parcel	2.5 m
9.0	MINIMUM REAR YARD	
9.1	Interior lot/corner lot	7.5 m ⁽³⁾
9.2	Wing wall	3.0 m
10.0	MAXIMUM HEIGHT	10.7 m
11.0	MINIMUM LANDSCAPED AREA	25% of the lot area

Table 4.12.1 continued on next page

Part 4 - Residential Zones

Column A		B
Line 1.0	ZONES	RM6
Table 4.12.1 continued from previous page		
12.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS	
12.1	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards (0325-2008)	1.5 m ⁽³⁾
12.2	Maximum encroachment of an awning, window, chimney , pilaster or corbel, window well, and stairs with a maximum of three (3) risers, into the required front and exterior side yards (0325-2008)	0.6 m ⁽³⁾
12.3	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard (0325-2008)	5.0 m ⁽³⁾
12.4	For a lot with a townhouse dwelling requiring a 0.0 m interior side yard , the setback to the interior side yard lot line from a porch or deck inclusive of stairs permitted in the rear yard , shall also be 0.0 m	✓
12.5	Maximum encroachment of a balcony , window, chimney , pilaster or corbel, window well, and stairs with a maximum of three (3) risers, into the required rear yard (0325-2008), (0379-2009)	1.0 m ⁽³⁾
12.6	Minimum setback of a townhouse dwelling to a CEC - visitor parking space (0325-2008)	3.3 m
12.7	Minimum setback of a townhouse dwelling to a CEC - amenity area	1.5 m
13.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
13.1	Attached garage	Required ⁽⁴⁾
13.2	<i>deleted by 0379-2009</i>	
13.3	Minimum parking spaces	✓ ⁽⁵⁾
13.4	Minimum visitor parking spaces	✓ ⁽⁵⁾ ⁽⁶⁾
13.5	Maximum driveway width	3.0 m ⁽⁷⁾
14.0	CEC - PRIVATE ROAD AND AISLES	
14.1	Minimum width of a CEC - private road	7.0 m ⁽⁸⁾
14.2	Minimum width of a CEC - private road with an abutting parallel visitor parking space	6.0 m ⁽⁸⁾
14.3	CEC - private roads and aisles are permitted to be shared with abutting lands with the same Base Zone and/or Exception Zone	✓
15.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁹⁾

NOTES: Where used, CEC means Common Element/Vacant Land Condominium.

- (1) **Common elements** are permitted within a common element/vacant land condominium corporation.
- (2) Measured from the exterior of outside walls and the mid-point of interior walls.
- (3) See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (4) See also Subsection 4.1.12 of this By-law.
- (5) See also Part 3 of this By-law.
- (6) See also Article 4.1.14.1 of this By-law.
- (7) See also Article 4.1.9.1 of this By-law.
- (8) See also Article 4.1.14.2 of this By-law.
- (9) See Subsection 4.1.2 of this By-law.

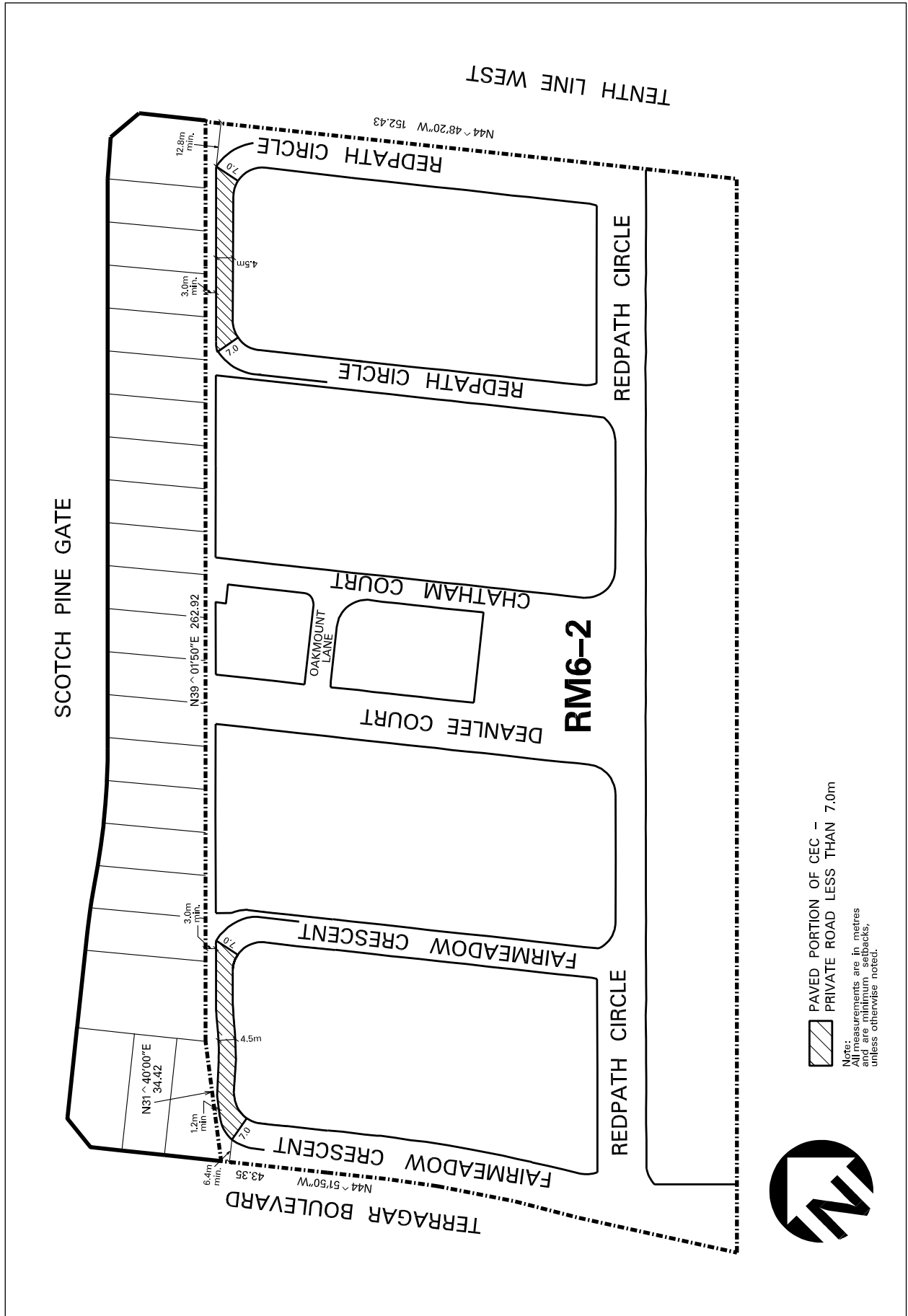
Part 4 - Residential Zones

4.12.2 RM6 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.12.2.1	Exception: RM6-1	Map # 37W	By-law:
In a RM6-1 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.1.1	Maximum number of dwelling units on all lands zoned RM6-1		133
4.12.2.1.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.1.3	Maximum driveway width		3.8 m

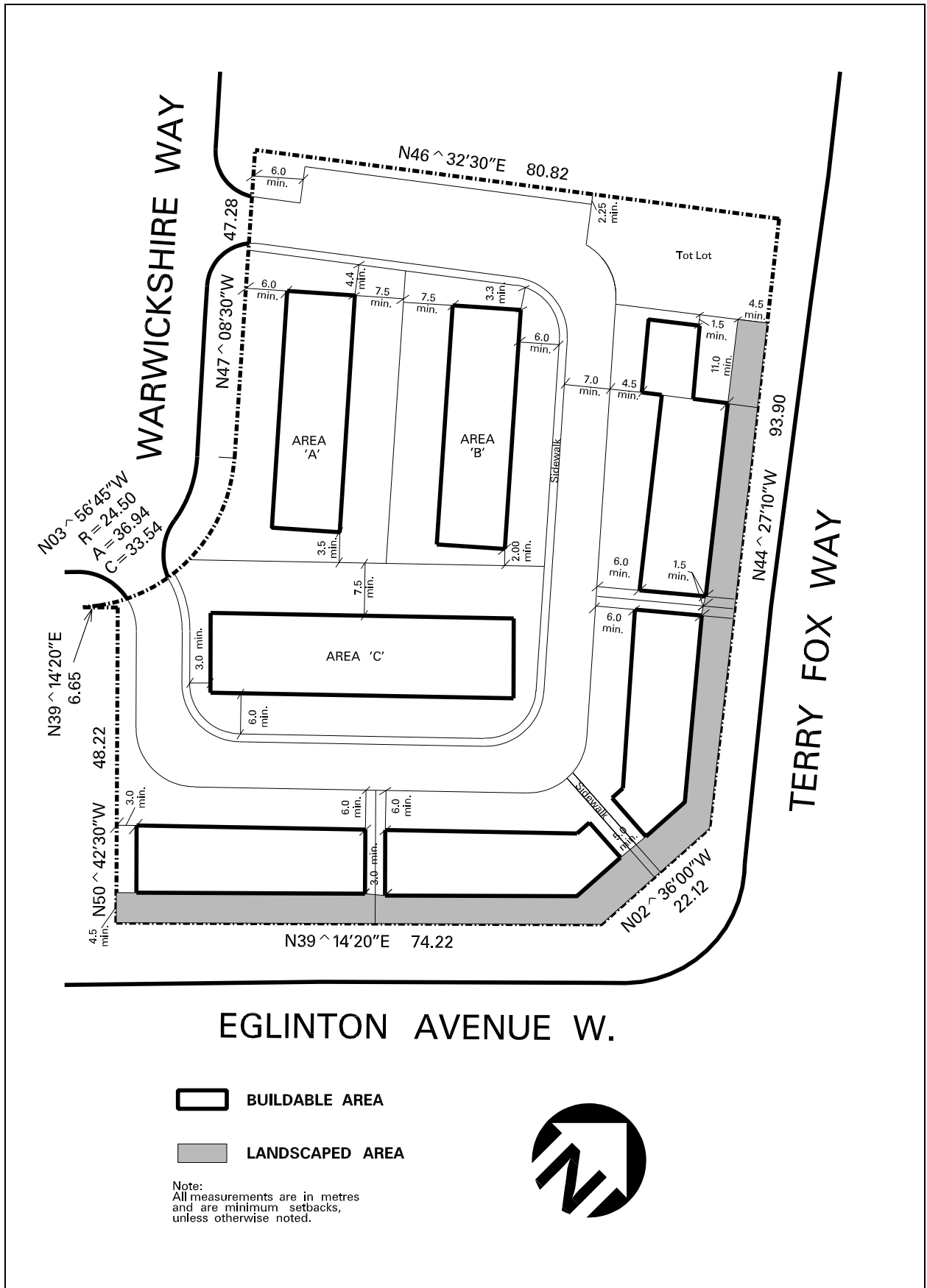
4.12.2.2	Exception: RM6-2	Map # 55	By-law: 0325-2008
In a RM6-2 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.2.1	Maximum number of dwelling units on all lands zoned RM6-2		236
4.12.2.2.2	Minimum lot area - interior lot		109 m ²
4.12.2.2.3	Minimum lot area - corner lot		170 m ²
4.12.2.2.4	Minimum lot frontage - interior lot		4.27 m
4.12.2.2.5	Minimum lot frontage - corner lot		6.63 m
4.12.2.2.6	Minimum exterior side yard		1.8 m
4.12.2.2.7	Minimum setback to Tenth Line West		4.5 m
4.12.2.2.8	Minimum setback to Terragar Boulevard		16.0 m
4.12.2.2.9	Maximum encroachment of a porch including stairs into a required yard that abuts a CEC - amenity area		1.1 m
4.12.2.2.10	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.2.11	Maximum driveway width		3.8 m
4.12.2.2.12	Minimum width of the paved portion of a CEC - private road may be reduced as identified on Schedule RM6-2 of this Exception		
4.12.2.2.13	Maximum projection of a balcony or deck into a required rear yard		2.5 m
4.12.2.2.14	All site development plans shall comply with Schedule RM6-2 of this Exception		



Schedule RM6-2
Map 55

Part 4 - Residential Zones

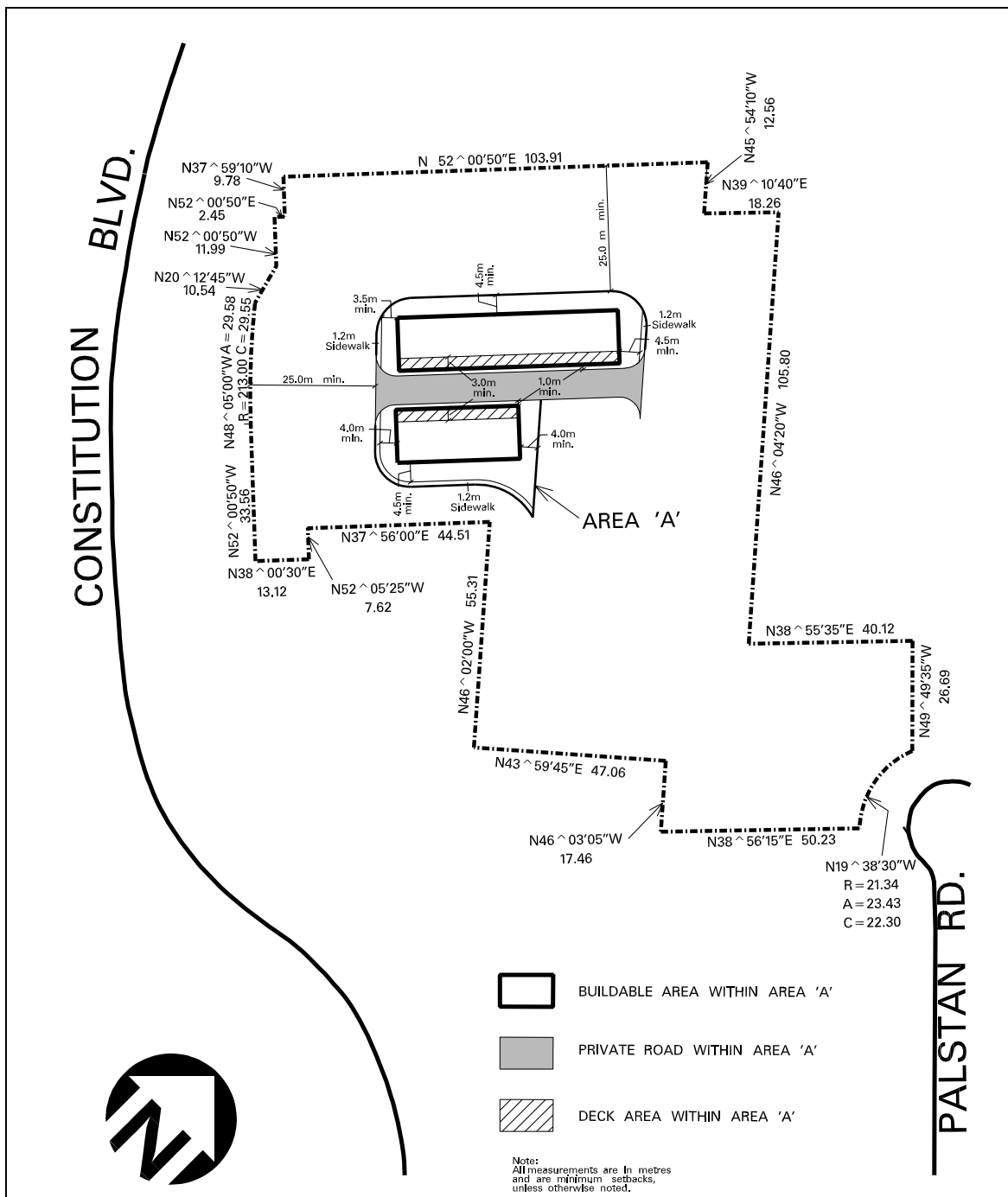
4.12.2.3	Exception: RM6-3	Map # 38E	By-law:
In a RM6-3 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.3.1	Maximum number of dwelling units on all lands zoned RM6-3		42
4.12.2.3.2	Maximum gross floor area - residential		0.75 times the lot area
4.12.2.3.3	Minimum landscaped area		39.6% of the lot area
4.12.2.3.4	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-3 of this Exception, into required front and rear yards		0.6 m
4.12.2.3.5	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-3 of this Exception, into required interior and exterior side yards		0.3 m
4.12.2.3.6	Maximum encroachment of a porch , exclusive of stairs, outside Buildable Areas 'A', 'B' and 'C' identified on Schedule RM6-3 of this Exception into the required front yard		1.5 m
4.12.2.3.7	Maximum encroachment of a balcony/deck outside the buildable area identified on Schedule RM6-3 of this Exception, into the required rear yard		2.5 m
4.12.2.3.8	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.3.9	Minimum number of additional CEC - visitor parking spaces to be provided within the common element area		6
4.12.2.3.10	All lot lines abutting Eglinton Avenue West and Terry Fox Way shall be deemed to be the front lot line		
4.12.2.3.11	Maximum driveway width		3.8 m
4.12.2.3.12	"Front Lot Line" means the line that divides a lot from a CEC-private road or a street		
4.12.2.3.13	All site development plans shall comply with Schedule RM6-3 of this Exception		



Schedule RM6-3
Map 38E

Part 4 - Residential Zones

4.12.2.4	Exception: RM6-4	Map # 20	By-law:
In a RM6-4 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.4.1	Maximum number of dwelling units on all lands zoned RM6-4	71	
4.12.2.4.2	Minimum rear yard - lot that abuts Palstan Road	4.5 m	
4.12.2.4.3	Minimum setback to a CEC - private road sight triangle	3.3 m	
4.12.2.4.4	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.4.5	Maximum driveway width	3.8 m	
4.12.2.4.6	All site development plans within Area 'A' shall comply with Schedule RM6-4 of this Exception		



Schedule RM6-4
Map 20

Part 4 - Residential Zones

4.12.2.5	Exception: RM6-5	Map # 27	By-law:
In a RM6-5 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.5.1	Maximum number of dwelling units on all lands zoned RM6-5		98
4.12.2.5.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.5.3	Maximum driveway width		3.8 m

4.12.2.6	Exception: RM6-6	Map # 40E	By-law:
In a RM6-6 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.6.1	Maximum number of dwelling units on all lands zoned RM6-6		135
4.12.2.6.2	Setbacks required to lot lines adjacent to a CEC- private road shall be measured to that edge of the curb adjacent to the property line		
4.12.2.6.3	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.6.4	Maximum driveway width		3.8 m

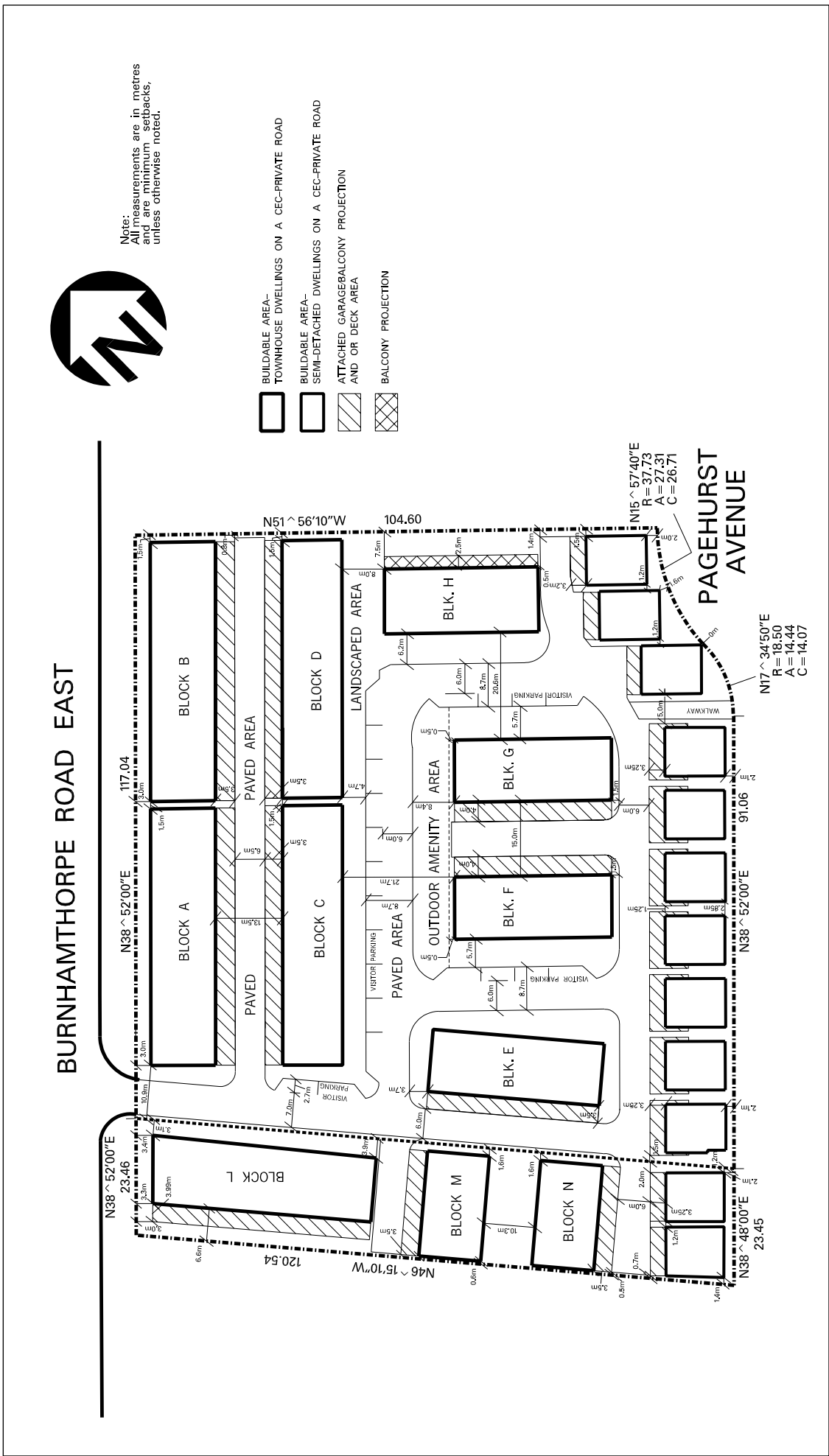
4.12.2.7	Exception: RM6-7	Map # 20	By-law: 0390-2007
In a RM6-7 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.7.1	Maximum number of dwelling units on all lands zoned RM6-7		71
4.12.2.7.2	Minimum setback to a street		7.5 m
4.12.2.7.3	Minimum setback to a CEC - private road sight triangle		3.3 m
4.12.2.7.4	Maximum projection of a balcony or deck into the required rear yard		2.5 m
4.12.2.7.5	Maximum projection of a porch or deck into the required exterior side yard		0.3 m
4.12.2.7.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.7.7	Maximum driveway width		3.8 m

Part 4 - Residential Zones

4.12.2.8	Exception: RM6-8	Map # 36E	By-law:
In a RM6-8 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.8.1	Maximum number of dwelling units on all lands zoned RM6-8		163
4.12.2.8.2	Minimum setback to a street		7.5 m
4.12.2.8.3	Minimum setback to a CEC - private road sight triangle		3.3 m
4.12.2.8.4	Maximum projection of a balcony or deck into the required rear yard		2.5 m
4.12.2.8.5	Maximum projection of a porch or deck into the required exterior side yard		0.3 m
4.12.2.8.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.8.7	Maximum driveway width		3.8 m

4.12.2.9	Exception: RM6-9	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0308-2011
In a RM6-9 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.12.2.9.1	(1) Semi-detached dwelling on a CEC - private road (2) A model home		
Regulations			
4.12.2.9.2	A townhouse dwelling on a CEC - private road and a semi-detached dwelling on a CEC - private road shall comply with the RM6 zone regulations except that:		
	(1) the provisions contained in Subsection 2.1.14, Article 4.1.12.3 and the regulations of Lines 3.1, 3.2, 4.1, 4.2, 12.6 and 13.2 contained in Table 4.12.1 of this By-law shall not apply		
	(2) maximum number of townhouse dwelling units on all lands zoned RM6-9		96
	(3) maximum number of semi-detached dwelling units on all lands zoned RM6-9		24
	(4) maximum gross floor area - residential on all lands zoned RM6-9		1.2 times the lot area
	(5) minimum landscaped area on all lands zoned RM6-9		20% of the lot area
	(6) minimum dwelling unit width		4.2 m
	(7) maximum height		12.4 m
	(8) maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-9 of this Exception, into the front, rear and exterior side yards of the dwelling unit		0.8 m

Exception RM6-9 continued on next page



Schedule RM6-9
Map 19

Part 4 - Residential Zones

4.12.2.10	Exception: RM6-10	Map # 03	By-law: 0281-2008, 0410-2008
In a RM6-10 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.12.2.10.1	(1) Detached Dwelling on a CEC - Private Road		
Regulations			
4.12.2.10.2	Maximum number of townhouse dwellings on a CEC - private road in Area 'A' identified on Schedule RM6-10 of this Exception		61
4.12.2.10.3	Maximum number of detached dwellings on a CEC - private road in Area 'A' identified on Schedule RM6-10 of this Exception		2
4.12.2.10.4	Maximum number of townhouse dwellings on a CEC - private road in Area 'B' identified on Schedule RM6-10 of this Exception		18
4.12.2.10.5	Minimum lot area - interior lot		111 m ²
4.12.2.10.6	Minimum lot area - corner lot		166 m ²
4.12.2.10.7	Minimum lot frontage - corner lot		7.3 m
4.12.2.10.8	The lot lines abutting Lakeshore Road West or Southdown Road shall be deemed to be the front lot line		
4.12.2.10.9	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards outside the buildable area identified on Schedule RM6-10 of this Exception		1.5 m
4.12.2.10.10	Maximum encroachment of an awning, window, chimney , pilaster or corbel, window well, and stairs with a maximum of three (3) risers into the required front and exterior side yards outside the buildable area identified on Schedule RM6-10 of this Exception		0.6 m
4.12.2.10.11	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		5.0 m
4.12.2.10.12	For a lot with a townhouse dwelling requiring a 0.0 m interior side yard , the setback to the interior side lot line from a porch or deck inclusive of stairs permitted in the rear yard , shall also be 0.0 m		
4.12.2.10.13	Maximum encroachment of a window, chimney , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three (3) risers into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		1.0 m
4.12.2.10.14	Maximum encroachment of a balcony into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		2.5 m
4.12.2.10.15	A townhouse dwelling on a CEC - private road fronting on Lakeshore Road West or Southdown Road is permitted to have a balcony with a maximum area of 16.5 m ² on top of an attached garage provided that the balcony does not project beyond the front garage face		
4.12.2.10.16	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.10.17	Maximum driveway width, unless otherwise identified on Schedule RM6-10 of this Exception		3.0 m

Exception RM6-10 continued on next page

Part 4 - Residential Zones

4.12.2.11	Exception: RM6-11	Map # 52E	By-law: 0403-2008
In a RM6-11 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.11.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.12.2.11.2	Minimum setback to McLaughlin Road		6.0 m
4.12.2.11.3	Minimum exterior side yard within 25.0 m of McLaughlin Road		2.7 m
4.12.2.11.4	Maximum building height within 30.0 m of all lands zoned R10		11.3 m
4.12.2.11.5	Minimum width of a CEC - private road within 45.0 m of McLaughlin Road		6.0 m
4.12.2.11.6	Maximum driveway width		3.2 m

4.12.2.12	Exception: RM6-12	Map # 20	By-law: OMB Order 2009 February 04
In a RM6-12 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.12.2.12.1	(1)	Townhouse Dwelling	
Regulations			
4.12.2.12.2	Maximum number of dwelling units on all lands zoned RM6-12		29
4.12.2.12.3	A townhouse dwelling shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		