

4.11RM5 ZONE  
(STREET TOWNHOUSES)

4.11.1RM5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations

Column A		B
Line 1.0	ZONES	RM5
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Street Townhouse (0181-2018/LPAT Order 2019 February 15)	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	200 m <sup>2</sup>
3.2	Corner lot	280 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	Corner lot	9.8 m
5.0	MINIMUM FRONT YARD	4.5 m <sup>(1)</sup>
5.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m <sup>(1)</sup>
6.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
7.0	MINIMUM INTERIOR SIDE YARD	
7.1	Attached side	0.0 m
7.2	Unattached side	1.5 m <sup>(1)</sup>
7.3	Attached <b>garage</b> - unattached side	1.2 m <sup>(1)</sup>
8.0	MINIMUM REAR YARD	7.5 m <sup>(1)</sup>
9.0	MAXIMUM HEIGHT (0174-2017)	10.7 m and 3 <b>storeys</b>
10.0	MINIMUM LANDSCAPED AREA	25% of the <b>lot area</b>
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the <b>lot area</b>
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached <b>garage</b>	Required <sup>(2)</sup>
12.2	Minimum <b>parking spaces</b>	✓ <sup>(3)</sup> <sup>(4)</sup>
12.3	Maximum <b>driveway</b> width	5.2 m <sup>(4)</sup>
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ <sup>(5)</sup>

- NOTES:
- (1)

See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (2)

See also Subsection 4.1.12 of this By-law.
- (3)

See also Part 3 of this By-law.
- (4)

See also Subsection 4.1.9 of this By-law.
- (5)

See Subsection 4.1.2 of this By-law.



#### 4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:
In a RM5-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.1.1	Minimum <b>lot frontage</b>		6.0 m
4.11.2.1.2	Minimum <b>front yard</b>		7.5 m
4.11.2.1.3	Minimum <b>exterior side yard</b>		7.5 m
4.11.2.1.4	Minimum <b>interior side yard</b>		3.0 m
4.11.2.1.5	Minimum <b>rear yard</b>		10.5 m

4.11.2.2	Exception: RM5-2	Map # 16, 17	By-law:
In a RM5-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.2.1	(1)	<b>Linked Dwelling</b>	

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017
In a RM5-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.3.1	(1)	<b>Detached Dwelling</b>	
	(2)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.3.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law		
4.11.2.3.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.4	Exception: RM5-4	Map # 16	By-law:
In a RM5-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.11.2.4.1	Minimum <b>rear yard - interior lot</b>		15.0 m

4.11.2.5	Exception: RM5-5	Map # 28, 39E	By-law: 0174-2017
In a RM5-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.5.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.5.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
	(2) minimum <b>lot frontage - interior lot</b>	9.0 m	
4.11.2.5.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.6	Exception: RM5-6	Map # 30	By-law:
In a RM5-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.6.1	Minimum <b>lot area - interior lot</b>		275 m <sup>2</sup>
4.11.2.6.2	Minimum <b>lot area - corner lot</b>		395 m <sup>2</sup>
4.11.2.6.3	Minimum <b>lot frontage - interior lot</b>		9.0 m
4.11.2.6.4	Minimum <b>lot frontage - corner lot</b>		13.0 m
4.11.2.6.5	Minimum <b>front yard</b>		6.0 m
4.11.2.6.6	Minimum setback from a <b>habitable room</b> to the <b>street line</b>		10.0 m

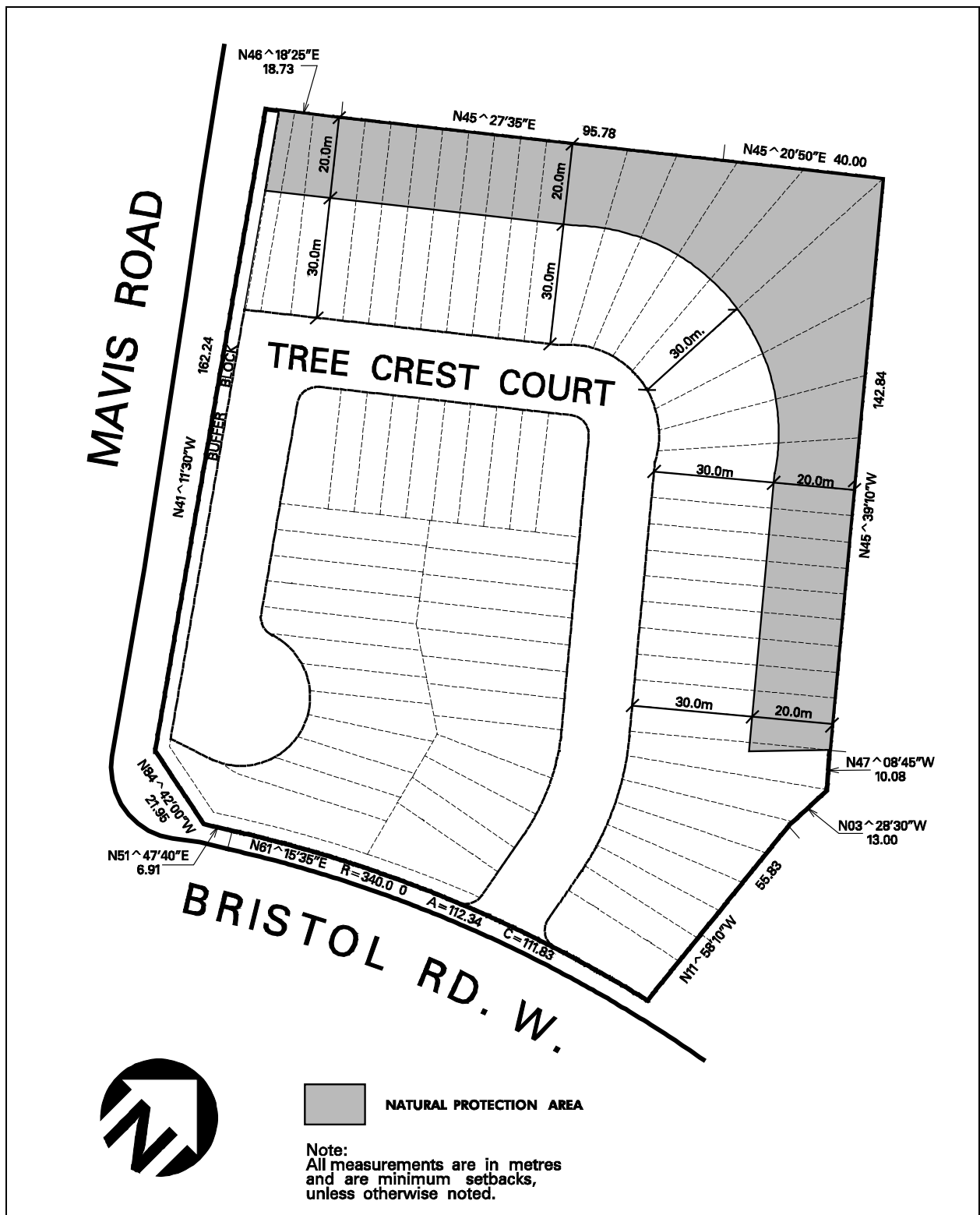
4.11.2.7	Exception: RM5-7	Map # 28	By-law: 0174-2017
In a RM5-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.7.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.7.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	240 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	375 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	8.0 m
	(4)	minimum <b>lot frontage - corner lot</b>	12.5 m

4.11.2.8	Exception: RM5-8	Map # 37E	By-law:
In a RM5-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.8.1	(1)	Detached Dwelling	
Regulations			
4.11.2.8.2	A detached dwelling shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot area - interior lot	275 m <sup>2</sup>
	(2)	maximum lot coverage	45%

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.9.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.9.2	<b>Street Townhouse:</b>		
	(1)	minimum <b>rear yard</b> - where a <b>lot</b> includes a <b>natural protection area</b> , shall be measured from the <b>natural protection area</b> identified on Schedule RM5-9 of this Exception and not from the <b>rear lot line</b>	
	(2)	the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:	
	(2.1)	the <b>natural protection area</b> shall only be used for the protection and natural regeneration of the <b>existing</b> woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the <b>existing</b> woodlot	
	(2.2)	all <b>buildings</b> and <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b>	
	(2.3)	outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b>	
	(2.4)	fencing shall only be permitted on the perimeter of the <b>natural protection area</b> and not within the <b>natural protection area</b>	
	(3)	all site development plans shall comply with Schedule RM5-9 of this Exception	

Exception RM5-9 continued on next page

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-9 continued from previous page			
4.11.2.9.3	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <p>(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply</p> <p>(2) minimum <b>lot area - interior lot</b> 195 m<sup>2</sup></p> <p>(3) minimum <b>lot frontage - interior lot</b> 6.5 m</p> <p>(4) maximum <b>gross floor area - residential</b> 0.75 times the <b>lot area</b></p> <p>(5) minimum <b>rear yard</b> - where a <b>lot</b> includes a <b>natural protection area</b>, shall be measured from the <b>natural protection area</b> identified on Schedule RM5-9 of this Exception and not from the <b>rear lot line</b></p> <p>(6) the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:</p> <p>(6.1) the <b>natural protection area</b> shall only be used for the protection and natural regeneration of the <b>existing</b> woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the <b>existing</b> woodlot</p> <p>(6.2) all <b>buildings</b> and <b>structures</b>, <b>swimming pools</b>, tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b></p> <p>(6.3) outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b></p> <p>(6.4) fencing shall only be permitted on the perimeter of the <b>natural protection area</b> and not within the <b>natural protection area</b></p> <p>(7) all site development plans shall comply with Schedule RM5-9 of this Exception</p>		

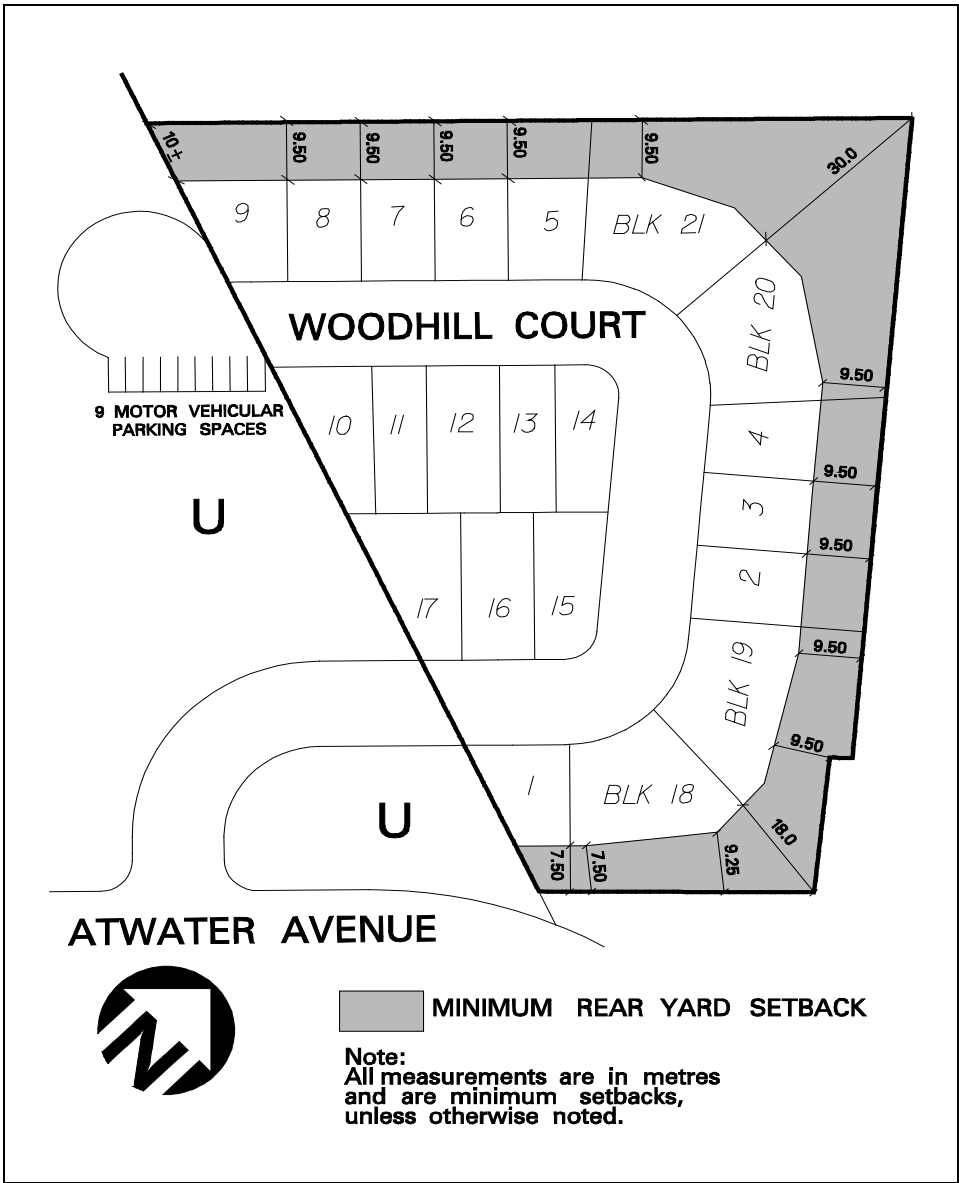


**Schedule RM5-9**  
Map 37W

4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.10.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.10.2	<b>Street Townhouse:</b>		
	(1) minimum <b>lot area - interior lot</b>		100 m <sup>2</sup>
	(2) minimum <b>lot frontage - interior lot</b>		4.0 m
	(3) maximum <b>lot coverage</b>		55%
	(4) minimum setback to <b>garage face</b>		4.5 m
	(5) minimum <b>interior side yard</b> - unattached side		1.2 m
	(6) minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception		7.5 m
	(7) minimum <b>parking spaces per dwelling unit</b> , one of which may be partially located on adjacent lands zoned U		3
	(8) maximum <b>driveway</b> width		3.0 m
	(9) all site development plans shall comply with Schedule RM5-10 of this Exception		
4.11.2.10.3	<b>A detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>		190 m <sup>2</sup>
	(2) minimum <b>lot area - corner lot</b>		210 m <sup>2</sup>
	(3) minimum <b>lot frontage - interior lot</b>		8.0 m
	(4) minimum <b>lot frontage - corner lot</b>		9.5 m
	(5) minimum <b>exterior side yard</b>		1.4 m
	(6) minimum setback to <b>garage face</b>		4.5 m
	(7) minimum <b>interior side yard</b> - unattached side		0.6 m
	(8) minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception		7.5 m
	(9) minimum <b>parking spaces per dwelling unit</b> , one of which may be partially located on adjacent lands zoned U		3
	(10) all site development plans shall comply with Schedule RM5-10 of this Exception		

Exception RM5-10 continued on next page

4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-10 continued from previous page			
4.11.2.10.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>lot area - interior lot</b>		130 m <sup>2</sup>
	(3) minimum <b>lot frontage - interior lot</b>		5.2 m
	(4) maximum <b>lot coverage</b>		40%
	(5) minimum setback to <b>garage face</b>		4.5 m
	(6) minimum <b>interior side yard</b> - unattached side		1.2 m
	(7) minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception		7.5 m
	(8) minimum <b>parking spaces</b> per <b>dwelling unit</b> , one of which may be partially located on adjacent lands zoned U		3
	(9) maximum <b>driveway</b> width		3.8 m
	(10) all site development plans shall comply with Schedule RM5-10 of this Exception		



Schedule RM5-10  
Map 06

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:
In a RM5-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.11.1	Minimum <b>lot area - interior lot</b>		165 m <sup>2</sup>
4.11.2.11.2	Minimum <b>lot frontage - interior lot</b>		5.5 m
4.11.2.11.3	Maximum <b>gross floor area - residential</b>		1.0 times the <b>lot area</b>

4.11.2.12	Exception: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017
In a RM5-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.12.1	(1)	<b>Semi-Detached</b>	
<b>Regulation</b>			
4.11.2.12.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>

4.11.2.13	Exception: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.13.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.13.2	<b>Street Townhouse:</b> (1)      minimum <b>rear yard</b> - where lands abut a B zone	15.0 m	
4.11.2.13.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that: (1)      minimum <b>rear yard</b> - where lands abut a B zone		
	15.0 m		
4.11.2.13.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that: (1)      the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply (2)      maximum <b>gross floor area - residential</b> (3)      minimum <b>rear yard</b> - where lands abut a B zone		
	0.75 times the <b>lot area</b> 15.0 m		

**Part 4 - Residential Zones**

4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.11.2.14.1	The <b>lot line</b> abutting a <b>street</b> with a width of 20.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.11.2.14.2	Minimum <b>exterior side yard</b>		3.3 m
4.11.2.14.3	A detached <b>garage</b> shall be permitted only in the <b>rear yard</b>		
4.11.2.14.4	Minimum setback from a detached <b>garage</b> to the <b>rear lot line</b>		5.2 m
4.11.2.14.5	Minimum setback from a detached <b>garage</b> located in the <b>rear yard</b> to a <b>street townhouse</b>		7.5 m

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:
In a RM5-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.15.1	Minimum <b>lot area - interior lot</b>	180 m <sup>2</sup>	
4.11.2.15.2	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.11.2.15.3	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.15.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.15.5	Minimum length of a <b>parking space</b> located on a <b>driveway</b> where lands abut a G2-1 zone	4.5 m	
4.11.2.15.6	Minimum length of a <b>parking space</b> located on a <b>driveway</b> - all other <b>lots</b>	5.5 m	

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.16.1	Minimum <b>lot area - interior lot</b>	240 m <sup>2</sup>	
4.11.2.16.2	Minimum <b>lot area - corner lot</b>	330 m <sup>2</sup>	
4.11.2.16.3	Minimum <b>lot frontage - interior lot</b>	8.0 m	
4.11.2.16.4	Minimum <b>lot frontage - corner lot</b>	11.0 m	
4.11.2.16.5	Minimum <b>front yard</b>	3.6 m	
4.11.2.16.6	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.16.7	Minimum setback to <b>garage face</b>	5.5 m	
4.11.2.16.8	Minimum <b>interior side yard</b> - unattached side	1.5 m	
4.11.2.16.9	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.16.10	Minimum setback of a <b>street townhouse</b> to all lands zoned G2-1	7.5 m	

4.11.2.17	Exception: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.17.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.17.2	<b>Street Townhouse:</b>		
	(1)	minimum setback to <b>garage face</b>	7.0 m
4.11.2.17.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>exterior side yard</b>	3.5 m
	(3)	maximum <b>driveway</b> width	5.5 m
	(4)	minimum setback to <b>garage face</b>	7.0 m

4.11.2.18	Exception: RM5-18	Map # 22	By-law: 0174-2017
In a RM5-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.18.1	(1)	<b>Semi-Detached</b>	
<b>Regulation</b>			
4.11.2.18.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>exterior side yard</b>	3.5 m

4.11.2.19	Exception: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.19.1	(1)	Semi-Detached	
Regulations			
4.11.2.19.2	Street Townhouse:		
	(1)	minimum <b>lot area</b>	200 m <sup>2</sup>
	(2)	minimum <b>lot frontage</b>	10.0 m
	(3)	minimum <b>front yard</b>	3.0 m
	(4)	minimum <b>exterior side yard</b>	1.8 m
	(5)	maximum encroachment of a window into required <b>front and exterior side yards</b>	0.3 m
	(6)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m
	(7)	maximum <b>driveway</b> width	5.5 m
4.11.2.19.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>lot area</b>	200 m <sup>2</sup>
	(3)	minimum <b>lot frontage</b>	10.0 m
	(4)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>
	(5)	minimum <b>front yard</b>	3.0 m
	(6)	minimum <b>exterior side yard</b>	1.8 m
	(7)	minimum <b>interior side yard</b> - unattached side	1.5 m
	(8)	maximum encroachment of a window into required <b>front and exterior side yards</b>	0.3 m
	(9)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m
	(10)	maximum <b>driveway</b> width	5.5 m

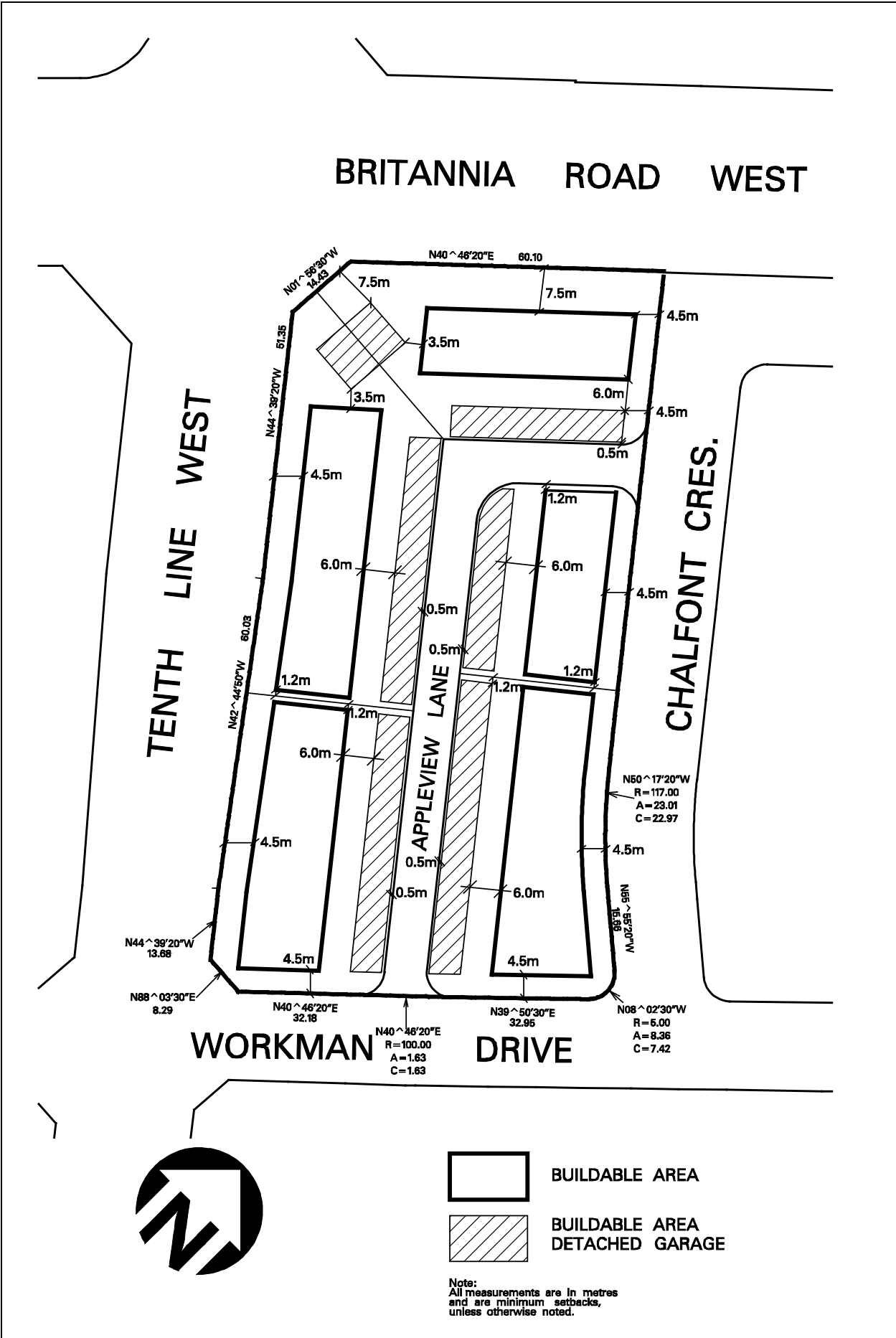
4.11.2.20	Exception: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.20.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.20.2	<b>Street Townhouse:</b>		
	(1)	minimum setback to <b>garage face</b>	7.0 m
4.11.2.20.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>
	(3)	minimum setback to <b>garage face</b>	7.0 m

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.21.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.21.2	Minimum <b>lot area - interior lot</b>		183 m <sup>2</sup>
4.11.2.21.3	Minimum <b>lot area - corner lot</b>		292 m <sup>2</sup>
4.11.2.21.4	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.21.5	Minimum <b>lot frontage - corner lot</b>		9.75 m
4.11.2.21.6	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.21.7	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.21.8	Minimum setback to <b>garage face</b>		5.8 m
4.11.2.21.9	Minimum <b>interior side yard - unattached side</b>		1.2 m
4.11.2.21.10	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
4.11.2.21.11	Maximum encroachment of an awning into the required <b>front yard</b>		0.6 m
4.11.2.21.12	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.21.13	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.21.14	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m

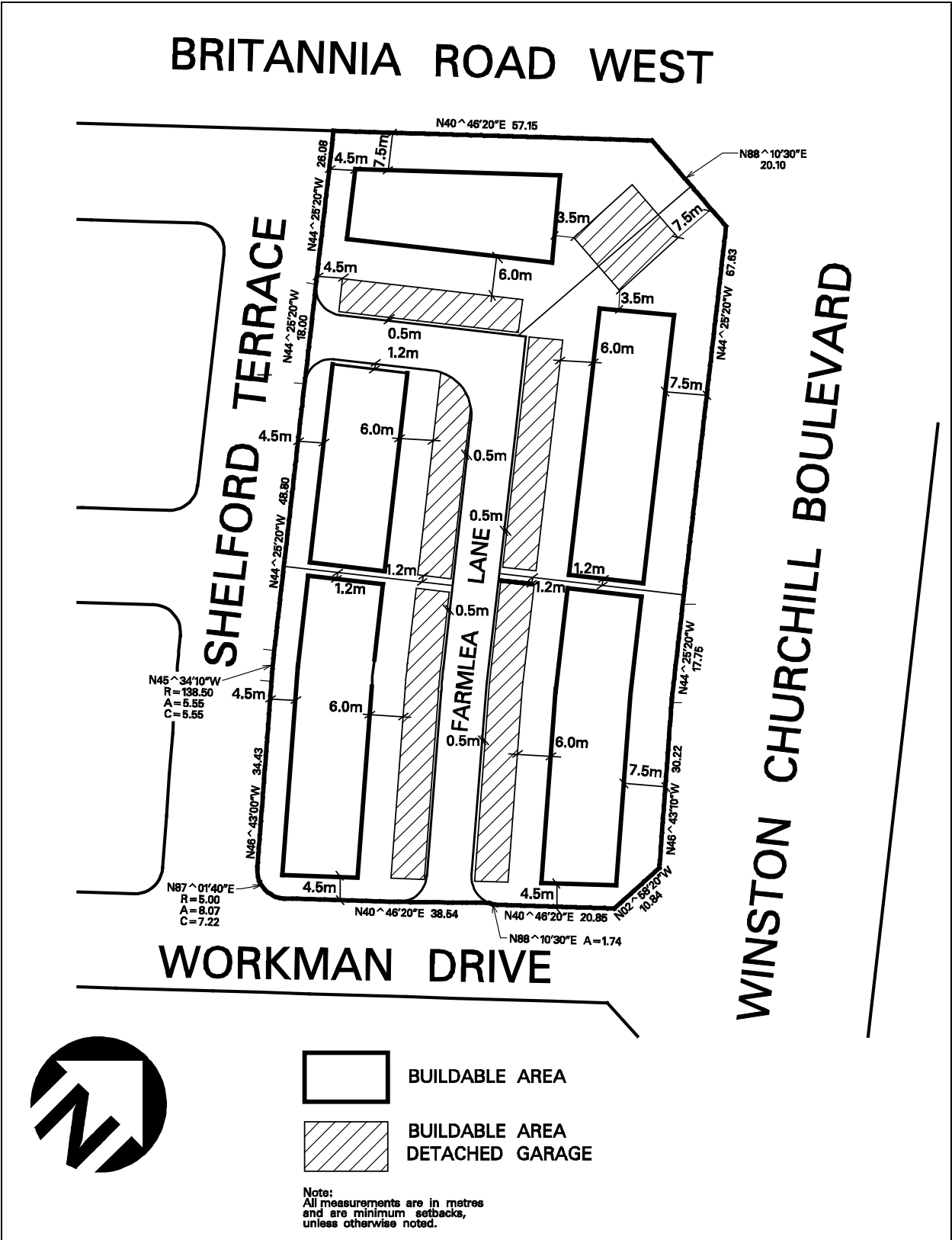
**Exception RM5-21 continued on next page**

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-21 continued from previous page</b>			
4.11.2.21.15	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.21.16	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.21.17	Maximum <b>driveway</b> width	3.8 m	
4.11.2.21.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

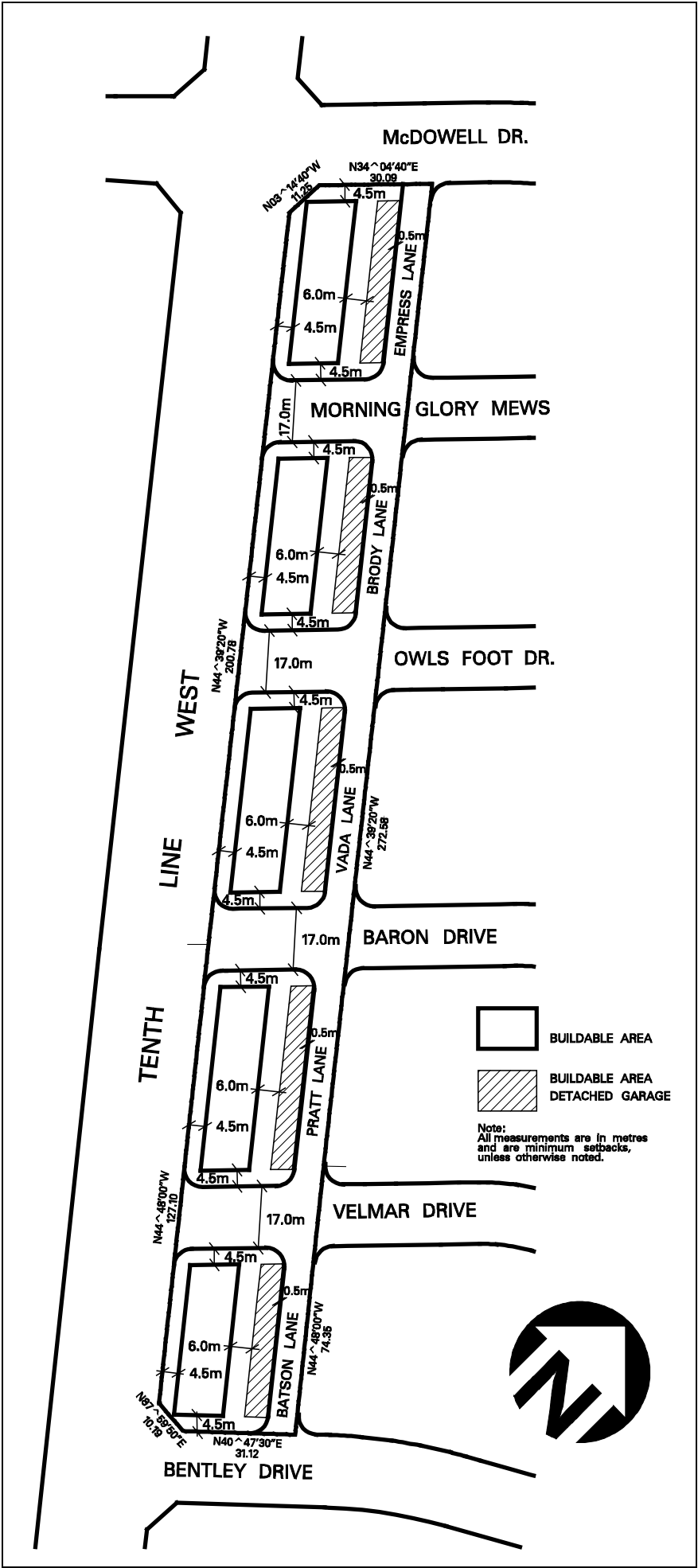
4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law: 0208-2022
In a RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7) and RM5-22(8) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.22.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.22.2	Minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>	
4.11.2.22.3	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.22.4	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the front lot line	3.5 m	
4.11.2.22.5	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m	
4.11.2.22.6	Maximum encroachment of a <b>porch</b> or <b>balcony</b> outside the <b>buildable area</b> identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.22.7	Maximum encroachment of an awning outside the <b>buildable area</b> identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>exterior side yard</b>	0.3 m	
4.11.2.22.8	Maximum <b>driveway</b> width	6.5 m	
4.11.2.22.9	A detached <b>garage</b> shall be permitted in the <b>buildable area</b> - detached <b>garage</b> identified on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	
4.11.2.22.11	Minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.8 m	
4.11.2.22.12	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.22.13	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from the public lane identified and named as a "lane" on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.14	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.22.15	All site development plans shall comply with Schedules RM5-22(1) to RM5-22(8) of this Exception		



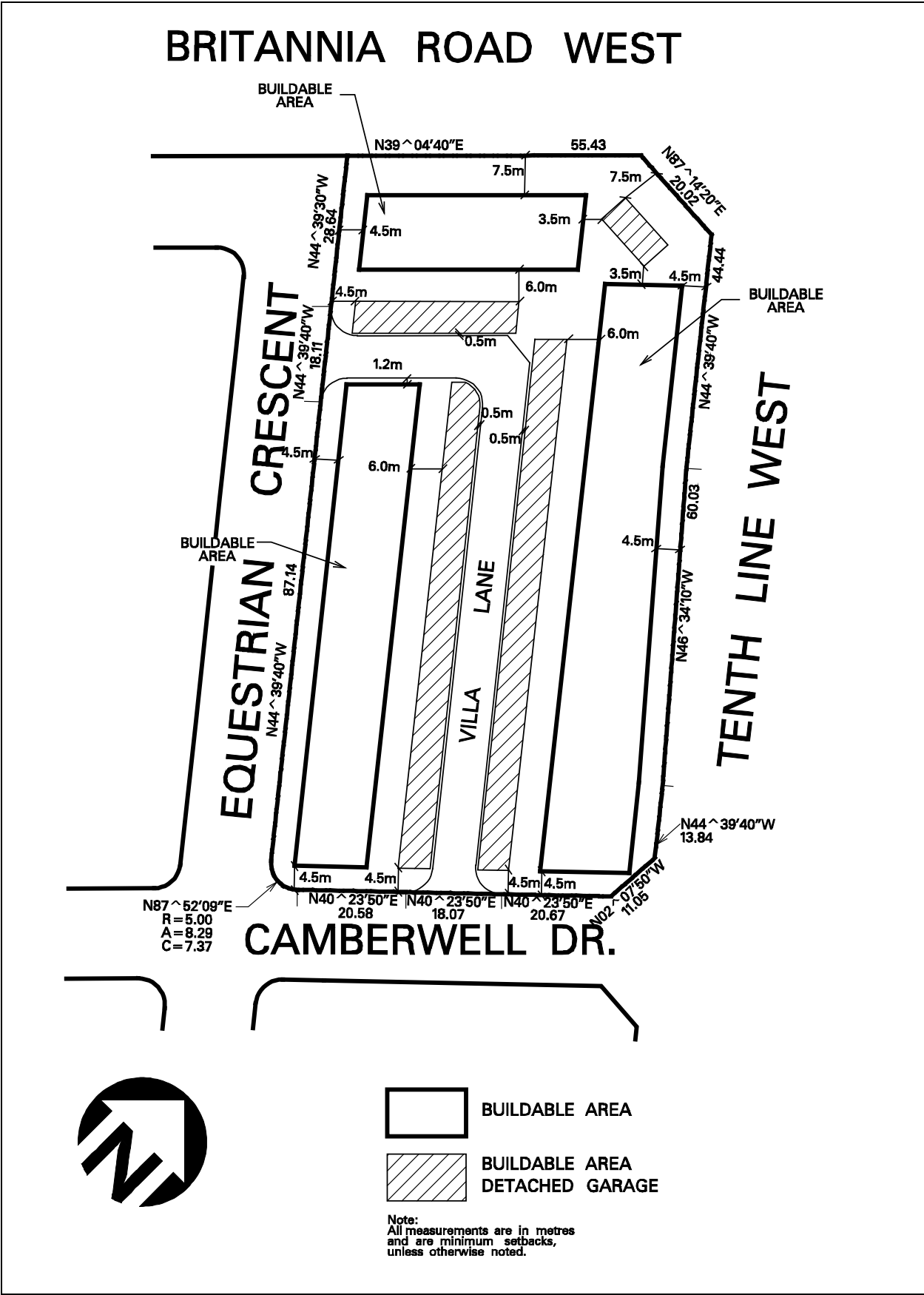
Schedule RM5-22(1)  
Map 57



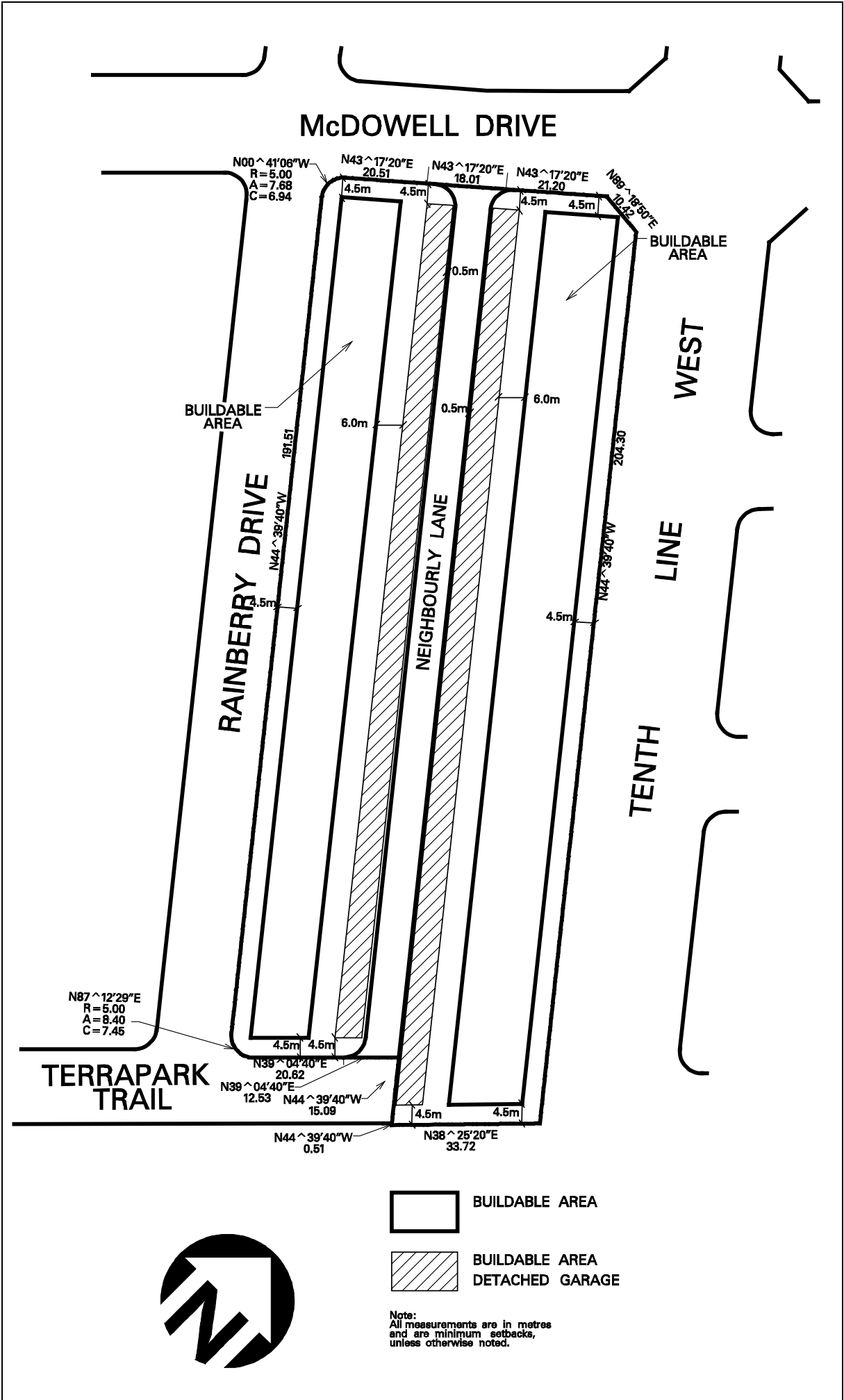
Schedule RM5-22(2)  
Map 57



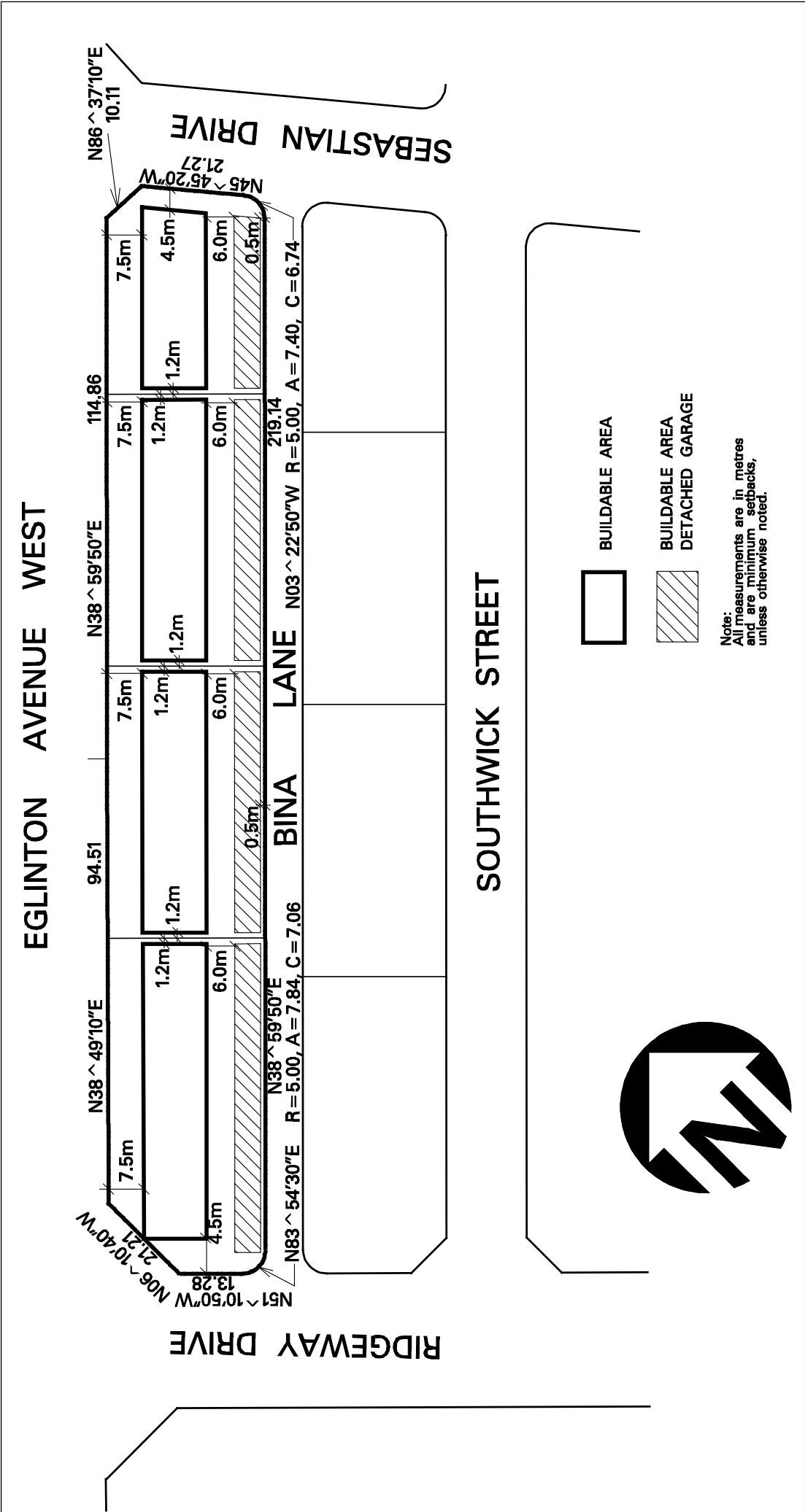
Schedule RM5-22(3)  
Map 57



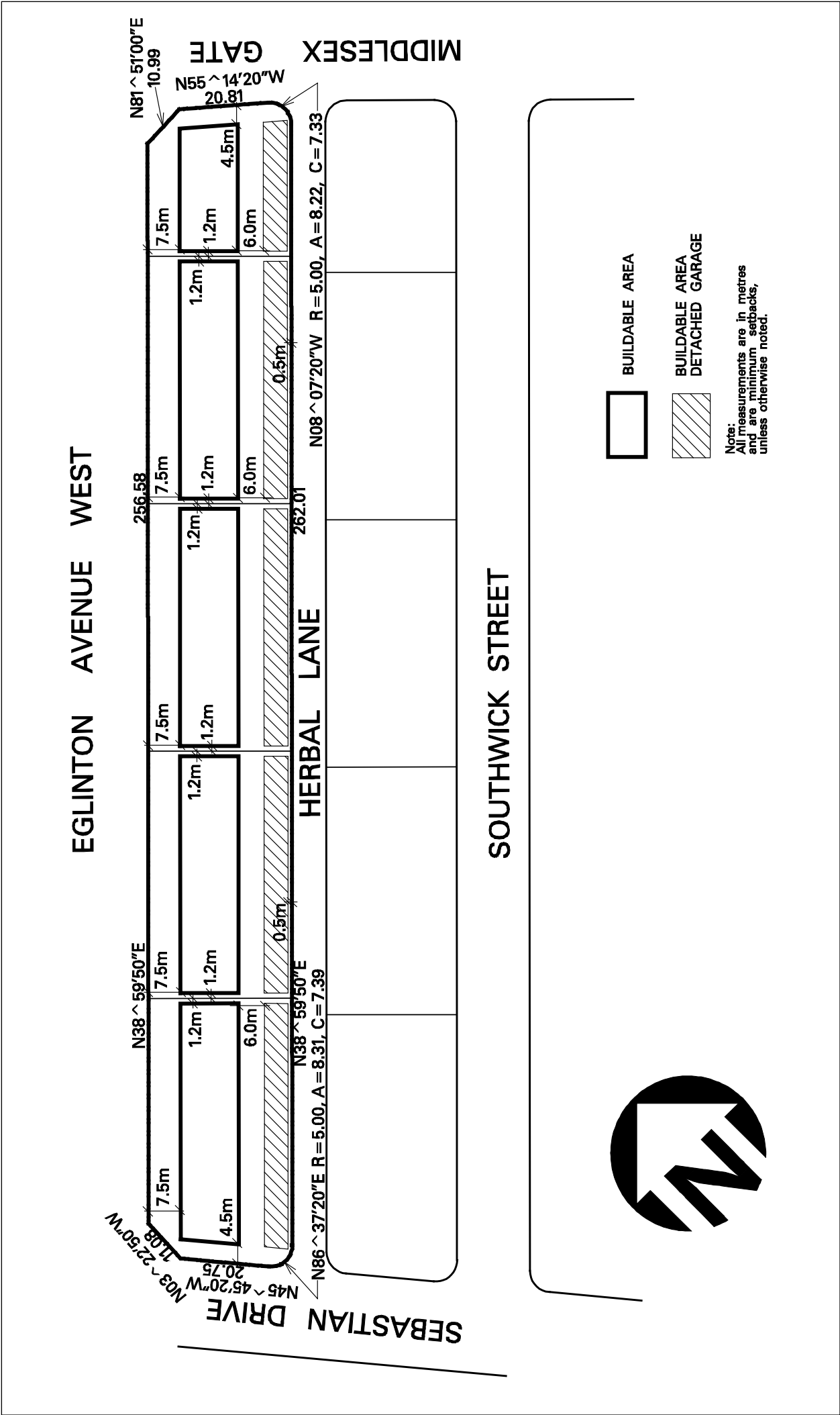
Schedule RM5-22(4)  
Map 57



Schedule RM5-22(5)  
Map 57



Schedule RM5-22(6)  
Map 58



Schedule RM5-22(7)  
Map 58



4.11.2.23	Exception: RM5-23	Map # 44W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.23.1	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.23.2	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.23.3	Minimum setback to <b>garage face</b>		5.8 m
4.11.2.23.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.11.2.23.5	Maximum encroachment of a <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
4.11.2.23.6	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.23.7	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.23.8	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.11.2.23.9	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.23.10	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.23.11	Maximum <b>driveway</b> width		3.8 m
4.11.2.23.12	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.24.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.24.2	Minimum <b>lot area - interior lot</b>		195 m <sup>2</sup>
4.11.2.24.3	Minimum <b>lot area - corner lot</b>		260 m <sup>2</sup>
4.11.2.24.4	Minimum <b>lot frontage - interior lot</b>		7.5 m
4.11.2.24.5	Minimum <b>lot frontage - corner lot</b>		10.0 m
4.11.2.24.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.24.7	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.24.8	Minimum setback to <b>garage face</b> where a <b>lot</b> abuts a PB1 zone		7.0 m
4.11.2.24.9	Minimum setback to <b>garage face</b> - all other <b>lots</b>		6.0 m
4.11.2.24.10	Minimum <b>interior side yard</b> - unattached side		1.2 m

Exception RM5-24 continued on next page

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-24 continued from previous page</b>			
4.11.2.24.11	Minimum <b>rear yard</b>		7.0 m
4.11.2.24.12	Minimum setback of a <b>street townhouse</b> to all lands zoned PB1		18.5 m
4.11.2.24.13	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.11.2.24.14	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.24.15	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.24.16	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.11.2.24.17	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.24.18	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.24.19	Maximum <b>driveway</b> width		3.8 m
4.11.2.24.20	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:
In a RM5-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.25.1	Minimum <b>lot area - interior lot</b>		163 m <sup>2</sup>
4.11.2.25.2	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.25.3	Minimum setback to Hurontario Street		3.2 m

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.26.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.26.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	minimum <b>rear yard</b> where lands abut a C5-12 zone	10.0 m

**Exception RM5-26 continued on next page**

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-26 continued from previous page</b>			
4.11.2.26.2 (continued)	(4)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(5)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(6)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(7)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(8)	maximum <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(9)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(10)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.26.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	minimum <b>rear yard</b> where lands abut an C5-12 zone	10.0 m
	(4)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(5)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(6)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> - <b>interior lot</b>	
	(7)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(8)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(9)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(10)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.27.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.27.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage</b> :	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	minimum setback to Old Derry Road	9.0 m
	(3)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(4)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(5)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(6)	maximum total <b>porch</b> area in <b>front and exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(7)	the area of all <b>porches</b> in <b>front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(8)	<b>accessory building</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.27.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> :	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	minimum setback to Old Derry Road	9.0 m
	(3)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m

Exception RM5-27 continued on next page

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-27 continued from previous page</b>			
4.11.2.27.3 (continued)	(4)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(5)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(6)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(7)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(8)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.28.1	(1)	<b>Detached Dwelling</b>	
	(2)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.28.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage:</b>	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(3)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(4)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(5)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(6)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(7)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

Exception RM5-28 continued on next page

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-28 continued from previous page</b>			
4.11.2.28.3	<p>A <b>detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law except that:</p> <p>(1) maximum <b>lot coverage</b> - where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall 45%</p> <p>(2) maximum <b>lot coverage</b> - where the projection of a <b>garage</b> beyond the <b>main front entrance</b> or the <b>main entry feature</b>, where provided, is less than or equal to 1.0 m or the projection of a <b>garage</b> beyond the <b>main front entrance</b> is less than or equal to 2.5 m 45%</p>		
4.11.2.28.4	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <p>(1) maximum <b>lot coverage</b>:</p> <p>(1.1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or 45%</p> <p>(1.2) where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or 45%</p> <p>(1.3) all other <b>lots</b> 40%</p> <p>(2) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b> 7.0 m</p> <p>(3) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></p> <p>(4) maximum <b>porch</b> area in a <b>front yard - interior lot</b> 12 m<sup>2</sup></p> <p>(5) maximum total <b>porch</b> in <b>front</b> and <b>exterior side yards - corner lot</b> 20 m<sup>2</sup></p> <p>(6) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b></p> <p>(7) <b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b></p>		

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<p>In a RM5-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Additional Permitted Uses</b>			
4.11.2.29.1	<p>(1) <b>Detached Dwelling</b></p> <p>(2) <b>Semi-Detached</b></p>		

Exception RM5-29 continued on next page

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-29 continued from previous page</b>			
<b>Regulations</b>			
4.11.2.29.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(5)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(6)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(7)	maximum <b>porch</b> area in <b>front</b> and <b>exterior side yards</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.29.3	A <b>detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law		
4.11.2.29.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(5)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> - <b>interior lot</b>	
	(6)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(7)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

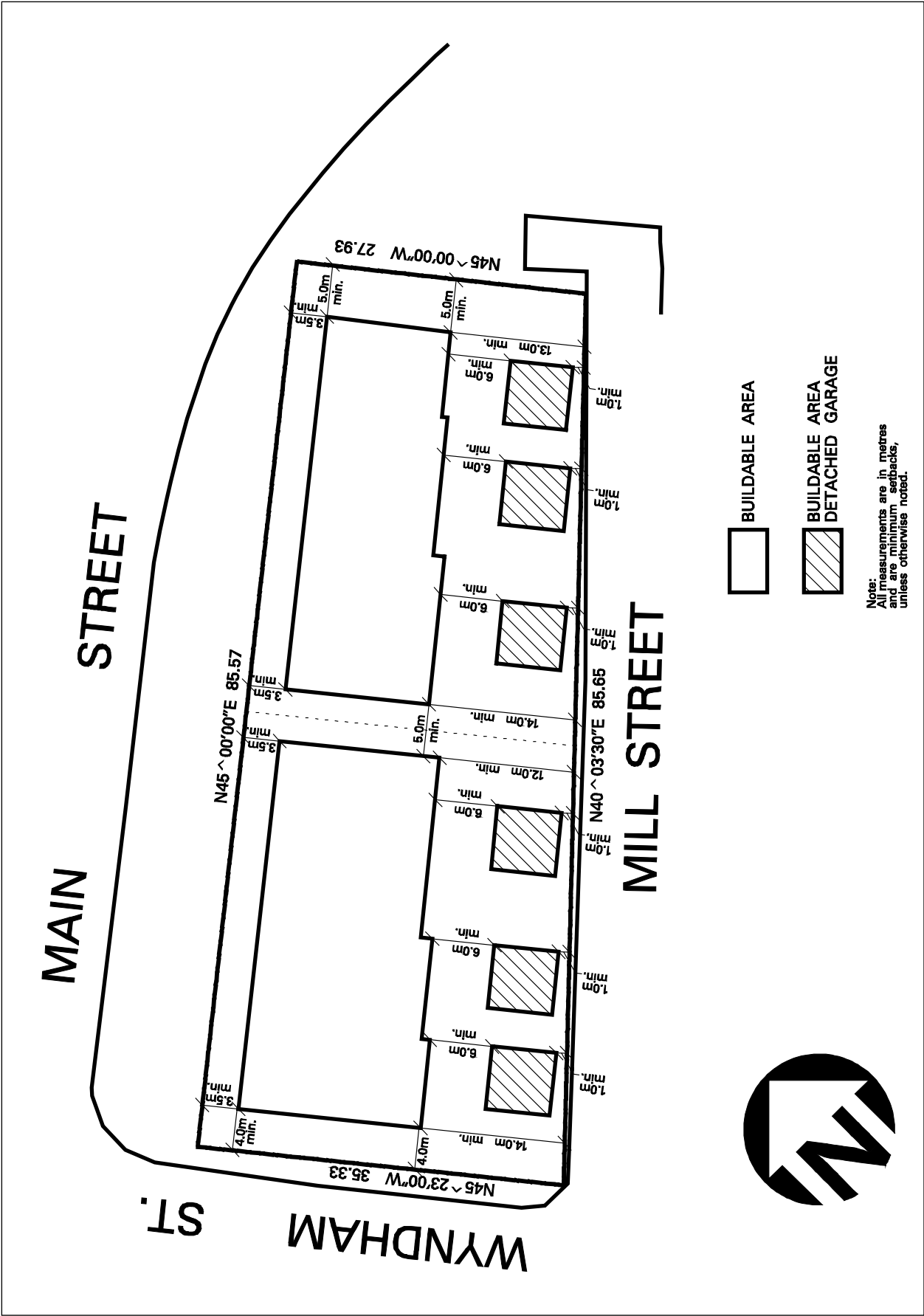
4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.30.1	Minimum <b>lot area - corner lot</b>		325 m <sup>2</sup>
4.11.2.30.2	Minimum <b>lot frontage - corner lot</b>		10.5 m
4.11.2.30.3	Maximum <b>lot coverage</b> :		
	(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or <b>habitable room</b> on the <b>first storey</b> or	45%
	(2)	where the width of the <b>garage</b> is 3.8 m or less, measured from the inside face of the <b>garage</b> side walls or	45%
	(3)	all other <b>lots</b>	40%
4.11.2.30.4	Minimum setback to <b>garage face</b>		7.0 m
4.11.2.30.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.5 m
4.11.2.30.6	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.30.7	Maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
4.11.2.30.8	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>		20 m <sup>2</sup>
4.11.2.30.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.11.2.30.10	Maximum <b>driveway</b> width		3.8 m
4.11.2.30.11	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.30.12	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.11.2.31	Exception: RM5-31	Map # 37W	By-law: 0174-2017
In a RM5-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.31.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.31.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	195 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	6.5 m
	(3)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>

4.11.2.32	Exception: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.32.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.32.2	<b>Street Townhouse:</b>		
	(1) minimum <b>lot area</b>		186 m <sup>2</sup>
	(2) minimum <b>interior side yard</b> - unattached side		1.2 m
4.11.2.32.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area</b>		247 m <sup>2</sup>
4.11.2.32.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) minimum <b>lot area</b>		186 m <sup>2</sup>

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:
In a RM5-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.33.1	Minimum <b>lot frontage</b> - interior lot		8.0 m
4.11.2.33.2	Minimum <b>lot frontage</b> - corner lot		11.5 m
4.11.2.33.3	Minimum <b>exterior side yard</b>		3.6 m

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010
In a RM5-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.34.1	The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception		



Schedule RM5-34  
Map 38W

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.35.1	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.35.2	Minimum <b>lot area - corner lot</b>	230 m <sup>2</sup>	
4.11.2.35.3	Minimum <b>lot frontage - interior lot</b>	5.9 m	
4.11.2.35.4	Minimum setback to <b>garage face</b>	10.5 m	
4.11.2.35.5	Minimum <b>exterior side yard</b>	4.1 m	
4.11.2.35.6	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.35.7	Maximum encroachment of a <b>deck</b> into the required <b>rear yard</b>	2.0 m	
4.11.2.35.8	Minimum number of <b>parking spaces</b>	3	

4.11.2.36	Exception: RM5-36	Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.36.1	(1)	Semi-Detached	
Regulations			
4.11.2.36.2	Street Townhouse:		
	(1)	minimum setback from a <b>street townhouse</b> to all lands zoned PB1	10.0 m
	(2)	minimum setback to a <b>sight triangle</b>	0.0 m
	(3)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(4)	maximum <b>driveway</b> width	3.8 m
	(5)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
4.11.2.36.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum setback from a <b>semi-detached</b> to all lands zoned PB1	10.0 m
	(2)	minimum setback to a <b>sight triangle</b>	0.0 m
	(3)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(4)	maximum <b>driveway</b> width	3.8 m
	(5)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.37.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.37.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.0 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-37 continued from previous page</b>			
4.11.2.37.3	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <ol style="list-style-type: none"> <li>(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply</li> <li>(2) minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b> 3.5 m</li> <li>(3) minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b> 3.5 m</li> <li>(4) minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m 1.8 m</li> <li>(5) minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b> 4.2 m</li> <li>(6) minimum setback to <b>garage face</b> 5.8 m</li> <li>(7) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b> 2.0 m</li> <li>(8) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m</li> <li>(9) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m</li> <li>(10) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></li> <li>(11) minimum setback to a <b>sight triangle</b> 0.0 m</li> <li>(12) maximum <b>driveway</b> width - <b>interior lot</b> 4.3 m</li> <li>(13) maximum <b>driveway</b> width - <b>corner lot</b> 4.7 m</li> <li>(14) maximum <b>garage</b> width: 3.8 m measured from the inside face of the <b>garage</b> side walls</li> </ol>		

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.38.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.38.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m²
	(3)	minimum <b>lot area - corner lot</b>	292 m²
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.0 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-38 continued on next page

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-38 continued from previous page</b>			
4.11.2.38.3	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1) minimum <b>lot area</b> - <b>interior lot</b>		275 m <sup>2</sup>
	(2) minimum <b>lot area</b> - <b>corner lot</b>		380 m <sup>2</sup>
	(3) minimum <b>lot frontage</b> - <b>interior lot</b>		9.75 m
	(4) minimum <b>lot frontage</b> - <b>corner lot</b>		13.5 m
	(5) minimum setback from a <b>detached dwelling</b> to all lands zoned G1		11.0 m
	(6) minimum <b>rear yard</b>		7.5 m
	(7) maximum <b>driveway</b> width		6.5 m
	(8) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m
4.11.2.38.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>front yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
	(3) minimum <b>exterior side yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
	(4) minimum <b>exterior side yard</b> - <b>lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m		1.8 m
	(5) minimum <b>exterior side yard</b> - <b>corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>		4.2 m
	(6) minimum setback to <b>garage face</b>		5.8 m
	(7) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(8) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
	(9) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
	(10) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(11) minimum setback to a <b>sight triangle</b>		0.0 m
	(12) maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
	(13) maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
	(14) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-39 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.39.1	(1)	Semi-Detached	
Regulations			
4.11.2.39.2	Street Townhouse:		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	minimum setback to a <b>sight triangle</b>	0.0 m
	(5)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m
	(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>driveway</b> width	6.5 m
	(9)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(10)	a detached <b>garage</b> shall be provided in the <b>rear yard</b>	
	(11)	minimum setback from a detached <b>garage</b> to a <b>street townhouse</b>	6.0 m
	(12)	the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>	
4.11.2.39.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	maximum <b>driveway</b> width	6.5 m
	(5)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m
	(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(9)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-39 continued on next page

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-39 continued from previous page			
4.11.2.39.3 (continued)	(10)	a detached <b>garage</b> shall be provided in the <b>rear yard</b>	
	(11)	minimum setback from a detached <b>garage</b> to a <b>semi-detached</b>	6.0 m
	(12)	the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>	

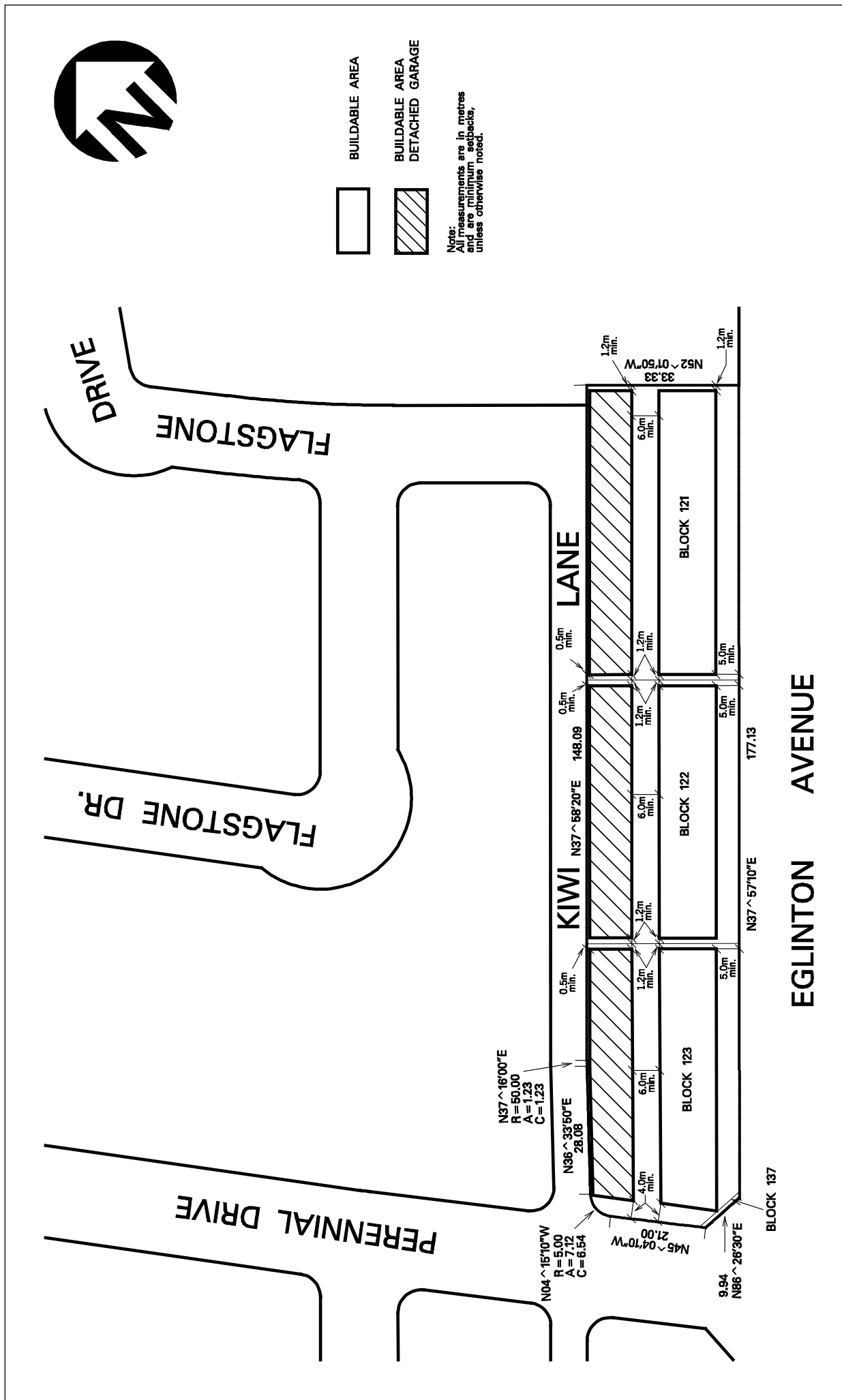
4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017
In a RM5-40 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.40.1	(1)	Semi-Detached	
Regulation			
4.11.2.40.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

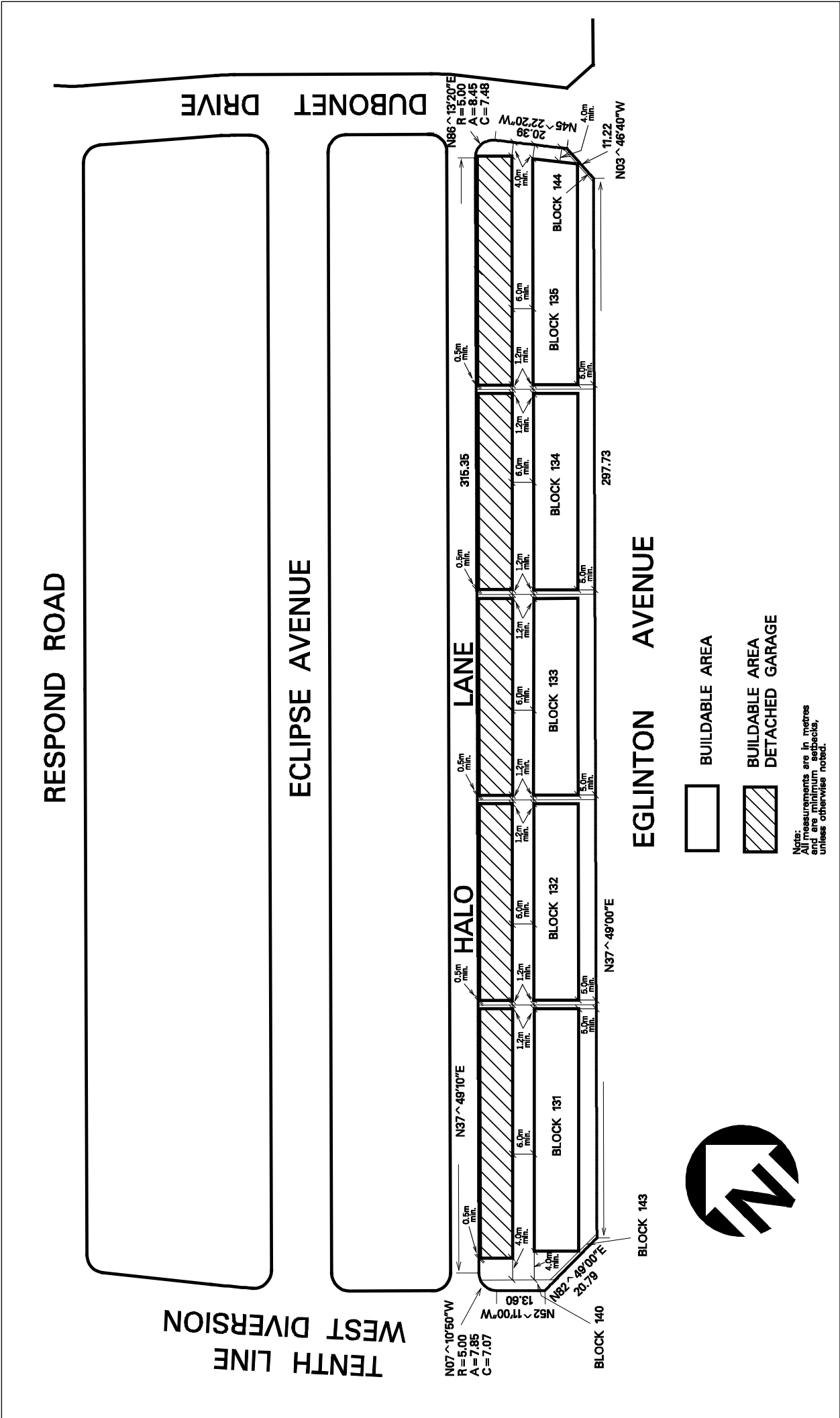
4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
In a RM5-41(1), RM5-41(2), and RM5-41(3) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.41.1	The following <b>uses</b> are permitted within a <b>street townhouse</b> :		
	(1)	<b>Office</b>	
	(2)	<b>Medical Office - Restricted</b>	
	(3)	<b>Service Establishment</b>	
	(4)	<b>Repair Service</b>	
	(5)	<b>Retail Store</b>	
	(6)	Tutoring	
<b>Uses Not Permitted</b>			
4.11.2.41.2	(1)	Dry-cleaning establishment or depot	
	(2)	Carpet or floor covering cleaning service	
	(3)	Pet Shop	
	(4)	Laundromat or laundry depot	
<b>Regulations</b>			
4.11.2.41.3	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	the <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, shall only be located within the <b>first storey</b> of a <b>street townhouse</b>	

Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page

4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022
<b>Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued from previous page</b>			
4.11.2.41.3 (continued)	(3)	maximum number of <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, per street townhouse <b>dwelling unit</b>	1
	(4)	maximum <b>gross floor area - non-residential</b>	65 m <sup>2</sup>
	(5)	minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>
	(6)	minimum <b>lot frontage - corner lot</b>	10.5 m
	(7)	maximum <b>lot coverage - detached garage</b>	17%
	(8)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the front lot line	4.0 m
	(9)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m
	(10)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(11)	maximum encroachment of a <b>deck</b> beyond the <b>buildable area</b> identified on Schedules RM5-41(1) to RM5-41(3) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m
	(12)	maximum <b>driveway</b> width	6.1 m
	(13)	a detached <b>garage</b> shall be permitted in the <b>buildable area - detached garage</b> identified on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(14)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m
	(15)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m
	(16)	minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.85 m
	(17)	minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m
	(18)	notwithstanding Schedules RM5-41(1) to RM5-41(3) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> of Blocks 122, 125, 132, 133 and 134, identified on Schedules RM5-41(1) to RM5-41(3) of this Exception, in compliance with the following:	
	(18.1)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(18.2)	maximum <b>driveway</b> width	4.3 m
	(18.3)	minimum <b>rear yard</b>	6.0 m
	(19)	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(20)	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line	
	(21)	all site development plans shall comply with Schedules RM5-41(1) to RM5-41(3) of this Exception	





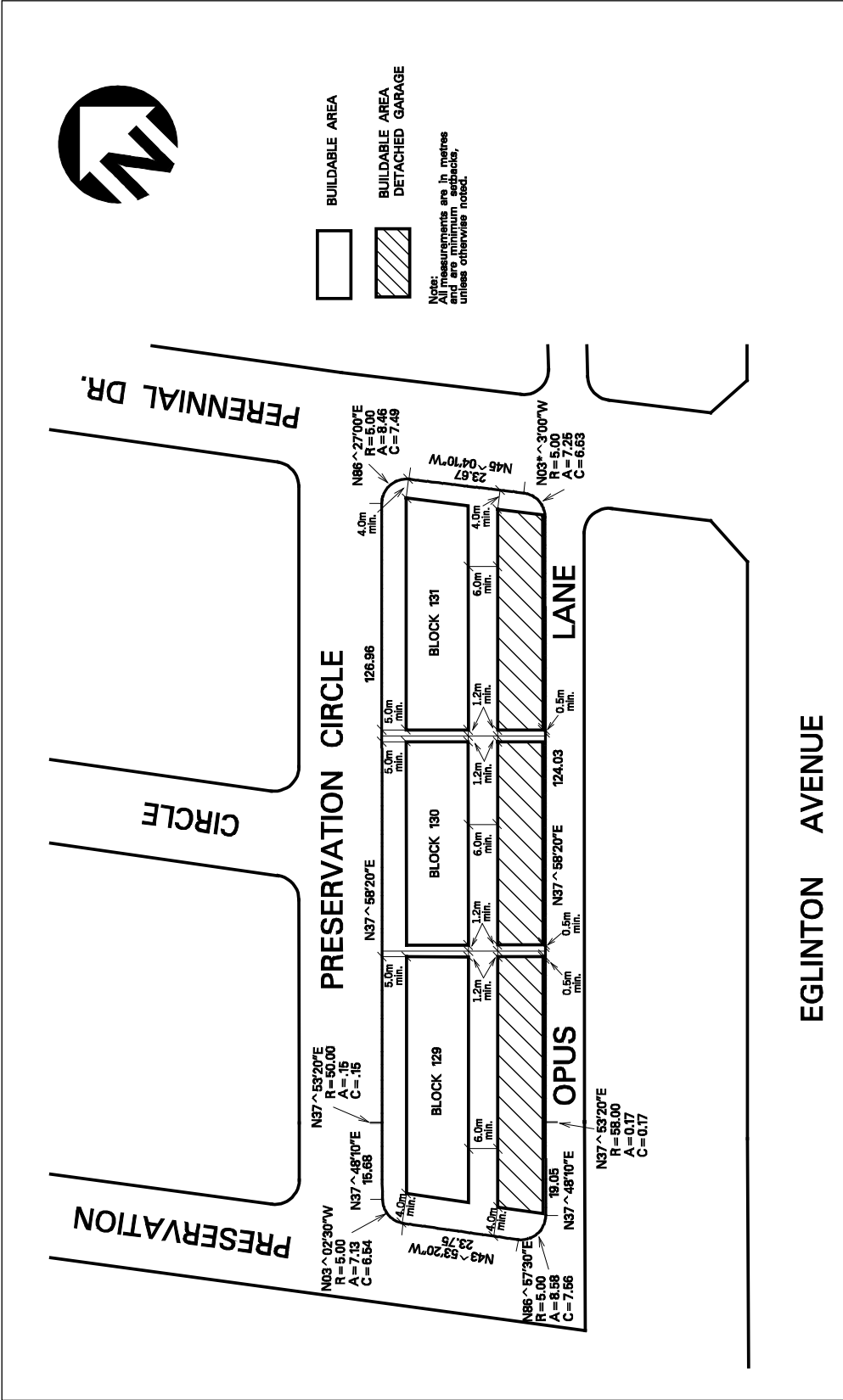


Schedule RM5-41(3)  
Map 57

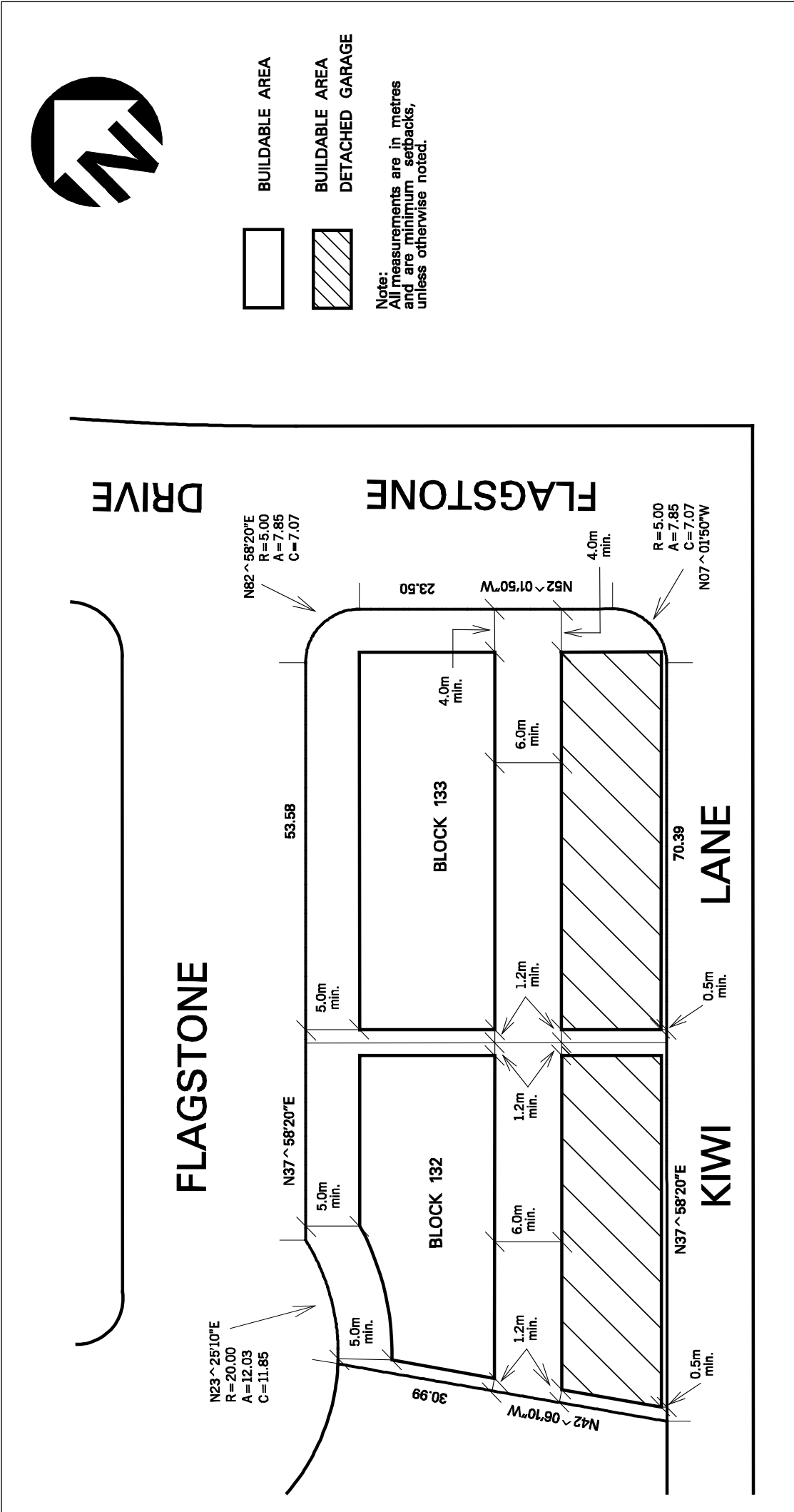
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.42.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.42.2	Minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>	
4.11.2.42.3	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.42.4	Maximum <b>lot coverage</b> - detached <b>garage</b>	17%	
4.11.2.42.5	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the front lot line	4.0 m	
4.11.2.42.6	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m	
4.11.2.42.7	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.42.8	Maximum encroachment of a <b>deck</b> outside the <b>buildable area</b> identified on Schedules RM5-42(1) to RM5-42(5) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m	
4.11.2.42.9	Maximum <b>driveway</b> width	6.1 m	
4.11.2.42.10	A detached <b>garage</b> shall be permitted in the <b>buildable area</b> - detached <b>garage</b> identified on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.11	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.42.12	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.42.13	Minimum setback from one side of a detached <b>garage</b> , located in the <b>rear yard</b> to an <b>interior side lot line</b>	0.8 m	
4.11.2.42.14	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.42.15	Notwithstanding Schedules RM5-42(1) to RM5-42(5) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> Block 130 identified on Schedule RM5-42(1) of this Exception; Blocks 126, 127, 128 and 129 identified on Schedule RM5-42(3) of this Exception; Block 122 identified on Schedule RM5-42(4) of this Exception; and Blocks 125 and 126 identified on Schedule RM5-42(5) of this Exception, in compliance with the following:		
	(1) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
	(2) maximum <b>driveway</b> width	4.3 m	
	(3) minimum <b>rear yard</b>	6.0 m	

Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

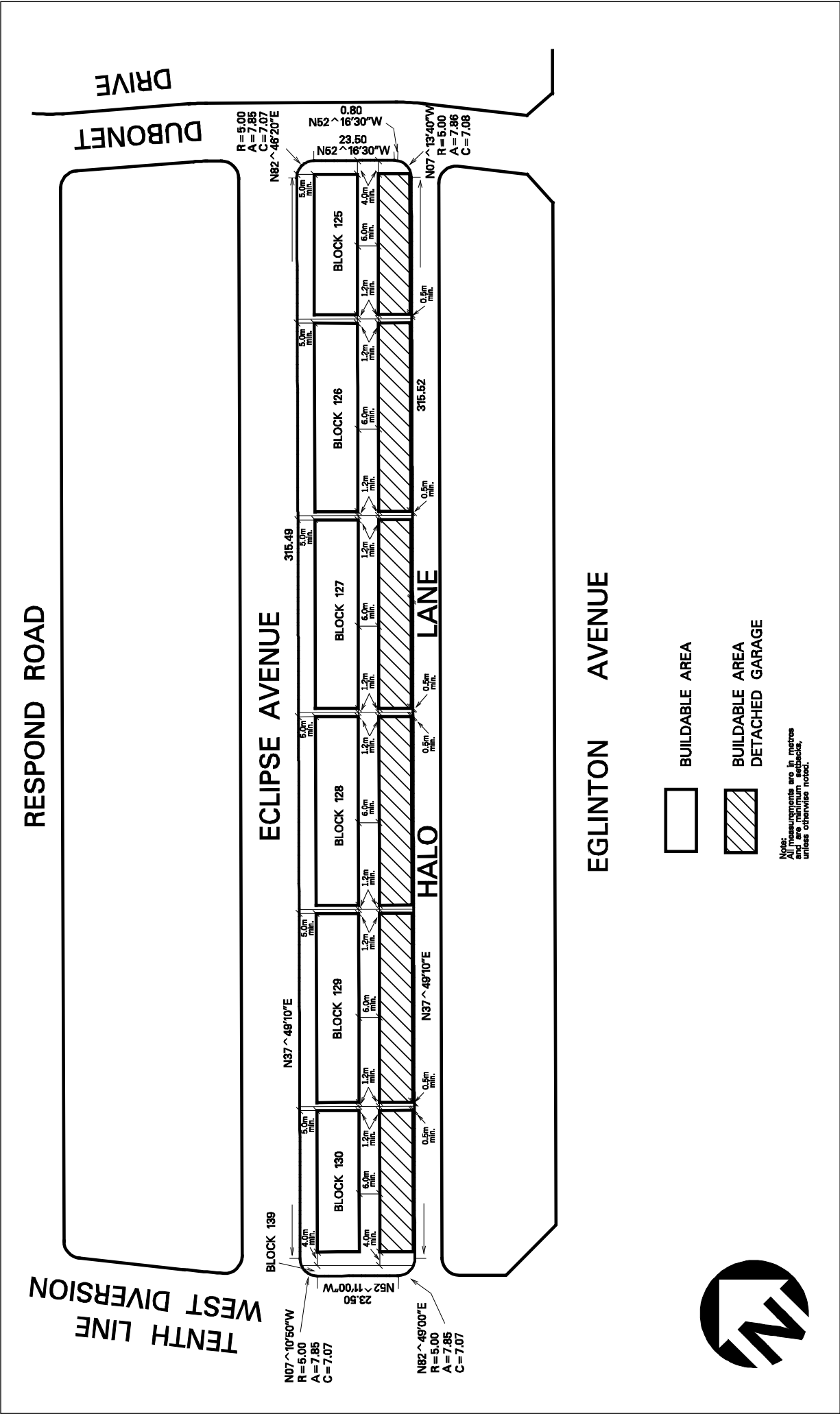
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page			
4.11.2.42.16	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.17	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception		



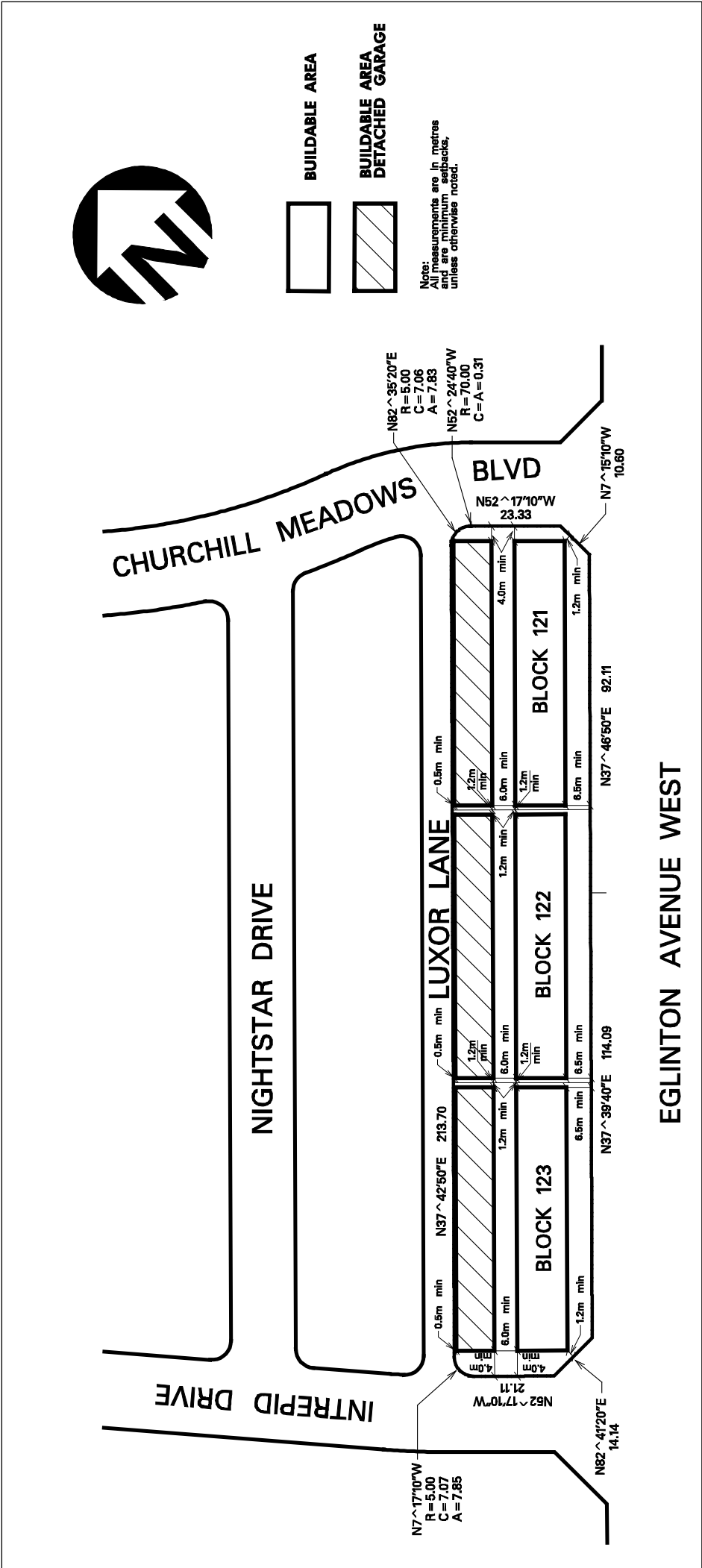
Schedule RM5-42(1)  
Map 57



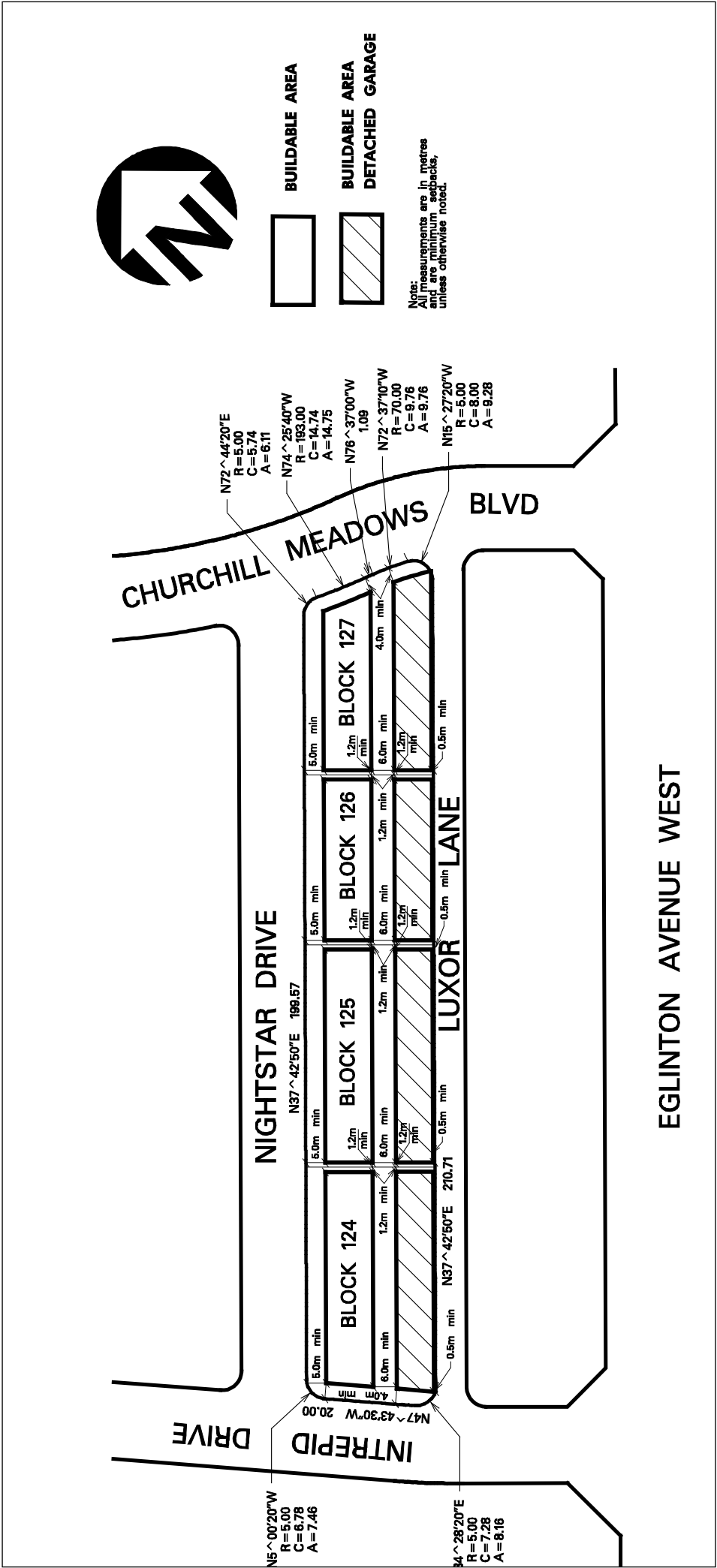
Schedule RM5-42(2)  
Map 57



Schedule RM5-42(3)  
Map 57



Schedule RM5-42(4)  
Map 57



Schedule RM5-42(5)  
Map 57

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-43 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.43.1	(1)	Semi-Detached	
Regulations			
4.11.2.43.2	Street Townhouse:		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side - all <b>lots</b>	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(12)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(13)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(14)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(15)	minimum setback to a <b>sight triangle</b>	0.0 m
	(16)	maximum <b>driveway</b> width	3.8 m
	(17)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

Exception RM5-43 continued on next page

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-43 continued from previous page			
4.11.2.43.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
	(5)	minimum setback to <b>garage face</b>	5.8 m
	(6)	minimum <b>interior side yard</b>	1.2 m
	(7)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yard</b>	2.0 m
	(8)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(9)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(10)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(11)	minimum setback to a <b>sight triangle</b>	0.0 m
	(12)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-44 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.44.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.44.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.6 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

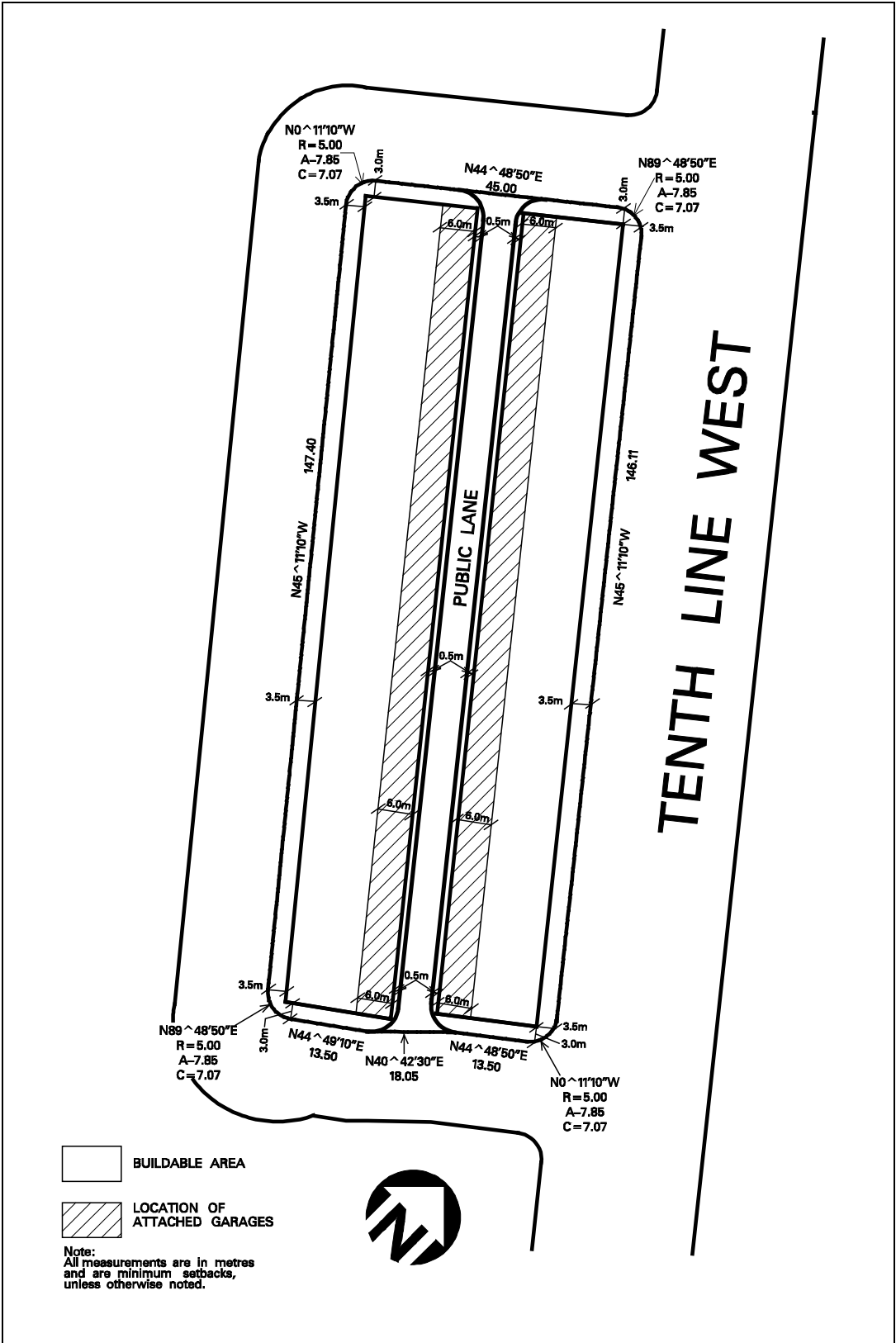
Exception RM5-44 continued on next page

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-44 continued from previous page</b>			
4.11.2.44.3	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1) minimum <b>lot area</b> - <b>interior lot</b>		275 m <sup>2</sup>
	(2) minimum <b>lot area</b> - <b>corner lot</b>		380 m <sup>2</sup>
	(3) minimum <b>lot frontage</b> - <b>interior lot</b>		9.75 m
	(4) minimum <b>lot frontage</b> - <b>corner lot</b>		13.5 m
	(5) minimum <b>rear yard</b>		7.5 m
	(6) minimum setback of a <b>detached dwelling</b> to all lands zoned U-3		11.6 m
	(7) maximum <b>driveway</b> width		6.5 m
	(8) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m
4.11.2.44.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>front yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
	(3) minimum <b>exterior side yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
	(4) minimum <b>exterior side yard</b> - <b>lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m		1.8 m
	(5) minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b>		4.2 m
	(6) minimum setback to <b>garage face</b>		5.8 m
	(7) minimum setback to a <b>sight triangle</b>		0.0 m
	(8) minimum setback of a <b>semi-detached</b> to all lands zoned U-3		11.6 m
	(9) maximum encroachment of a <b>porch</b> or <b>balcony</b> into a required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(10) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
	(11) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
	(12) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(13) maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
	(14) maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
	(15) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-45 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.45.1	The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.45.2	Minimum <b>lot area</b> - <b>interior lot</b>	170 m <sup>2</sup>	
4.11.2.45.3	Minimum <b>lot area</b> - <b>corner lot</b>	235 m <sup>2</sup>	
4.11.2.45.4	Minimum <b>lot frontage</b> - <b>interior lot</b>	7.5 m	
4.11.2.45.5	Minimum <b>lot frontage</b> - <b>corner lot</b>	10.5 m	
4.11.2.45.6	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.45.7	Minimum <b>height</b>	8.5 m	
4.11.2.45.8	Minimum <b>height</b> - <b>street townhouse</b> with an unattached side	8.0 m	
4.11.2.45.9	Maximum projection of a <b>porch</b> or <b>balcony</b> outside the <b>buildable area</b> identified on Schedule RM5-45 of this Exception into the <b>front</b> and/or <b>exterior side yard</b> provided that the width of the <b>porch</b> or <b>balcony</b> shall not exceed 50% of the width of the <b>street townhouse</b>	1.5 m	
4.11.2.45.10	Maximum projection of an awning outside the <b>buildable area</b> identified on Schedule RM5-45 of this Exception into the required <b>front yard</b>	0.6 m	
4.11.2.45.11	Maximum projection of an awning outside the <b>buildable area</b> identified on Schedule RM5-45 of this Exception into the required <b>exterior side yard</b>	0.3 m	
4.11.2.45.12	Maximum projection of a window projection, with or without a foundation, <b>chimney</b> , pilaster or corbel outside the <b>buildable area</b> identified on Schedule RM5-45 of this Exception into a required <b>yard</b>	0.6 m	
4.11.2.45.13	Maximum area of a <b>deck</b> in the <b>buildable area</b> identified on Schedule RM5-45 of this Exception	10 m <sup>2</sup>	
4.11.2.45.14	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.45.15	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.45.16	Maximum <b>height</b> - attached <b>garage</b> with no <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the <b>garage</b> roof	4.6 m	
4.11.2.45.17	Maximum <b>height</b> - attached <b>garage</b> with <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the roof	8.5 m	
4.11.2.45.18	Minimum <b>interior side yard</b> on one side of an attached <b>garage</b>	0.85 m	
4.11.2.45.19	Maximum <b>driveway</b> width	6.5 m	

Exception RM5-45 continued on next page

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
Exception RM5-45 continued from previous page			
4.11.2.45.20	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception		
4.11.2.45.21	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.45.22	All site development plans shall comply with Schedule RM5-45 of this Exception		



Schedule RM5-45  
Map 57

4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-46 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.46.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.46.2	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.46.3	Minimum <b>lot area - corner lot</b>	235 m <sup>2</sup>	
4.11.2.46.4	Minimum <b>lot frontage - interior lot</b>	5.4 m	
4.11.2.46.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.46.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.11.2.46.7	Minimum <b>exterior side yard</b>	3.5 m	
4.11.2.46.8	Minimum <b>rear yard</b>	7.0 m	
4.11.2.46.9	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.46.10	Maximum encroachment of an awning into the required <b>front yard</b>	0.6 m	
4.11.2.46.11	Maximum encroachment of an awning into the required <b>exterior side yard</b>	0.3 m	
4.11.2.46.12	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.11.2.46.13	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.46.14	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 60% of the width of the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.46.15	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.46.16	Maximum <b>driveway</b> width - <b>interior lot</b>	3.8 m	
4.11.2.46.17	Maximum <b>driveway</b> width - <b>corner lot</b>	4.2 m	
4.11.2.46.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

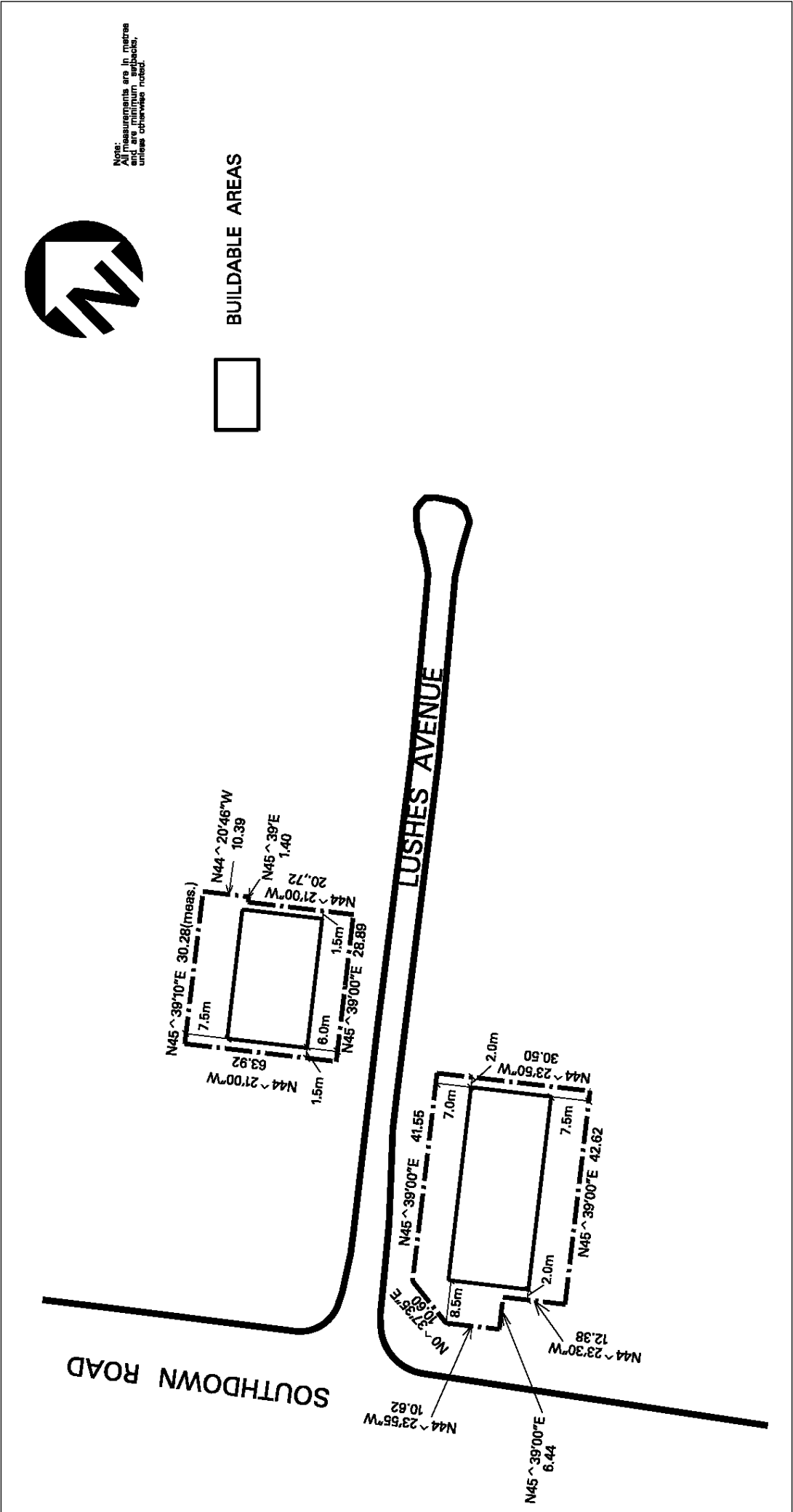
4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15
In a RM5-47 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.47.1	The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply		
4.11.2.47.2	Minimum <b>lot area - interior lot</b>		155 m²
4.11.2.47.3	Minimum <b>lot frontage - interior lot</b>		6.0 m
4.11.2.47.4	Minimum <b>front yard</b>		3.2 m
4.11.2.47.5	Minimum <b>front yard - garage face</b>		2.2 m
4.11.2.47.6	Minimum <b>interior side yard</b> - unattached side		1.3 m
4.11.2.47.7	Maximum <b>height</b>		13.0 m
4.11.2.47.8	Maximum gross floor area - residential		295 m²
4.11.2.47.9	Maximum <b>driveway</b> width		5.72 m
4.11.2.47.10	"Gross Floor Area - Residential" means the sum of the areas of each <b>storey</b> of a <b>building</b> above <b>established grade</b> measured from the exterior of outside walls but shall not include any part of the <b>building</b> used for <b>motor vehicle</b> parking		

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.48.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.48.2	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1)	maximum number of detached <b>dwelling units</b> permitted within 185.0 m of Thomas Street	1
	(2)	minimum setback of a <b>lot</b> to Winston Churchill Boulevard	108.0 m
	(3)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	9.75 m
	(5)	minimum <b>lot frontage - corner lot</b>	13.0 m
	(6)	maximum <b>driveway</b> width	6.5 m
	(7)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(8)	a <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b>	

Exception RM5-48 continued on next page

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-48 continued from previous page			
4.11.2.48.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Lines 5.0 and 11.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum setback to <b>garage face</b>	5.8 m
	(4)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(5)	minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m
	(6)	minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
	(7)	minimum <b>rear yard</b>	7.0 m
	(8)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(9)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(10)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(11)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 75% of the width of the <b>garage</b> , measured from the inside face of the <b>garage</b> walls, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(12)	minimum setback to a <b>sight triangle</b>	0.0 m
	(13)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(14)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(15)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(16)	a <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b>	

4.11.2.49	Exception: RM5-49	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15, 0208-2022
In a RM5-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.49.1	Minimum <b>lot area - interior lot</b>		188 m <sup>2</sup>
4.11.2.49.2	Minimum <b>lot frontage - interior lot</b>		6.3 m
4.11.2.49.3	Maximum <b>gross floor area - residential</b>		1.16 times the <b>lot area</b>
4.11.2.49.4	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b> outside the <b>buildable area</b> identified on Schedule RM5-49 of this Exception		1.6 m
4.11.2.49.5	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>front</b> and <b>exterior side yards</b> outside the <b>buildable area</b> identified on Schedule RM5-49 of this Exception		0.61 m
4.11.2.49.6	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM5-49 of this Exception		5.0 m
4.11.2.49.7	For a <b>lot</b> with a <b>townhouse</b> requiring a 0.0 m <b>interior side yard</b> , the setback to the <b>interior side lot line</b> from a <b>porch</b> or <b>deck</b> inclusive of stairs permitted in the <b>rear yard</b> , shall also be 0.0 m		
4.11.2.49.8	Maximum encroachment of a <b>balcony</b> into the required <b>front</b> , <b>exterior side</b> or <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM5-49 of this Exception		1.0 m
4.11.2.49.9	Maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>rear yard</b> outside the <b>buildable area</b> identified on Schedule RM5-49 of this Exception		1.0 m
4.11.2.49.10	All site development plans shall comply with Schedule RM5-49 of this Exception		



Schedule RM5-49  
Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008
In a RM5-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.50.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.50.2	Minimum <b>lot area - interior lot</b>	145 m <sup>2</sup>	
4.11.2.50.3	Minimum <b>lot area - corner lot</b>	255 m <sup>2</sup>	
4.11.2.50.4	Minimum <b>lot frontage - interior lot</b>	6.0 m	
4.11.2.50.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.50.6	Minimum <b>rear yard</b>	6.0 m	
4.11.2.50.7	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m	
4.11.2.50.8	Maximum <b>height</b>	11.0 m	
4.11.2.50.9	Maximum <b>driveway</b> width	3.0 m	
4.11.2.50.10	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	6 m <sup>2</sup>	

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.51.1	Minimum <b>lot area - interior lot</b>	195 m <sup>2</sup>	
4.11.2.51.2	Minimum <b>lot area - corner lot</b>	384 m <sup>2</sup>	
4.11.2.51.3	Minimum <b>lot frontage - corner lot</b>	13.6 m	
4.11.2.51.4	Minimum <b>exterior side yard</b>	7.2 m	
4.11.2.51.5	Minimum <b>interior side yard</b> - unattached side	1.2 m	
4.11.2.51.6	Maximum <b>gross floor area - residential</b>	1.37 times the <b>lot area</b>	
4.11.2.51.7	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m	
4.11.2.51.8	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	
4.11.2.51.9	Maximum <b>driveway</b> width	3.75 m	
4.11.2.51.10	Maximum <b>garage</b> door width	3.0 m	

4.11.2.52	Exception: RM5-52	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.52.1	Minimum <b>lot area - interior lot</b>		250 m <sup>2</sup>
4.11.2.52.2	Minimum <b>lot frontage - interior lot</b>		7.5 m
4.11.2.52.3	Minimum <b>interior side yard</b> - unattached side abutting a R1-7 zone		3.0 m
4.11.2.52.4	Maximum <b>gross floor area - residential</b>		1.08 times the <b>lot area</b>
4.11.2.52.5	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>		2.0 m
4.11.2.52.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>		2.5 m
4.11.2.52.7	Maximum <b>driveway</b> width		3.75 m
4.11.2.52.8	Maximum <b>garage</b> door width		3.0 m
4.11.2.52.9	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>		3.0
4.11.2.52.10	Tandem parking is permitted within a <b>garage</b>		
4.11.2.52.11	A <b>hammerhead</b> shall be permitted on a <b>lot</b> with a <b>lot frontage</b> greater than or equal to 7.5 m		

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.53.1	(1)	Semi-Detached	
Regulations			
4.11.2.53.2	Street Townhouse:		
	(1)	minimum lot area - interior lot	162 m <sup>2</sup>
	(2)	minimum lot area - corner lot	255 m <sup>2</sup>
	(3)	minimum lot frontage - interior lot	6.0 m
	(4)	minimum lot frontage - corner lot	9.5 m
	(5)	minimum exterior side yard	4.0 m
	(6)	minimum interior side yard - unattached side	0.91 m
	(7)	maximum height	11.0 m
	(8)	maximum gross floor area - residential	1.2 times the lot area
	(9)	maximum encroachment of a porch or balcony into the required front yard	2.0 m
	(10)	a porch or a deck, exceeding 0.61 m in height above grade at any point, shall not project from the rear wall of a dwelling	

Exception RM5-53 continued on next page

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-53 continued from previous page			
4.11.2.53.2 (continued)	(11)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point	
	(12)	a <b>balcony</b> shall not project from the rear wall of a dwelling	
4.11.2.53.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	162 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	6.0 m
	(3)	maximum <b>lot coverage</b>	48%
	(4)	minimum <b>exterior side yard</b>	4.0 m
	(5)	maximum <b>height</b>	11.0 m
	(6)	maximum <b>gross floor area - residential</b>	1.2 times the <b>lot area</b>
	(7)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front yard</b>	2.0 m
	(8)	a <b>porch</b> or a <b>deck</b> , exceeding 0.61 m in <b>height</b> above grade at any point, shall not project from the rear wall of a dwelling	
	(9)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point	
	(10)	a <b>balcony</b> shall not project from the rear wall of a dwelling	
	(11)	minimum <b>interior side yard</b>	0.9 m

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
In a RM5-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.54.1	Minimum <b>lot area - interior lot</b>		183 m <sup>2</sup>
4.11.2.54.2	Minimum <b>lot area - corner lot</b>		292 m <sup>2</sup>
4.11.2.54.3	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.54.4	Minimum <b>lot frontage - corner lot</b>		9.7 m
4.11.2.54.5	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.54.6	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.54.7	Minimum <b>interior side yard - unattached side</b>		1.2 m
4.11.2.54.8	Minimum <b>rear yard</b>		6.0 m
4.11.2.54.9	Minimum setback to <b>garage face</b>		5.8 m

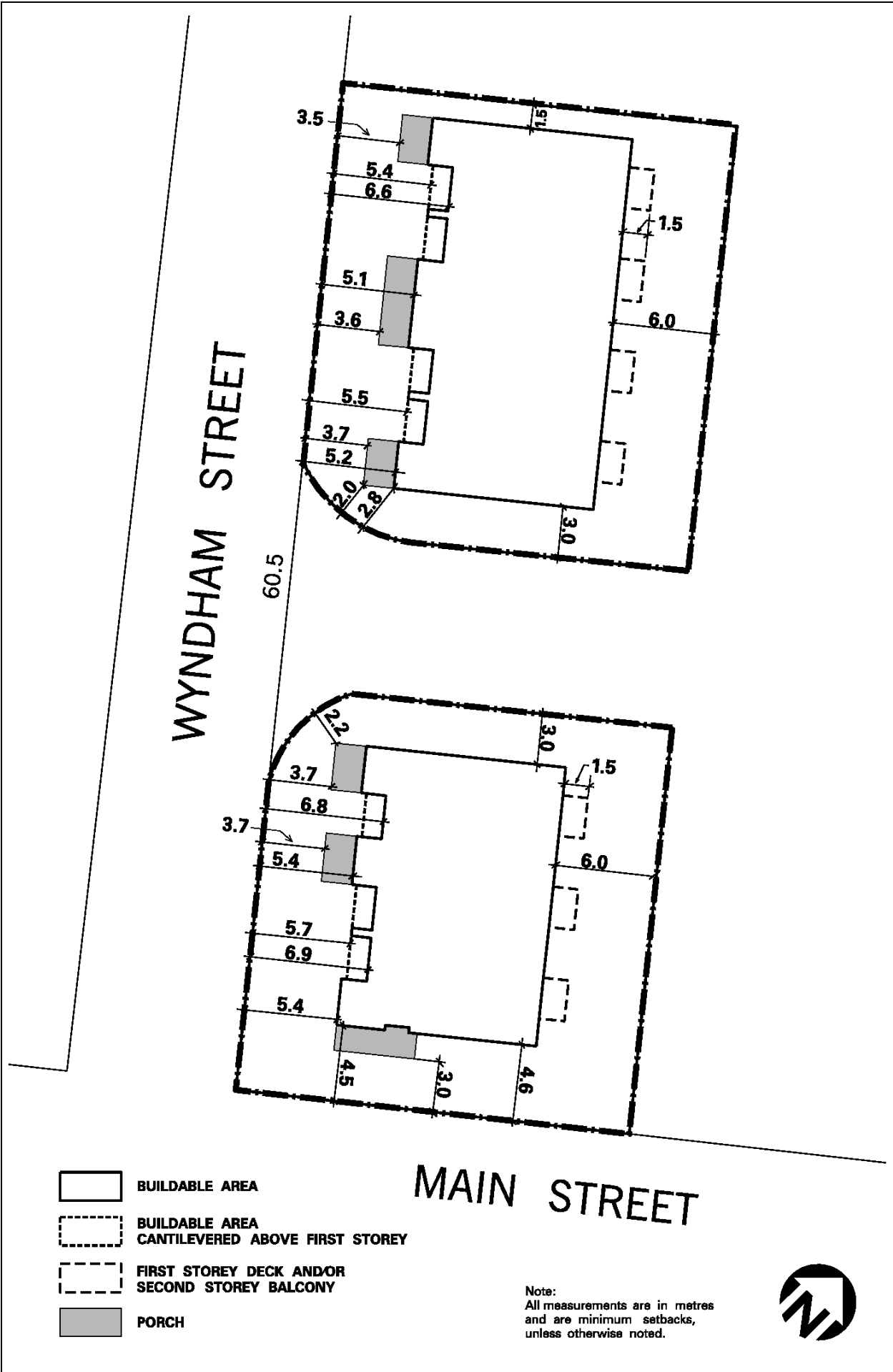
**Exception RM5-54 continued on next page**

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
Exception RM5-54 continued from previous page			
4.11.2.54.10	Maximum gross floor area - residential	1.0 times the lot area	
4.11.2.54.11	Maximum encroachment of a porch or balcony into the required front and exterior side yards	2.0 m	
4.11.2.54.12	Minimum setback of stairs from the front and exterior side lot lines	1.0 m	
4.11.2.54.13	Maximum projection of a garage beyond either the main front entrance or beyond the main entry feature, where provided	2.5 m	
4.11.2.54.14	Where a main entry feature has been provided, the maximum projection of a garage beyond a main front entrance	5.0 m	
4.11.2.54.15	For a street townhouse more than one storey in height, where the garage projects beyond the main front entrance, the garage shall be covered by a second storey which may be set back a maximum of 2.5 m from the garage face		
4.11.2.54.16	Maximum driveway width - interior lot	4.3 m	
4.11.2.54.17	Maximum driveway width - corner lot	4.7 m	
4.11.2.54.18	Maximum garage width: measured from the inside face of the garage side walls	3.8 m	
4.11.2.54.19	Minimum setback to a sight triangle	0.0 m	

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
In a RM5-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.55.1	Minimum <b>lot area - interior lot</b>	191 m <sup>2</sup>	
4.11.2.55.2	Minimum <b>lot frontage - interior lot</b>	7.8 m	
4.11.2.55.3	Minimum <b>front yard</b>	6.2 m	
4.11.2.55.4	Minimum setback to the <b>garage face</b>	6.5 m	
4.11.2.55.5	Minimum <b>interior side yard</b> abutting lands zoned any zone other than RM5-55	3.0 m	
4.11.2.55.6	Maximum <b>gross floor area - residential</b>	1.15 times the <b>lot area</b>	

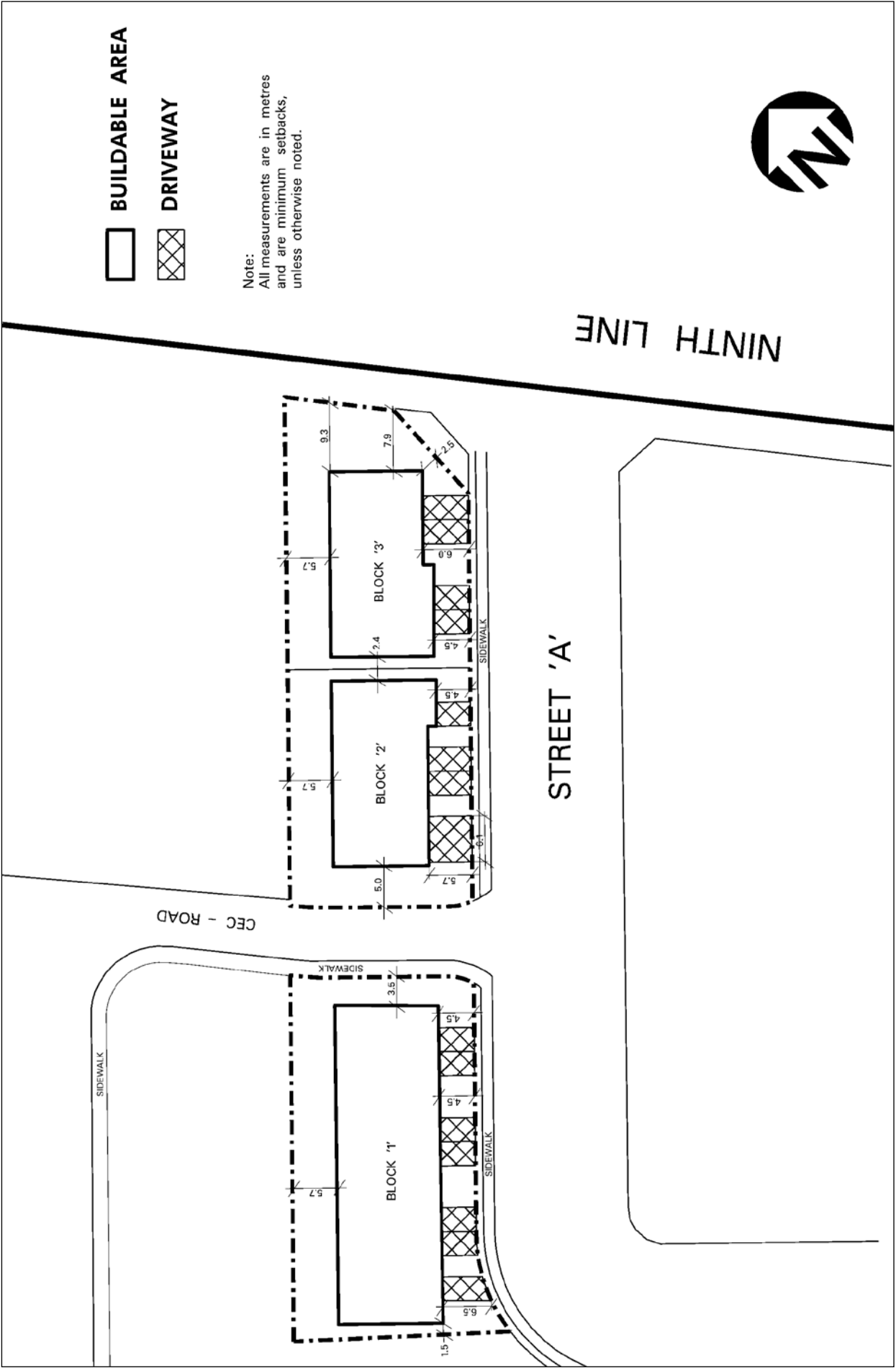
4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018
In a RM5-56 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.56.1	Minimum <b>lot area - interior lot</b>	135 m <sup>2</sup>	
4.11.2.56.2	Minimum <b>lot frontage - interior lot</b>	6.4 m	
4.11.2.56.3	Minimum <b>rear yard</b>	7.0 m	
4.11.2.56.4	Maximum <b>gross floor area - residential</b>	175 m <sup>2</sup>	
4.11.2.56.5	Maximum encroachment of a <b>porch</b> or stairs into a required <b>front yard</b>	1.0 m	
4.11.2.56.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	

4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021, 0050-2022
In a RM5-57 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.57.1	The provisions of Subsection 2.1.14 and the regulation of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.57.2	Minimum <b>lot area - interior lot</b>		127 m <sup>2</sup>
4.11.2.57.3	Minimum <b>lot area - corner lot</b>		195 m <sup>2</sup>
4.11.2.57.4	Minimum <b>lot frontage - interior lot</b>		5.4 m
4.11.2.57.5	Minimum <b>lot frontage - corner lot</b>		8.5 m
4.11.2.57.6	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of eaves into a required <b>yard</b>		0.7 m
4.11.2.57.7	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of stairs attached to a <b>deck</b> located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into a required <b>rear yard</b>		2.2 m
4.11.2.57.8	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of a third <b>storey balcony</b> into a required <b>rear yard</b>		1.0 m
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required <b>rear yard</b>		
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception		

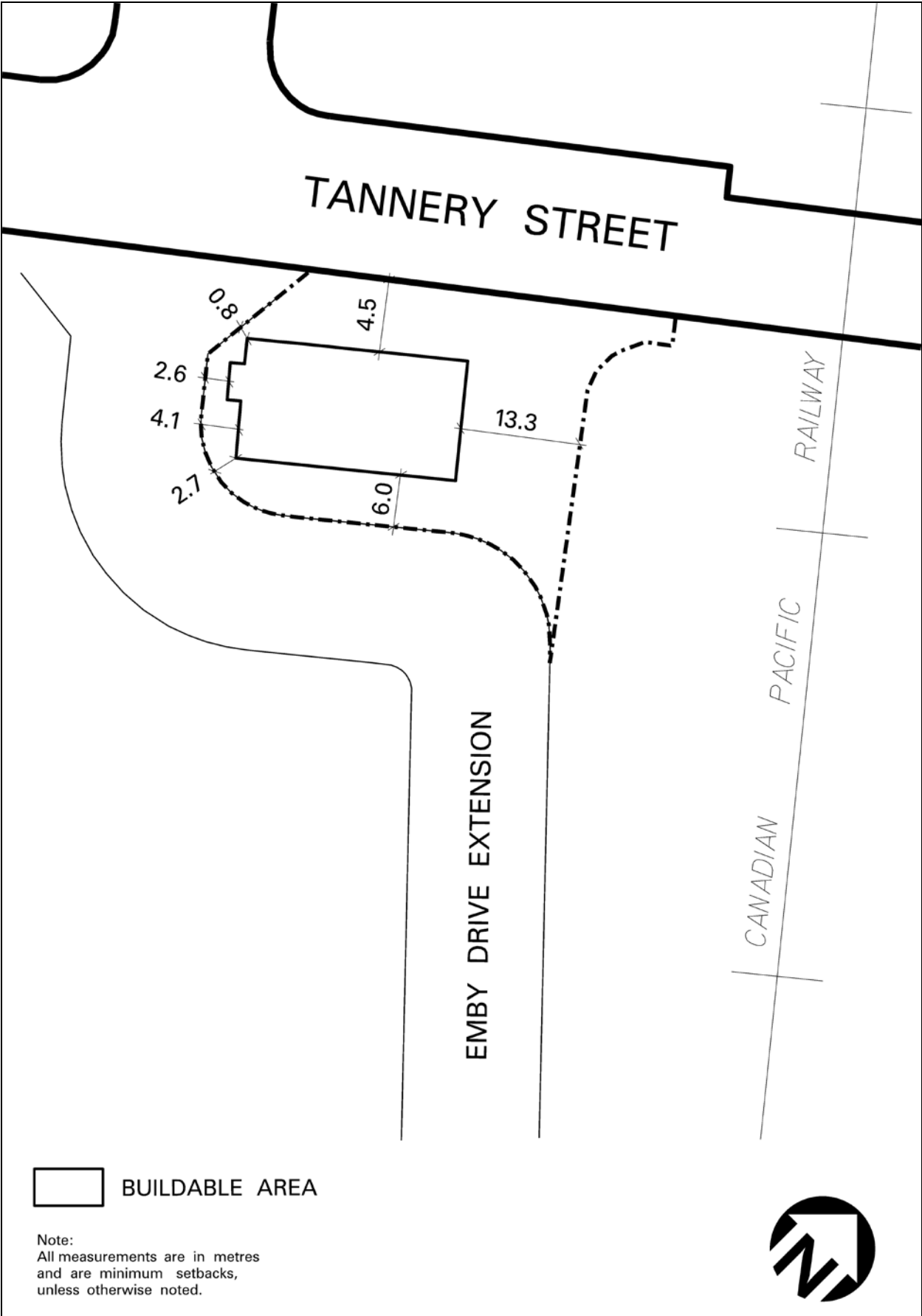


Schedule RM5-57  
Map 38W

4.11.2.58	Exception: RM5-58	Map # 57	By-law: 0209-2021
In a RM5-58 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.58.1	The provisions contained in Article 4.1.5.9 of this By-law shall not apply		
4.11.2.58.2	Minimum <b>lot area - interior lot</b>	145 m <sup>2</sup>	
4.11.2.58.3	Minimum <b>lot area - corner lot</b>	240 m <sup>2</sup>	
4.11.2.58.4	Minimum <b>lot frontage - interior lot</b>	6.0 m	
4.11.2.58.5	Notwithstanding Sentence 4.11.2.58.17 of this Exception, minimum <b>front yard - garage face</b>	6.0 m	
4.11.2.58.6	Maximum <b>height</b>	15.0 m and 3 <b>storeys</b>	
4.11.2.58.7	Maximum <b>gross floor area - residential</b>	1.5 times the <b>lot area</b>	
4.11.2.58.8	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>front yard</b>	1.5 m	
4.11.2.58.9	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into the required <b>exterior side yard</b> for Blocks '2' and '3'	1.5 m	
4.11.2.58.10	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a <b>first storey porch</b> inclusive of stairs into the required <b>rear yard</b>	2.5 m	
4.11.2.58.11	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>front yard</b>	1.5 m	
4.11.2.58.12	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a second <b>storey balcony</b> into the required <b>rear yard</b>	2.5 m	
4.11.2.58.13	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum area of a second <b>storey balcony</b> in the <b>rear yard</b>	6 m <sup>2</sup>	
4.11.2.58.14	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of a building projection above the <b>first storey</b> that is not more than 3.0 m wide with windows and/or doors covering a minimum of 15% of the total projection into a required <b>yard</b>	0.61 m	
4.11.2.58.15	Notwithstanding Sentence 4.11.2.58.17 of this Exception, maximum encroachment of eaves into a required <b>yard</b>	0.61 m	
4.11.2.58.16	External heating, air conditioning, home back-up generator may be located in a <b>yard</b> , other than the <b>front yard</b> provided it is not closer than 0.1 m to any <b>lot line</b>		
4.11.2.58.17	All site development plans shall comply with Schedule RM5-58 of this Exception		



4.11.2.59	Exception: RM5-59	Map # 39E	By-law: 0259-2021/ OLT Order 2023 March 03
In a RM5-59 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.11.2.59.1	The regulations of Lines 11.0 and 12.3 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.59.2	Minimum <b>lot area - interior lot</b>		110 m <sup>2</sup>
4.11.2.59.3	Minimum <b>lot area - corner lot</b>		165 m <sup>2</sup>
4.11.2.59.4	Minimum <b>lot frontage - interior/corner lot</b>		4.7 m
4.11.2.59.5	Maximum <b>height</b>		11.5 m and 3 <b>storeys</b>
4.11.2.59.6	For the purpose of this Exception, the <b>height</b> of a <b>street townhouse</b> shall be measured from <b>established grade</b>		
4.11.2.59.7	Minimum <b>landscaped area</b>		15% of the <b>lot area</b>
4.11.2.59.8	Notwithstanding Sentence 4.11.2.59.12 of this Exception, maximum encroachment of a <b>balcony</b> , awning or <b>deck</b> , exclusive of stairs into a required <b>yard</b>		1.6 m
4.11.2.59.9	Notwithstanding Sentence 4.11.2.59.12 of this Exception, maximum projection of a <b>balcony</b> , awning or <b>deck</b> , exclusive of stairs from the front or rear of a <b>townhouse</b>		1.6 m
4.11.2.59.10	A <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> , provided that the <b>balcony</b> does not project more than 1.8 m beyond the <b>garage face</b>		
4.11.2.59.11	Maximum <b>driveway</b> width		3.0 m
4.11.2.59.12	All site development plans shall comply with Schedule RM5-59 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-59 by further amendment to Map 39E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga ("City") and the Region of Peel ("Region"), including provisions related to the following items but not limited to: detailed design and construction of the required crash wall/berm abutting the Canadian Pacific Railway ("CPR") lands, grading and drainage of abutting lands, land dedication and easements, and municipal infrastructure detailed design;</p> <p>(2) submission of a risk assessment including the details of any proposed risk management measures, which must be to the satisfaction of the Transportation and Works Department for any lands being dedicated to the City;</p> <p>(3) confirmation that the required Record(s) of Site Condition(s) have been filed with the Ministry of Environment, Conservation and Parks, and the submission of all supporting environmental reports to the satisfaction of the Transportation and Works Department;</p> <p>(4) confirmation from CPR that final grading and drainage plans are satisfactory and certification from CPR and/or a professional consulting engineer that the ultimate design and construction of the required crash wall/berm complies with CPR design criteria.</p>			

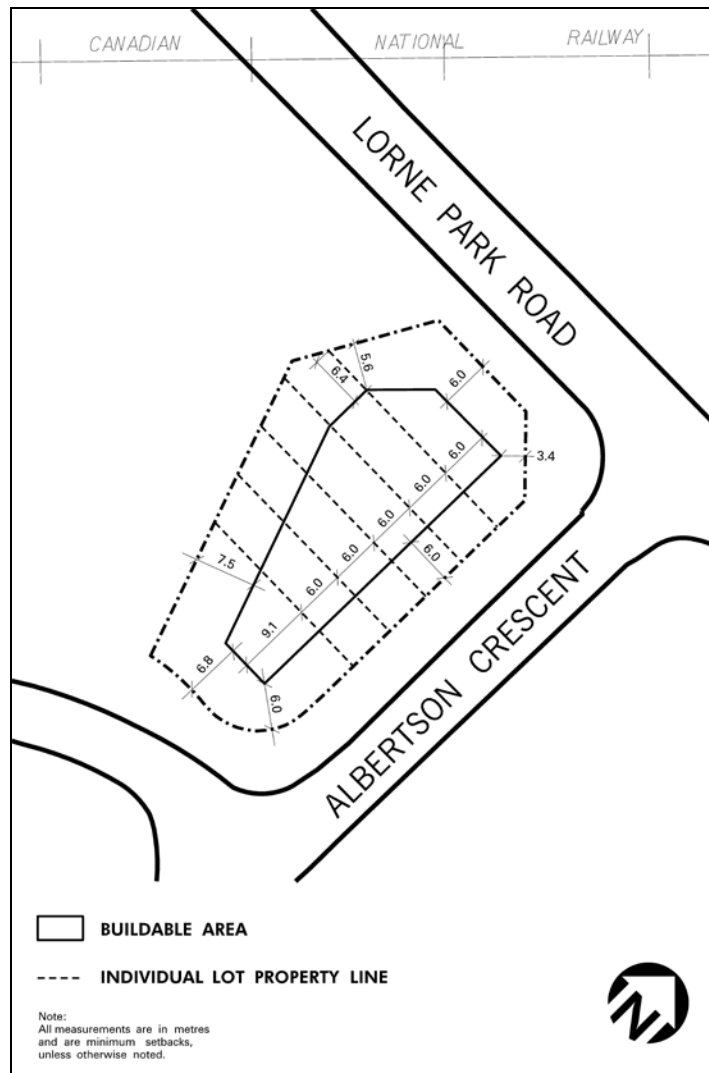


Schedule RM5-59  
Map 39E

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021, 0208-2022
In a RM5-60 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.11.2.60.1	The provisions of Article 4.1.8.1 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.60.2	Maximum number of <b>dwelling units</b> on all lands zoned RM5-60	6	
4.11.2.60.3	Minimum <b>lot area - interior lot</b>	143 m <sup>2</sup>	
4.11.2.60.4	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.11.2.60.5	Minimum <b>lot frontage - interior lot/corner lot</b>	6.0 m	
4.11.2.60.6	The <b>lot line</b> abutting Albertson Crescent shall be deemed to be the <b>front lot line</b>		
4.11.2.60.7	Maximum <b>height</b>	9.6 m and 3 <b>storeys</b>	
4.11.2.60.8	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into a required <b>yard</b>	3.8 m	
4.11.2.60.9	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, window well, and stairs with a maximum of three risers into a required <b>yard</b>	1.0 m	
4.11.2.60.10	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	3.0 m	
4.11.2.60.11	Maximum area of a <b>balcony</b> permitted outside the <b>buildable area</b> identified on Schedule RM5-60 of this Exception	5 m <sup>2</sup>	
4.11.2.60.12	Maximum <b>driveway</b> width	3.6 m	

Exception RM5-60 continued on next page

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021, 0208-2022
<b>Exception RM5-60 continued from previous page</b>			
4.11.2.60.13	All site development plans shall comply with Schedule RM5-60 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-60 by further amendment to Map 09 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga;</li> <li>(2) satisfactory arrangements with Metrolinx, Transportation and Works Department and Planning and Building Department regarding the design of the required crash/acoustical wall, including the submission of an updated Noise Feasibility and Vibration Study;</li> <li>(3) satisfactory arrangements with the Transportation and Works Department with respect to on site stormwater management;</li> <li>(4) satisfactory arrangements with the Transportation and Works Department and Community Services Department with respect to any land dedications;</li> <li>(5) submission of updated grading and site servicing drawings satisfactory to the Transportation and Works Department.</li> </ol>			



**Schedule RM5-60**  
Map 09

