## 4.11 **RM5 ZONE** (STREET TOWNHOUSES)

## 4.11.1 **RM5 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the uses and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations

Colum	n A	В					
Line 1.0	ZONES	RM5					
PERM	PERMITTED USES						
2.0	RESIDENTIAL						
2.1	Street Townhouse (0181-2018/LPAT Order 2019 February 15)	<b>✓</b>					
ZONE	REGULATIONS						
3.0	MINIMUM LOT AREA						
3.1	Interior lot	200 m <sup>2</sup>					
3.2	Corner lot	280 m <sup>2</sup>					
4.0	MINIMUM LOT FRONTAGE						
4.1	Interior lot	6.8 m					
4.2	Corner lot	9.8 m					
5.0	MINIMUM FRONT YARD	4.5 m <sup>(1)</sup>					
5.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m					
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m <sup>(1)</sup>					
6.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m					
7.0	MINIMUM INTERIOR SIDE YARD						
7.1	Attached side	0.0 m					
7.2	Unattached side	1.5 m <sup>(1)</sup>					
7.3	Attached garage - unattached side	1.2 m <sup>(1)</sup>					
8.0	MINIMUM REAR YARD	7.5 m <sup>(1)</sup>					
9.0	MAXIMUM <b>HEIGHT</b> (0174-2017)	10.7 m and 3 storeys					
10.0	MINIMUM LANDSCAPED AREA	25% of the <b>lot area</b>					
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the <b>lot area</b>					
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY						
12.1	Attached garage	Required (2)					
12.2	Minimum parking spaces	<b>√</b> (3) (4)					
12.3	Maximum driveway width	5.2 m <sup>(4)</sup>					
13.0	ACCESSORY BUILDINGS AND STRUCTURES	<b>√</b> (5)					

- **NOTES:** (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.
  - (2) See also Subsection 4.1.12 of this By-law.
  - (3) See also Part 3 of this By-law.
  - (4) See also Subsection 4.1.9 of this By-law.
  - (5) See Subsection 4.1.2 of this By-law.

## 4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:				
	In a RM5-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations							
4.11.2.1.1	Minimum lot frontage		6.0 m				
4.11.2.1.2	Minimum front yard		7.5 m				
4.11.2.1.3	Minimum exterior side yar	·d	7.5 m				
4.11.2.1.4	Minimum interior side yar	rd	3.0 m				
4.11.2.1.5	Minimum rear yard		10.5 m				

4.11.2.2	Exception: RM5-2	Exception: RM5-2 Map # 16, 17 By-law:				
In a RM5-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Permitted Use						
4.11.2.2.1	(1) Linked Dwelling					

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017					
	In a RM5-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:							
Additional Po	ermitted Uses							
4.11.2.3.1	(1) Detached Dwelling (2) Semi-Detached							
Regulations								
4.11.2.3.2	4.11.2.3.2 A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law							
4.11.2.3.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law							

4.11.2.4	Exception: RM5-4	Map # 16	By-law:			
In a RM5-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulation						
4.11.2.4.1	Minimum rear yard - inter	rior lot	15.0 m			

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4.11.2.5	Exception: RM5-5	Map # 28, 39E	By-law: 0174-2017						
	In a RM5-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:								
Additional Per	mitted Uses								
4.11.2.5.1	(1) Detached Dwelling (2) Semi-Detached								
Regulations									
4.11.2.5.2	_	comply with the R5 zone regulation.1 of this By-law except that:	lations						
	(1) minimum <b>lot area</b>	- interior lot	$275 \text{ m}^2$						
	(2) minimum <b>lot front</b>	age - interior lot	9.0 m						
4.11.2.5.3	1.2.5.3 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law								

4.11.2.6	Exception: RM5-6	Map # 30	By-law:					
	In a RM5-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:							
Regulations								
4.11.2.6.1	Minimum lot area - interio	or lot	$275 \text{ m}^2$					
4.11.2.6.2	Minimum lot area - corner	$395 \text{ m}^2$						
4.11.2.6.3	Minimum lot frontage - int	terior lot	9.0 m					
4.11.2.6.4	Minimum lot frontage - co	rner lot	13.0 m					
4.11.2.6.5	Minimum front yard		6.0 m					
4.11.2.6.6	Minimum setback from a ha	abitable room to the street li	ne 10.0 m					

4.11.2.7	Excep	tion: RM5-7	Map # 28	By-law: 0174-2017					
	In a RM5-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:								
Additional Po	ermitted	l Use							
4.11.2.7.1	(1)	Semi-Detached							
Regulations									
4.11.2.7.2			apply with the RM2 zone regulated at this By-law except that:	ations					
	(1)	minimum lot area	- interior lot	$240 \text{ m}^2$					
	(2)	minimum lot area	- corner lot	$375 \text{ m}^2$					
	(3)	minimum lot front	age - interior lot	8.0 m					
	(4)	minimum lot front	age - corner lot	12.5 m					

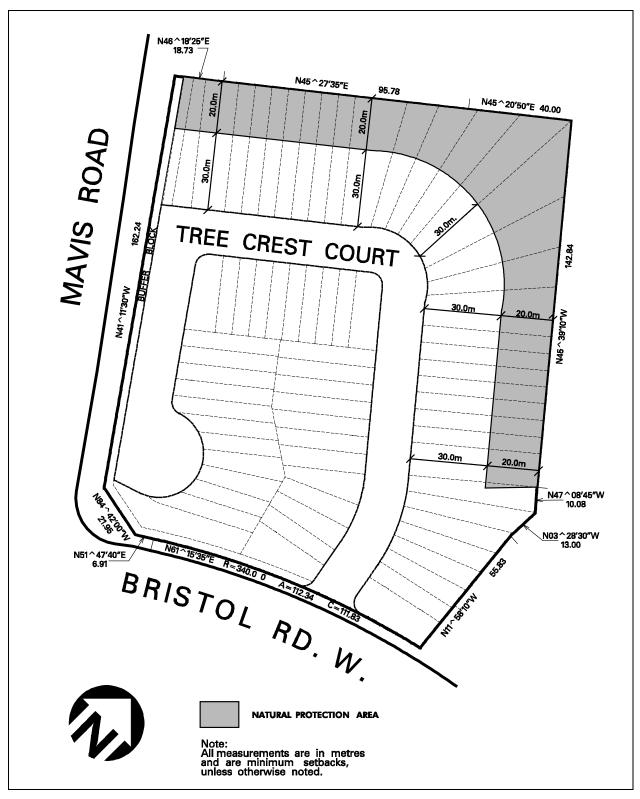
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4.11.2.8	Exception: RM5-8	Map # 37E	By-law:				
	In a RM5-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	rmitted Use						
4.11.2.8.1	(1) Detached Dwelling						
Regulations							
4.11.2.8.2	4.11.2.8.2 A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:						
	(1) minimum <b>lot area - interior lot</b> 275 m <sup>2</sup>						
	(2) maximum <b>lot cove</b>	rage	45%				

4.11.2.9	Excep	otion: RM	15-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
In a RM5-9 zo except that the					be as specified for a RM5 zone		
Additional P	ermitted	l Use					
4.11.2.9.1	(1)	Semi-	Detached				
Regulations							
4.11.2.9.2	Street	t Townh	ouse:				
	(1)	protec protec	tion area, sl tion area ide	d - where a lot includes nall be measured from the entified on Schedule RM from the rear lot line	e <b>natural</b>		
	(2)	as a <b>na</b>	the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:				
		(2.1)	for the protesting we together with	I protection area shall election and natural reger bodlot, including trees a th the planting of trees a ensure the retention of	eration of the nd vegetation, nd vegetation		
		(2.2)	tennis cour facilities sh	gs and structures, swin ts or any like recreation hall not be permitted wit otection area	l or other		
		(2.3)		orage of equipment and nonitted within the <b>natura</b>			
		(2.4)	of the natu	all only be permitted on ral protection area and protection area			
	(3)			t plans shall comply wit f this Exception	h		

Exception RM5-9 continued on next page  $\,$ 

4.11.2.9	Excep	Exception: RM5-9		Map # 37W	0181-20	: 0174-2017, 018/LPAT Order ebruary 15	
Exception RM5-9 continued from previous page							
4.11.2.9.3			-detached shall comply with the RM2 zone regulations ed in Subsection 4.8.1 of this By-law except that:				
	(1)	-	gulations of L y-law shall no	Line 5.0 contained in Table ot apply	e 4.8.1 of		
	(2)	minim	um <b>lot area</b>	- interior lot		$195 \text{ m}^2$	
	(3)	minim	um <b>lot front</b>	age - interior lot		6.5 m	
	(4)	maxim	num <b>gross fl</b> o	oor area - residential		0.75 times the <b>lot area</b>	
	(5)	protec protec	protection area, shall be measured from the natural protection area identified on Schedule RM5-9 of this exception and not from the rear lot line				
	(6)		ntural protec	on Schedule RM5-9 of this ction area shall comply w			
		(6.1)	for the protesting we together with	I protection area shall on tection and natural regener coodlot, including trees and ith the planting of trees and ensure the retention of the	ration of the l vegetation, d vegetation		
		(6.2)	2) all <b>buildings</b> and <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b>				
		(6.3)	3) outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b>				
		(6.4)	of the <b>natu</b>	all only be permitted on the ral protection area and rall protection area			
	(7)			nt plans shall comply with f this Exception			

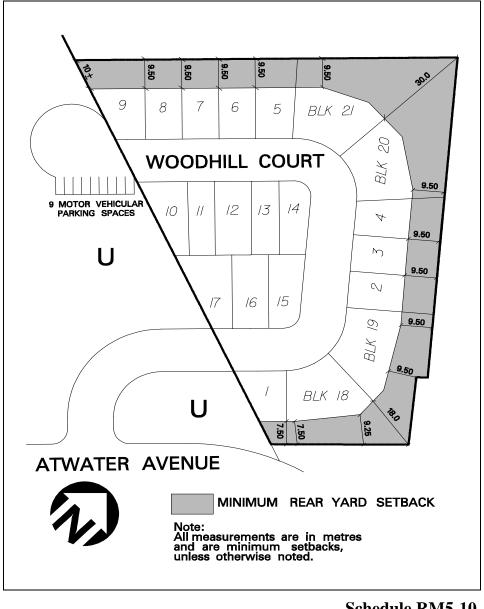


Schedule RM5-9 Map 37W

4.11.2.10	Excep	tion: RM5-10		By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
		permitted <b>uses</b> and a ng <b>uses</b> /regulations s	pplicable regulations shall be as hall apply:	s specified for a RM5 zone		
Additional P	ermitted	l Uses				
4.11.2.10.1	(1) (2)	Detached Dwellin Semi-Detached	g			
Regulations						
4.11.2.10.2	Street	Townhouse:				
	(1)	minimum lot area	- interior lot	$100 \text{ m}^2$		
	(2)	minimum lot front	tage - interior lot	4.0 m		
	(3)	maximum lot cove	rage	55%		
	(4)	minimum setback	to <b>garage face</b>	4.5 m		
	(5)	minimum <b>interior</b>	side yard - unattached side	1.2 m		
	(6)	minimum <b>rear yar</b> Schedule RM5-10	rd unless otherwise identified or of this Exception	n 7.5 m		
	(7)	<u> </u>	spaces per dwelling unit, one dially located on adjacent lands	of 3		
	(8)	maximum <b>drivewa</b>	ny width	3.0 m		
	(9)	all site developmer Schedule RM5-10	nt plans shall comply with of this Exception			
4.11.2.10.3		_	comply with the R5 zone regul 2.1 of this By-law except that:	ations		
	(1)	minimum lot area	- interior lot	$190 \text{ m}^2$		
	(2)	minimum lot area	- corner lot	$210 \text{ m}^2$		
	(3)	minimum lot front	minimum lot frontage - interior lot			
	(4)	minimum lot front	tage - corner lot	9.5 m		
	(5)	minimum <b>exterior</b>	side yard	1.4 m		
	(6)	minimum setback	to <b>garage face</b>	4.5 m		
	(7)	minimum interior	side yard - unattached side	0.6 m		
	(8)	minimum <b>rear yar</b> Schedule RM5-10	<b>'d</b> unless otherwise identified or of this Exception	7.5 m		
	(9)	<u> </u>	spaces per dwelling unit, one cially located on adjacent lands	of 3		
	(10)	all site developmer Schedule RM5-10	nt plans shall comply with of this Exception			

Exception RM5-10 continued on next page

4.11.2.10	Excep	tion: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
Exception R	M5-10 co	ontinued from previ	ous page			
4.11.2.10.4		A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:				
	(1)	the regulations of L this By-law shall no	tine 5.0 contained in Table 4.8 ot apply	3.1 of		
	(2)	minimum lot area	- interior lot	$130 \text{ m}^2$		
	(3)	minimum lot front	age - interior lot	5.2 m		
	(4)	maximum lot cove	rage	40%		
	(5)	minimum setback t	o garage face	4.5 m		
	(6)	minimum interior	side yard - unattached side	1.2 m		
	(7)	-	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception			
	(8)		minimum <b>parking spaces</b> per <b>dwelling unit</b> , one of which may be partially located on adjacent lands zoned U			
	(9)	maximum <b>drivewa</b>	y width	3.8 m		
	(10)	all site developmen Schedule RM5-10	nt plans shall comply with of this Exception			



**Schedule RM5-10** Map 06

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:			
In a RM5-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations						
4.11.2.11.1	Minimum lot area - interio	or lot	165 m <sup>2</sup>			
4.11.2.11.2	Minimum lot frontage - int	terior lot	5.5 m			
4.11.2.11.3	Maximum gross floor area	- residential	1.0 times the <b>lot area</b>			

4.11.2.12	Except	ion: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017		
In a RM5-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	rmitted	Use				
4.11.2.12.1	(1)	Semi-Detached				
Regulation						
4.11.2.12.2	A semi-detached shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.8 ot apply	.1 of		
	(2)	maximum <b>gross flo</b>	oor area - residential	0.75 times the <b>lot area</b>		

4.11.2.13	Except	ion: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
In a RM5-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Pe	rmitted	Uses				
4.11.2.13.1	(1) (2)	Detached Dwelling Semi-Detached	3			
Regulations						
4.11.2.13.2	Street	Townhouse:				
	(1)	minimum rear yar	d - where lands abut a B zone	15.0 m		
4.11.2.13.3			comply with the R5 zone regulation.1 of this By-law except that:	lations		
	(1)	minimum rear yar	d - where lands abut a B zone	15.0 m		
4.11.2.13.4		A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:				
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.8 ot apply	.1 of		
	(2)	maximum <b>gross floor area - residential</b> 0.75 times the <b>lot</b> a				
	(3)	minimum rear yar	d - where lands abut a B zone	15.0 m		

4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15			
	In a RM5-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations						
4.11.2.14.1	The <b>lot line</b> abutting a <b>street</b> with a width of 20.0 m or greater shall be deemed to be the <b>front lot line</b>					
4.11.2.14.2	Minimum exterior side yard 3.3 m					
4.11.2.14.3	A detached <b>garage</b> shall be permitted only in the <b>rear yard</b>					
4.11.2.14.4	Minimum setback from a detached <b>garage</b> to the <b>rear lot line</b> 5.2 m					
4.11.2.14.5	Minimum setback from a detached <b>garage</b> located in the rear yard to a street townhouse 7.5 m					

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:			
	In a RM5-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations						
4.11.2.15.1	Minimum lot area - interio	or lot		180 m <sup>2</sup>		
4.11.2.15.2	Minimum lot area - corner		$250 \text{ m}^2$			
4.11.2.15.3	Minimum exterior side yar		3.6 m			
4.11.2.15.4	Maximum encroachment of exterior side yards	a <b>porch</b> into the required <b>fro</b>	<b>nt</b> and	1.8 m		
4.11.2.15.5	Minimum length of a <b>parki</b> where lands abut a G2-1 zoo	ng space located on a drivew	ay	4.5 m		
4.11.2.15.6	Minimum length of a <b>parki</b> other <b>lots</b>	ng space located on a drivew	<b>ay</b> - all	5.5 m		

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	· ·	31-2018/LPAT February 15			
	In a RM5-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations							
4.11.2.16.1	Minimum lot area - interio	or lot		$240 \text{ m}^2$			
4.11.2.16.2	Minimum lot area - corner	· lot		$330 \text{ m}^2$			
4.11.2.16.3	Minimum lot frontage - in	8.0 m					
4.11.2.16.4	.11.2.16.4 Minimum lot frontage - corner lot						
4.11.2.16.5	4.11.2.16.5 Minimum front yard						
4.11.2.16.6	Minimum exterior side ya	rd		3.6 m			
4.11.2.16.7	Minimum setback to garag	e face		5.5 m			
4.11.2.16.8	Minimum interior side yard - unattached side			1.5 m			
4.11.2.16.9	Maximum encroachment of exterior side yards	a <b>porch</b> into the required	d <b>front</b> and	1.8 m			
4.11.2.16.10	Minimum setback of a stre	et townhouse to all lands	zoned G2-1	7.5 m			

4.11.2.17	Except	ion: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
	In a RM5-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Additional Per	mitted	Use				
4.11.2.17.1	(1)	Semi-Detached				
Regulations						
4.11.2.17.2	Street	Townhouse:				
	(1)	minimum setback to	o garage face	7.0 m		
4.11.2.17.3	11.2.17.3 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.8 ot apply	.1 of		
	(2)	minimum exterior	side yard	3.5 m		
	(3)	maximum <b>drivewa</b>	<b>y</b> width	5.5 m		
	(4)	minimum setback to	o garage face	7.0 m		

4.11.2.18	Except	ion: RM5-18	Map # 22	By-law: 0174-2017	
In a RM5-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Additional Per	rmitted	Use			
4.11.2.18.1	(1)	Semi-Detached			
Regulation					
4.11.2.18.2 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1)	minimum exterior	side yard	3.5 m	

4.11.2.19	Except	tion: RM5-19	Map # 38E	0181-2	: 0174-2017, 018/LPAT Order ebruary 15
		permitted <b>uses</b> and and ang <b>uses</b> /regulations s	pplicable regulations shall be hall apply:	e as specif	ied for a RM5 zone
Additional Po	ermitted	Use			
4.11.2.19.1	(1)	Semi-Detached			
Regulations					
4.11.2.19.2	Street	Townhouse:			
	(1)	minimum lot area			$200 \text{ m}^2$
	(2)	minimum lot front	age		10.0 m
	(3)	minimum front ya	rd		3.0 m
	(4)	minimum exterior	side yard		1.8 m
	(5)	maximum encroach front and exterior	nment of a window into requ side yards	ired	0.3 m
	(6)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>			1.0 m
	(7)	maximum <b>drivewa</b>	y width		5.5 m
4.11.2.19.3			uply with the RM2 zone regulations. I of this By-law except that		
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4 ot apply	.8.1 of	
	(2)	minimum lot area			$200 \text{ m}^2$
	(3)	minimum lot front	age		10.0 m
	(4)	maximum <b>gross flo</b>	oor area - residential		0.75 times the <b>lot area</b>
	(5)	minimum front ya	rd		3.0 m
	(6)	minimum exterior	side yard		1.8 m
	(7)	minimum interior	side yard - unattached side		1.5 m
	(8)	maximum encroach front and exterior	nment of a window into requ side yards	ired	0.3 m
	(9)	maximum encroach the required <b>rear y</b>	nment of an attached <b>garage</b> <b>ard</b>	into	1.0 m
	(10)	maximum <b>drivewa</b>	y width		5.5 m

4.11.2.20	Except	ion: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
In a RM5-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	rmitted	Use				
4.11.2.20.1	(1)	Semi-Detached				
Regulations						
4.11.2.20.2	Street	Townhouse:				
	(1)	minimum setback to	o garage face	7.0 m		
4.11.2.20.3			nply with the RM2 zone regula 3.1 of this By-law except that:	ations		
	(1)	the regulations of L this By-law shall no	tine 5.0 contained in Table 4.8 ot apply	.1 of		
	(2)	maximum <b>gross flo</b>	oor area - residential	0.75 times the <b>lot area</b>		
	(3)	minimum setback to	o garage face	7.0 m		

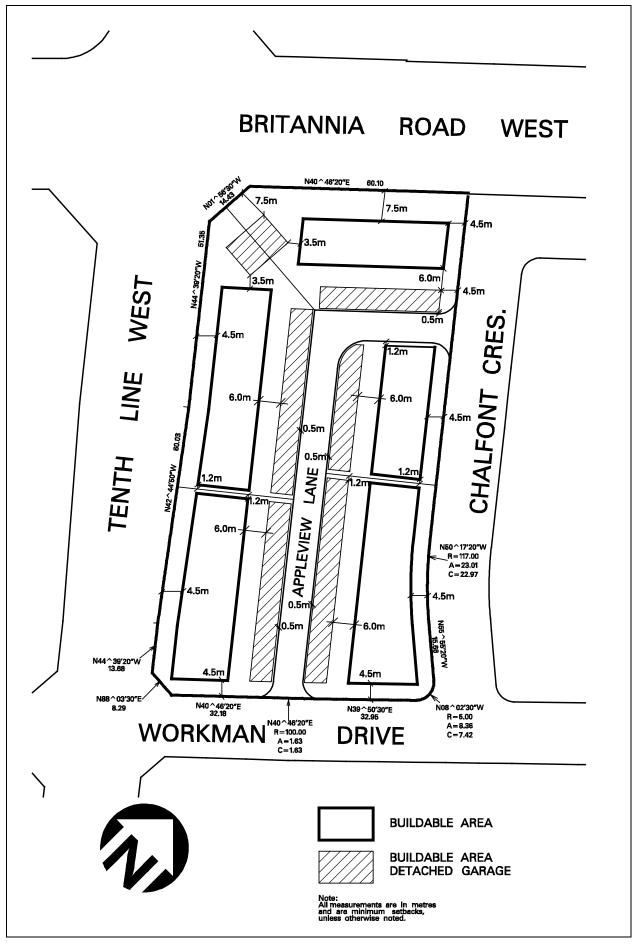
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15			
In a RM5-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations						
4.11.2.21.1	The regulations of Line 11.0 By-law shall not apply	0 contained in Table 4.11.1 of	this			
4.11.2.21.2	Minimum lot area - interio	or lot	$183 \text{ m}^2$			
4.11.2.21.3	Minimum lot area - corner	· lot	$292 \text{ m}^2$			
4.11.2.21.4	Minimum lot frontage - int	terior lot	6.1 m			
4.11.2.21.5	Minimum lot frontage - co	rner lot	9.75 m			
4.11.2.21.6	Minimum <b>front yard</b> - <b>lots</b> adjacent the <b>front lot line</b>	without a municipal sidewalk	3.5 m			
4.11.2.21.7	Minimum exterior side yar adjacent the exterior side le	rd - lots without a municipal s ot line	idewalk 3.5 m			
4.11.2.21.8	Minimum setback to garag	e face	5.8 m			
4.11.2.21.9	Minimum interior side yar	<b>'d</b> - unattached side	1.2 m			
4.11.2.21.10	Maximum encroachment of front and exterior side yar	a <b>porch</b> or <b>balcony</b> into the reds	required 2.0 m			
4.11.2.21.11	Maximum encroachment of front yard	an awning into the required	0.6 m			
4.11.2.21.12	Maximum encroachment of exterior side yard	an awning into the required	0.3 m			
4.11.2.21.13		arage beyond either the main in entry feature where provide				
4.11.2.21.14	Where a <b>main entry featur</b> projection of a <b>garage</b> beyon	re has been provided, the maximal a main front entrance	mum 5.0 m			

Exception RM5-21 continued on next page

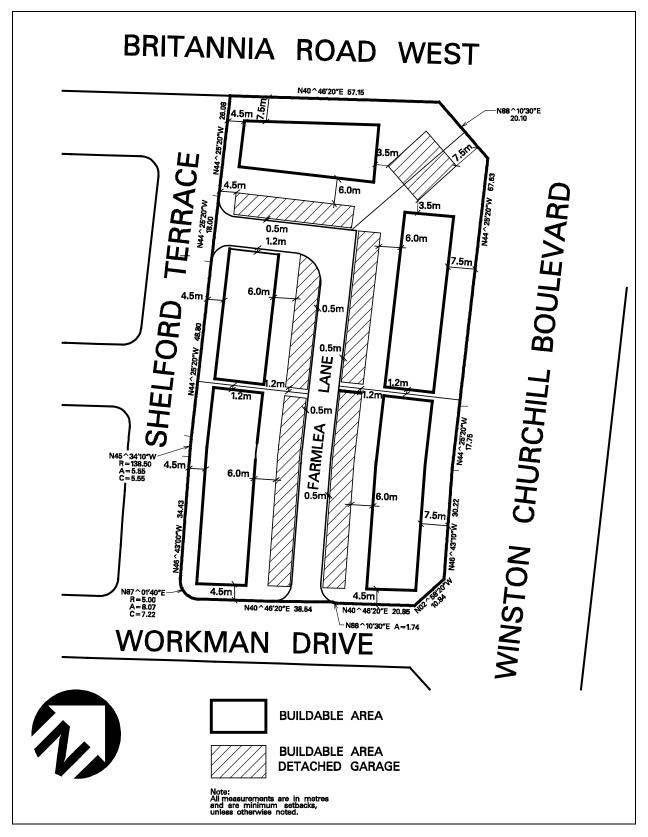
4.11.2.21	•		By-law: 0181-2018/LPAT Order 2019 February 15			
Exception RM5-21 continued from previous page						
4.11.2.21.15 For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>						
4.11.2.21.16	Minimum setback to a sight	triangle	0.0 m			
4.11.2.21.17	Maximum <b>driveway</b> width 3.8 m					
4.11.2.21.18	Maximum <b>garage</b> width:  measured from the inside face of the <b>garage</b> side walls					

4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law: 0208-2022			
RM5-22(8) zo		RM5-22(4), RM5-22(5), RM5- plicable regulations shall be as hall apply:				
Regulations						
4.11.2.22.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 of	this			
4.11.2.22.2	Minimum lot area - corner	r lot	$315 \text{ m}^2$			
4.11.2.22.3	Minimum lot frontage - co	orner lot	10.5 m			
4.11.2.22.4	Minimum <b>front yard - lot</b> adjacent the front lot line	without a municipal sidewalk	3.5 m			
4.11.2.22.5	2.5 Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>					
4.11.2.22.6	buildable area identified o	f a <b>porch</b> or <b>balcony</b> outside the Schedules RM5-22(1) to on, into the required <b>front</b> and	ne 2.0 m			
4.11.2.22.7	Maximum encroachment of buildable area identified of RM5-22(8) of this Exception exterior side yard	on Schedules RM5-22(1) to	0.3 m			
4.11.2.22.8	Maximum <b>driveway</b> width		6.5 m			
4.11.2.22.9		e permitted in the <b>buildable ar</b> on Schedules RM5-22(1) to on	ea -			
4.11.2.22.10	Maximum <b>garage</b> width: measured from the inside fa	ace of the <b>garage</b> side walls	5.5 m			
4.11.2.22.11	Minimum interior side yar located in the rear yard	rd on one side of a detached ga	arage 0.8 m			
4.11.2.22.12	Minimum setback of all <b>bu</b> detached <b>garage</b> to a <b>sight</b>	ildings and structures except triangle	a 0.0 m			
4.11.2.22.13	the public lane identified ar	lot line that divides the lot from the named as a "lane" on M5-22(8) of this Exception	m			
4.11.2.22.14	"Front Lot Line" means the	lot line opposite the rear lot l	ne			
4.11.2.22.15	All site development plans Schedules RM5-22(1) to R	shall comply with M5-22(8) of this Exception				

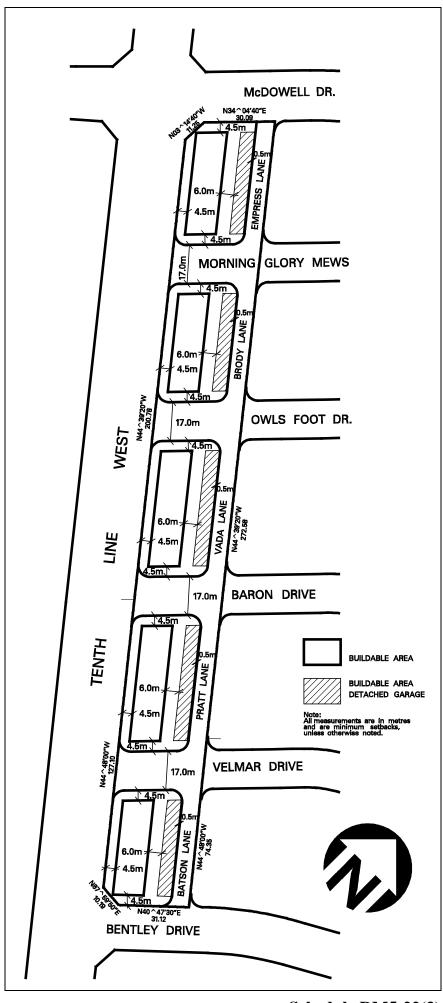
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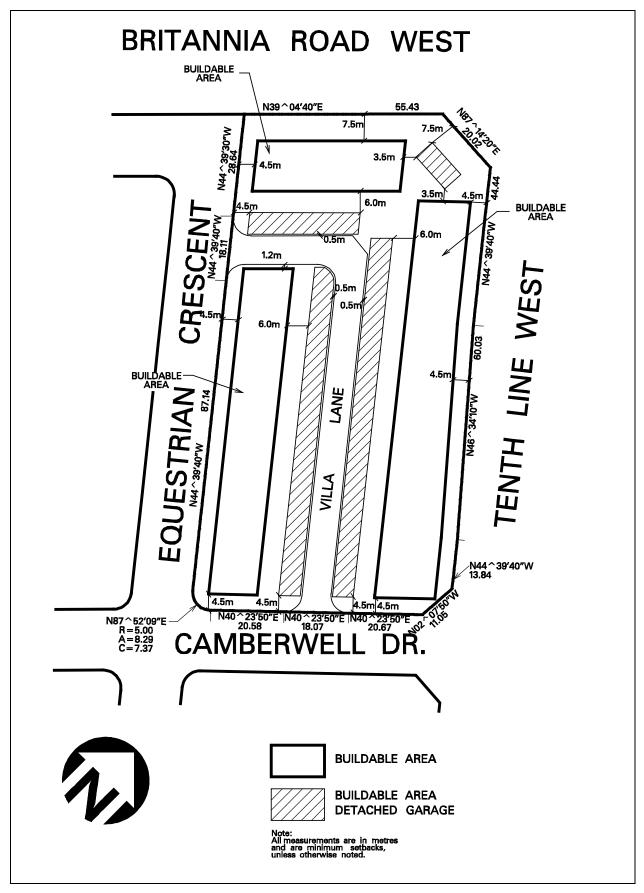
Schedule RM5-22(1) Map 57



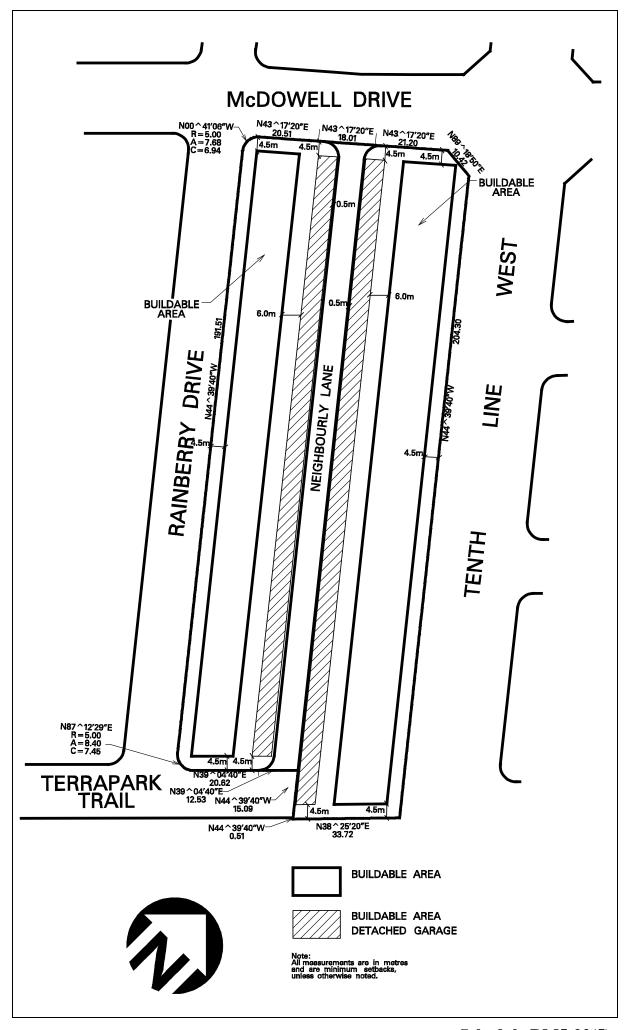
Schedule RM5-22(2) Map 57



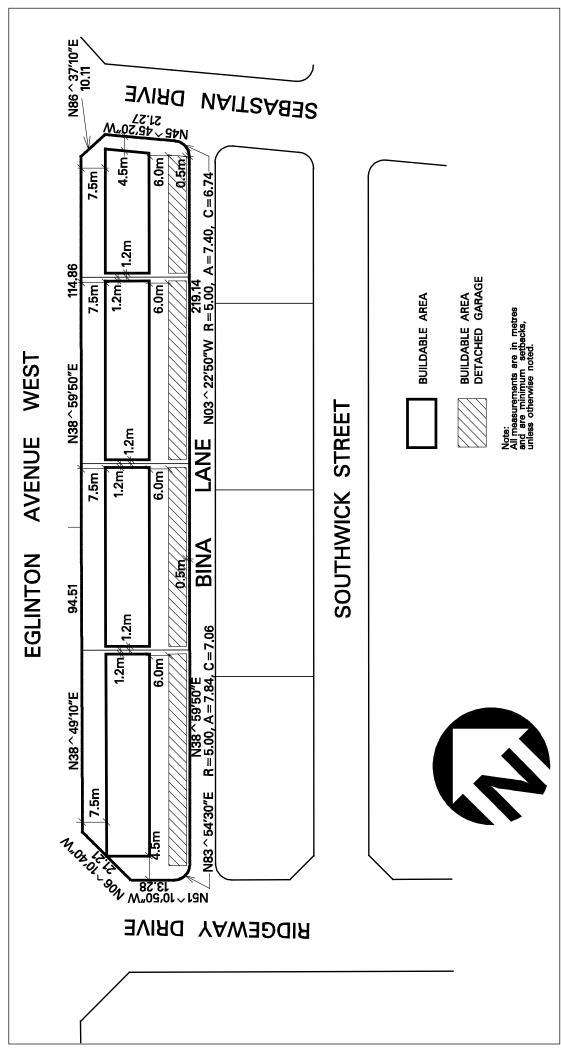
Schedule RM5-22(3) Map 57



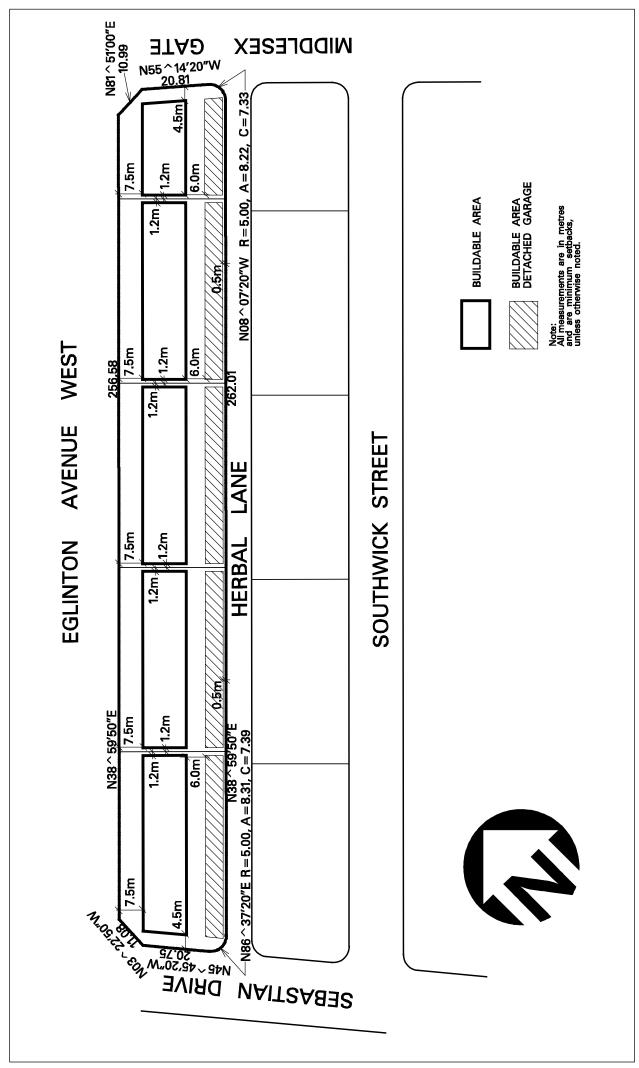
Schedule RM5-22(4) Map 57



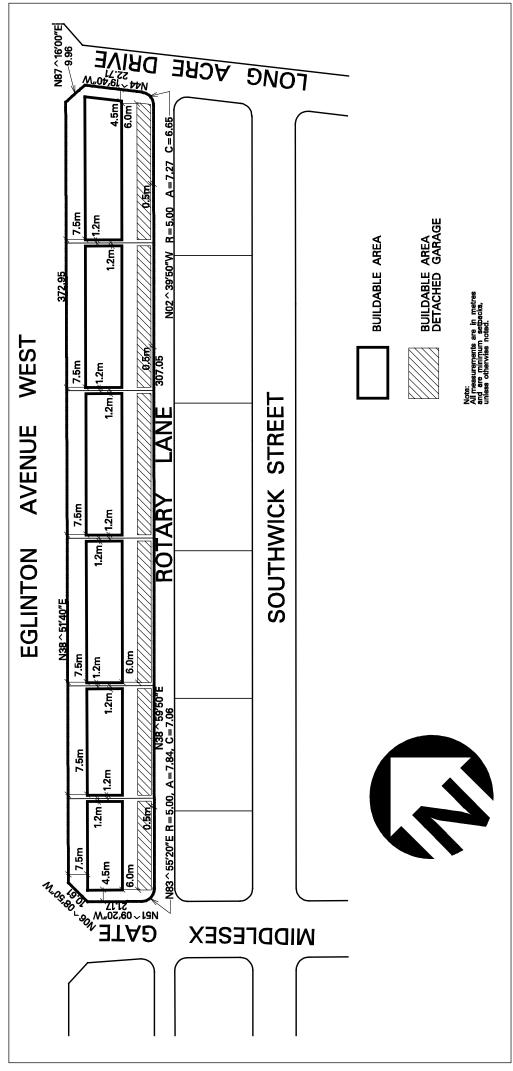
Schedule RM5-22(5) Map 57



Schedule RM5-22(6) Map 58



Schedule RM5-22(7) Map 58



Schedule RM5-22(8) Map 58

4.11.2.23	Exception: RM5-23	Map # 44W		31-2018/LPAT February 15
	one the permitted <b>uses</b> and a following <b>uses</b> /regulations s		e as specified fo	or a RM5 zone
Regulations				
4.11.2.23.1	Minimum <b>front yard</b> - <b>lot</b> adjacent the <b>front lot line</b>	without a municipal sidewal	k	3.5 m
4.11.2.23.2	Minimum <b>exterior side ya</b> adjacent the <b>exterior side l</b>	rd - lot without a municipal ot line	sidewalk	3.5 m
4.11.2.23.3	Minimum setback to garag	e face		5.8 m
4.11.2.23.4	Maximum encroachment of exterior side yards	f a <b>porch</b> into the required <b>f</b>	ront and	1.8 m
4.11.2.23.5	Maximum encroachment of and exterior side yards	f a <b>balcony</b> into the required	l front	2.0 m
4.11.2.23.6	Maximum encroachment of exterior side yard	f an awning into the required	d	0.3 m
4.11.2.23.7		garage beyond either the ma nin entry feature where pro		2.5 m
4.11.2.23.8	Where a main entry feature projection of a garage beyon	re has been provided, the ma ond a main front entrance	aximum	5.0 m
4.11.2.23.9	the garage projects beyond	ore than one <b>storey</b> in <b>heigh</b> the <b>main front entrance</b> , the distorey which may be set be garage face	he <b>garage</b>	_
4.11.2.23.10	Minimum setback to a <b>sigh</b>	t triangle		0.0 m
4.11.2.23.11	Maximum <b>driveway</b> width			3.8 m
4.11.2.23.12	Maximum <b>garage</b> width: measured from the inside fa	ace of the <b>garage</b> side walls		3.8 m

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15					
	cone the permitted <b>uses</b> and ap		all be as specified for a RM5 zone					
Regulations								
4.11.2.24.1	4.11.2.24.1 The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply							
4.11.2.24.2	Minimum lot area - interio	or lot	195 m <sup>2</sup>					
4.11.2.24.3	Minimum lot area - corner	$260 \text{ m}^2$						
4.11.2.24.4	Minimum lot frontage - in	7.5 m						
4.11.2.24.5	Minimum lot frontage - co	rner lot	10.0 m					
4.11.2.24.6	Minimum <b>front yard</b> - <b>lot</b> adjacent the <b>front lot line</b>	ewalk 3.5 m						
4.11.2.24.7	Minimum exterior side yar adjacent the exterior side le	ipal sidewalk 3.5 m						
4.11.2.24.8	Minimum setback to garag	ge face where a lot abuts	a PB1 zone 7.0 m					
4.11.2.24.9	Minimum setback to garag	ge face - all other lots	6.0 m					
4.11.2.24.10	Minimum interior side yar	rd - unattached side	1.2 m					

**Exception RM5-24 continued on next page** 

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181 Order 2019 F					
Exception RN	Exception RM5-24 continued from previous page							
4.11.2.24.11	Minimum rear yard			7.0 m				
4.11.2.24.12	Minimum setback of a stree	et townhouse to all lands zone	ed PB1	18.5 m				
4.11.2.24.13		Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>						
4.11.2.24.14	Maximum encroachment of exterior side yard		0.3 m					
4.11.2.24.15	Maximum projection of a gaentrance or beyond the ma		2.5 m					
4.11.2.24.16	Where a <b>main entry featur</b> projection of a <b>garage</b> beyo	e has been provided, the maxing a main front entrance	imum	5.0 m				
4.11.2.24.17	the garage projects beyond	re than one <b>storey</b> in <b>height</b> , the <b>main front entrance</b> , the d <b>storey</b> which may be set bace <b>garage face</b>	garage					
4.11.2.24.18	Minimum setback to a sight	t triangle		0.0 m				
4.11.2.24.19	Maximum <b>driveway</b> width			3.8 m				
4.11.2.24.20	Maximum <b>garage</b> width: measured from the inside fa	ace of the <b>garage</b> side walls		3.8 m				

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:				
In a RM5-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:							
Regulations							
4.11.2.25.1	Minimum lot area - interio	or lot	$163 \text{ m}^2$				
4.11.2.25.2	Minimum lot frontage - int	terior lot	6.1 m				
4.11.2.25.3	Minimum setback to Huron	tario Street	3.2 m				

4.11.2.26	Excep	otion: RM5-26	Map # 44E	By-law: 0 0181-2018 2019 Febr	3/LPAT Order
except that the	follow	ing <b>uses</b> /regulations s	pplicable regulations shall hall apply:	be as specified	for a RM5 zone
Additional Pe	rmittec	1 Use			
4.11.2.26.1	(1)	Semi-Detached			
Regulations					
4.11.2.26.2	Street	t Townhouse:			
	(1)	project more than 1	rage - where the garage d .0 m beyond the main en e main front entrance - i	try feature	45%
	(2)	maximum lot cove	rage - all other lots		40%
	(3)	minimum <b>rear yar</b>	<b>d</b> where lands abut a C5-1	2 zone	10.0 m

## Exception RM5-26 continued on next page

4.11.2.26	Excep	tion: RM5-26	Map # 44E	By-law: 0174- 0181-2018/LF 2019 February	AT Order		
Exception RI	M5-26 co	ontinued from previ	ous page				
4.11.2.26.2 (continued)	(4)		on of a <b>garage</b> beyond either <b>ce</b> or beyond the <b>main entry iterior lot</b>		2.5 m		
	(5)	the maximum proje	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b> 4.0 m				
	(6)	where the <b>garage</b> p <b>entrance</b> , the <b>gara</b>	buse more than one storey in rojects beyond the main from ge shall be covered by a second set back a maximum of 2.3	<b>nt</b> ond			
	(7)	maximum <b>porch</b> ar	ea in a <b>front yard - interior</b>	lot	$12 \text{ m}^2$		
	(8)	maximum <b>porch</b> ar <b>corner lot</b>	rea in <b>front</b> and <b>exterior side</b>	e yards -	$20 \text{ m}^2$		
	(9)		hes in front and exterior side on the calculation of lot covers				
	(10)	-	s and structures shall not be r exterior side yard	e located			
4.11.2.26.3			aply with the RM2 zone regu .1 of this By-law except that				
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>			45%		
	(2)	maximum lot coverage - all other lots			40%		
	(3)	minimum rear yar	d where lands abut an C5-12	zone	10.0 m		
	(4)		on of a <b>garage</b> beyond either <b>ce</b> or beyond the <b>main entry iterior lot</b>		2.5 m		
	(5)		y <b>feature</b> has been provided, on of a <b>garage</b> beyond a <b>mai</b> tot		4.0 m		
	(6)	where the <b>garage</b> p <b>entrance</b> , the <b>gara</b>	d more than one storey in he rojects beyond the main from ge shall be covered by a second set back a maximum of 2 ce - interior lot	<b>nt</b> ond			
	(7)	maximum <b>porch</b> ar	ea in a <b>front yard - interio</b> r	· lot	$12 \text{ m}^2$		
	(8)	maximum total <b>por</b> <b>yards</b> - <b>corner lot</b>	ch area in front and exterio	r side	$20 \text{ m}^2$		
	(9)	<del>-</del>	hes in front and exterior side on the calculation of lot covered to the calculation of lot covered to the covered to the calculation of lot co	-			
	(10)	-	s and <b>structures</b> shall not be r <b>exterior side yard</b>	e located			

4.11.2.27	Excep	otion: RM5-	-27	Map # 44W, 45E, 52W	By-law: 01 0181-2018 2019 Febru	/LPAT Order		
In a RM5-27 a except that the				applicable regulations shall be shall apply:	pe as specified	for a RM5 zone		
Additional Po	ermitted	l Use						
4.11.2.27.1	(1)	Semi-De	tached					
Regulations								
4.11.2.27.2	Street	t Townhous	se:					
	(1)	(1) maximum lot coverage:						
		(1.1)	1.0 m be 2.5 m be	ne garage does not project new ground the main entry feature eyond the main front entra the room on the first storey	re or nce or a	45%		
		(1.2)	less, me exterior	ne width of the <b>garage</b> is 3.5 assured from the outside of convalls or from the outside of walls to the midpoint of an i	opposite f an	45%		
		(1.3)	all other	lots		40%		
	(2)	minimum	n setback	to Old Derry Road		9.0 m		
	(3)		n projectiont entrar	on of a <b>garage</b> beyond the <b>ace</b>		7.0 m		
	(4)	where the entrance storey w	e <b>garage</b> j	ouse more than one storey is projects beyond the main frage shall be covered by a second be set back a maximum of 2 acce	cont			
	(5)	maximun	n <b>porch</b> a	rea in a <b>front yard - interi</b> o	or lot	$12 \text{ m}^2$		
	(6)		n total <b>po</b> o <b>rner lot</b>	rch area in front and exteri	or side	$20 \text{ m}^2$		
	(7)			ches in front and exterior si from the calculation of lot co				
	(8)			<b>g</b> and <b>structures</b> shall not b or <b>exterior side yard</b>	e located			
4.11.2.27.3				mply with the RM2 zone reg 8.1 of this By-law except that				
	(1)	maximun	n <b>lot cove</b>	erage:				
		(1.1)	1.0 m be 2.5 m be	ne garage does not project need to be a second the main entry feature eyond the main front entra to ble room on the first storey	re or nce or a	45%		
		(1.2)	less, me exterior	ne width of the <b>garage</b> is 3.5 assured from the outside of walls or from the outside of wall to the midpoint of an i	opposite f an	45%		
		(1.3)	all other	lots		40%		
	(2)	minimum	n setback	to Old Derry Road		9.0 m		
	(3)		n projectiont entrar	on of a <b>garage</b> beyond the <b>ace</b>		7.0 m		

Exception RM5-27 continued on next page

4.11.2.27	Excep	otion: RM5-27	0181-201		: 0174-2017, 018/LPAT Order ebruary 15		
Exception RM5-27 continued from previous page							
4.11.2.27.3 (continued)	(4)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>					
	(5)	maximum <b>porch</b> are	ea in a <b>front yard - interior</b> l	lot	$12 \text{ m}^2$		
	(6)	maximum total porc yards - corner lot	ch area in front and exterior	side	$20 \text{ m}^2$		
	(7)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>					
	(8)	accessory buildings in the front yard or	s and structures shall not be exterior side yard	located			

4.11.2.28	Exception: RM5-28		Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPA Order 2019 February 15	
In a RM5-28 z		•			shall be as specified for a RM5 zone
Additional Po	ermitted	l Uses			
4.11.2.28.1	(1) (2)	Detached Semi-Det	•	g	
Regulations					
4.11.2.28.2	Street	Townhous	se:		
	(1)	maximum	lot cove	rage:	
		(1.1)	1.0 m be 2.5 m be	e garage does not proyond the main entry yond the main front le room on the first s	feature or entrance or a
		(1.2)	less, mea	he width of the <b>garage</b> asured from the outsion walls or from the outsion wall to the midpoint of	le of opposite ide of an
		(1.3)	all other	lots	40%
	(2)	maximum <b>main fro</b> i		on of a <b>garage</b> beyond <b>ce</b>	7.0 m
	(3)	where the entrance	garage p the gara nich may l	ouse more than one st projects beyond the m ge shall be covered by the set back a maximu	ain front  / a second
	(4)	maximum	n <b>porch</b> ai	rea in a <b>front yard - i</b>	nterior lot 12 m <sup>2</sup>
	(5)	maximum yards - co	_	<b>ch</b> area in <b>front</b> and	exterior side 20 m <sup>2</sup>
	(6)		-	hes in front and exterom the calculation of	· ·
	(7)			gs and structures shall r exterior side yard	l not be located

Exception RM5-28 continued on next page

4.11.2.28	Exception: RM5-28		5-28	Map # 52E		25-2008, 0181-2018/LPAT February 15
Exception RI	М5-28 с	ontinued	from previ	ous page		
4.11.2.28.3		ations cont		comply with the R11 zone bsection 4.4.1 of this By-la		
	(1)	is 5.0 m exterior	or less, me walls or fro	rage - where the width of t asured from the outside of om the outside of an exterior interior wall	opposite	45%
(2) maximum lot coverage - where garage beyond the main front main entry feature, where proequal to 1.0 m or the projection				main front entrance or the, where provided, is less that	ne han or eyond the	45%
4.11.2.28.4				nply with the RM2 zone reg 1.1 of this By-law except th		
	(1)	maximum lot coverage:				
		(1.1)	1.0 m bey beyond th	garage does not project me yound the main entry feature he main front entrance or the room on the first storey	<b>re</b> or 2.5 m a	45%
		(1.2)	measured walls or f	width of the <b>garage</b> is 3.5 from the outside of opposition the outside of an exterbint of an interior wall or	ite exterior	45%
		(1.3)	all other <b>l</b>	ots		40%
	(2)		ım projectio ront entran	on of a <b>garage</b> beyond the <b>ce</b>		7.0 m
	(3)	where t entrand storey	he <b>garage</b> p ce, the <b>gara</b>	d more than one storey in projects beyond the main fage shall be covered by a segon set back a maximum of ce	ront econd	
	(4)	maximı	maximum porch area in a front yard - interior lot		$12 \text{ m}^2$	
	(5)	maximum total <b>porch</b> in <b>front</b> and <b>exterior side yards</b> - 20 m <sup>2</sup> <b>corner lot</b>			$20 \text{ m}^2$	
	(6)		_	hes in front and exterior s rom the calculation of lot c	-	
	(7)		•	s and structures shall not r exterior side yard	be located	

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15				
	In a RM5-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	Additional Permitted Uses						
4.11.2.29.1	(1) Detached Dwellin	g					
	(2) <b>Semi-Detached</b>						

**Exception RM5-29 continued on next page** 

4.11.2.29	Ехсер	otion: RM5-29	Map # 52E	By-law: 0174-2 0181-2018/LP2 2019 February	AT Order
Exception R	M5-29 c	ontinued from previ	ous page	•	
Regulations					
4.11.2.29.2	Stree	t Townhouse:			
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry e main front entrance - inter	feature	45%
	(2)	maximum lot cove	rage - all other lots		40%
	(3)		on of a <b>garage</b> beyond either t <b>ce</b> or beyond the <b>main entry</b> <b>nterior lot</b>		2.5 m
	(4)		y feature has been provided, on of a garage beyond a main lot		4.0 m
	(5)	where the garage pentrance, the gara	ouse more than one storey in projects beyond the main from ge shall be covered by a second be set back a maximum of 2.5	n <b>t</b> nd	
	(6)	maximum <b>porch</b> an	rea in a <b>front yard - interior</b>	lot	$12 \text{ m}^2$
	(7)	maximum <b>porch</b> an	rea in <b>front</b> and <b>exterior side</b>	yards	$20 \text{ m}^2$
	(8)	_	hes in front and exterior side rom the calculation of lot cov	•	
	(9)	•	gs and structures shall not be r exterior side yard	located	
4.11.2.29.3			comply with the R11 zone bsection 4.4.1 of this By-law		
4.11.2.29.4			nply with the RM2 zone regul 3.1 of this By-law except that:		
	(1)	project more than 1	rage - where the garage does .0 m beyond the main entry e main front entrance - inter	feature	45%
	(2)	maximum lot cove	rage - all other lots		40%
	(3)		on of a <b>garage</b> beyond either t <b>ce</b> or beyond the <b>main entry</b> <b>nterior lot</b>		2.5 m
	(4)		y feature has been provided, on of a garage beyond a main lot		4.0 m
	(5)	where the <b>garage</b> pentrance, the <b>gara</b>	d more than one storey in her projects beyond the main from ge shall be covered by a secon be set back a maximum of 2.5 ce - interior lot	n <b>t</b> nd	
	(6)	maximum <b>porch</b> ar	rea in a <b>front yard - interior</b>	lot	$12 \text{ m}^2$
	(7)	maximum total <b>poi</b> yards - corner lot	ch area in front and exterior	side	$20 \text{ m}^2$
	(8)		hes in front and exterior side rom the calculation of lot cover the calcul		
	(9)		gs and structures shall not be r exterior side yard	located	

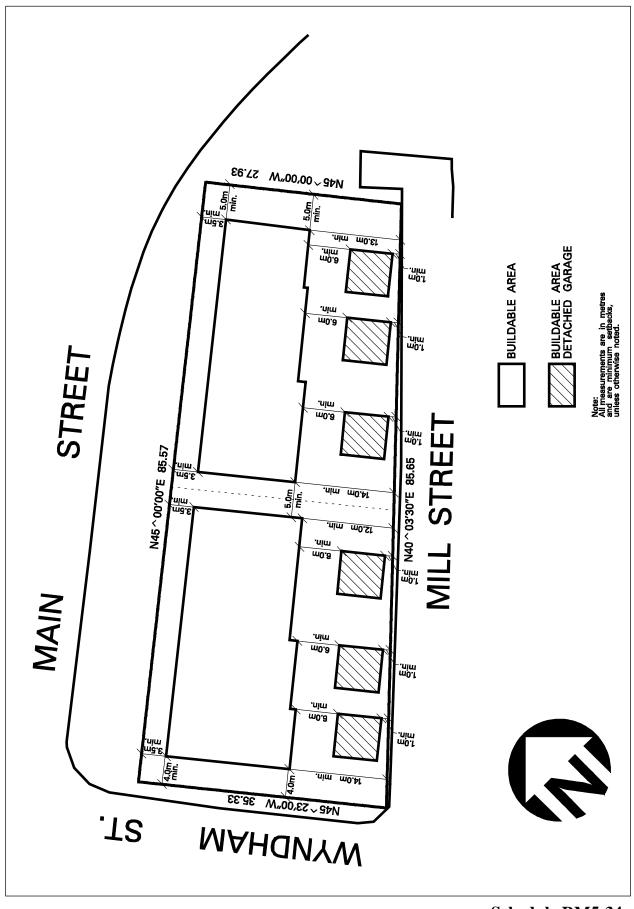
4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
	one the permitted <b>uses</b> and following <b>uses</b> /regulations	applicable regulations shall be a shall apply:	as specified for a RM5 zone
Regulations			
4.11.2.30.1	Minimum lot area - corne	er lot	325 m <sup>2</sup>
4.11.2.30.2	Minimum lot frontage - c	orner lot	10.5 m
4.11.2.30.3	Maximum <b>lot coverage</b> :		
	beyond the main	e does not project more than 1.0 entry feature or 2.5 m beyond ance or habitable room on the	the
		of the <b>garage</b> is 3.8 m or less, make of the <b>garage</b> side walls or	neasured 45%
	(3) all other <b>lots</b>		40%
4.11.2.30.4	Minimum setback to gara	ge face	7.0 m
4.11.2.30.5	Maximum encroachment of exterior side yards	of a <b>porch</b> into the required <b>fro</b>	<b>nt</b> and 1.5 m
4.11.2.30.6	garage projects beyond th	e than one <b>storey</b> in <b>height</b> , whose <b>main front entrance</b> , the <b>ga</b> and <b>storey</b> which may be set backet <b>garage face</b>	rage
4.11.2.30.7	Maximum <b>porch</b> area in a	front yard - interior lot	$12 \text{ m}^2$
4.11.2.30.8	Maximum total <b>porch</b> are <b>corner lot</b>	a in <b>front</b> and <b>exterior side ya</b>	<b>rds</b> - 20 m <sup>2</sup>
4.11.2.30.9	The area of all <b>porches</b> in excluded from the calcular	front and exterior side yards tion of lot coverage	shall be
4.11.2.30.10	Maximum <b>driveway</b> widt	h	3.8 m
4.11.2.30.11	Minimum setback to a sig	ht triangle	0.0 m
4.11.2.30.12	Accessory buildings and front yard or exterior sid	structures shall not be located le yard	in the

4.11.2.31	Except	tion: RM5-31	Map # 37W	By-law	v: 0174-2017	
In a RM5-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	rmitted	Use				
4.11.2.31.1	(1)	Semi-Detached				
Regulations						
4.11.2.31.2			nply with the RM2 zone : 3.1 of this By-law except	•		
	(1)	minimum lot area	- interior lot		$195 \text{ m}^2$	
	(2)	minimum lot front	tage - interior lot		6.5 m	
	(3)	maximum <b>gross flo</b>	oor area - residential		0.75 times the <b>lot area</b>	

4.11.2.32	Except	ion: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15			
	In a RM5-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	rmitted	Uses					
4.11.2.32.1	(1) (2)	Detached Dwelling Semi-Detached	9				
Regulations							
4.11.2.32.2	Street	Townhouse:					
	(1)	minimum lot area		$186 \text{ m}^2$			
	(2)	minimum interior	side yard - unattached side	1.2 m			
4.11.2.32.3			comply with the R5 zone regulation.1 of this By-law except that:	lations			
	(1)	minimum lot area		$247 \text{ m}^2$			
4.11.2.32.4			uply with the RM2 zone regula .1 of this By-law except that:	tions			
	(1)	minimum lot area		$186 \text{ m}^2$			

-						
4.11.2.33	Exception: RM5-33	Map # 38W	By-l	aw:		
In a RM5-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations						
4.11.2.33.1	Minimum lot frontage - in	terior lot		8.0 m		
4.11.2.33.2 Minimum lot frontage - corner lot 11.5 m						
4.11.2.33.3	Minimum exterior side yar	rd		3.6 m		

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010			
In a RM5-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations						
4.11.2.34.1	4.11.2.34.1 The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply					
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception					



Schedule RM5-34 Map 38W

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15			
In a RM5-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Regulations						
4.11.2.35.1	11.2.35.1 Minimum lot area - interior lot					
4.11.2.35.2	Minimum lot area - corner	$230 \text{ m}^2$				
4.11.2.35.3	.2.35.3 Minimum lot frontage - interior lot					
4.11.2.35.4	4.11.2.35.4 Minimum setback to garage face					
4.11.2.35.5	4.11.2.35.5 Minimum exterior side yard					
4.11.2.35.6	Maximum encroachment of exterior side yards	<b>nt</b> and 1.8 m				
4.11.2.35.7	4.11.2.35.7 Maximum encroachment of a <b>deck</b> into the required <b>rear yard</b>					
4.11.2.35.8	Minimum number of parki	ng spaces	3			

4.11.2.36	Excep	Peption: RM5-36 Map # 30 By-law: 0174 0181-2018/LI 2019 Februar		AT Order	
		permitted <b>uses</b> and ap	pplicable regulations shall be a hall apply:	as specified for	a RM5 zone
Additional Pe	rmitted	Use			
4.11.2.36.1	(1)	Semi-Detached			
Regulations					
4.11.2.36.2	Street	Townhouse:			
	(1)	minimum setback f zoned PB1	From a <b>street townhouse</b> to all	lands	10.0 m
	(2)	minimum setback t	minimum setback to a sight triangle		
	(3)		nment of a <b>porch</b> or <b>balcony</b> i <b>exterior side yards</b>	nto the	2.0 m
	(4)	maximum <b>drivewa</b>	y width		3.8 m
	(5)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side	walls	3.8 m
4.11.2.36.3			nply with the RM2 zone regula 3.1 of this By-law except that:	ntions	
	(1)	minimum setback f zoned PB1	From a <b>semi-detached</b> to all la	nds	10.0 m
	(2)	minimum setback t	o a <b>sight triangle</b>		0.0 m
	(3)		nment of a <b>porch</b> or <b>balcony</b> i <b>exterior side yards</b>	nto the	2.0 m
	(4)	maximum <b>drivewa</b>	y width		3.8 m
	(5)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side	walls	3.8 m

4.11.2.37	Excep	otion: RM5-37		By-law: 0449 0174-2017, 0 Order 2019 F	0181-2018/LPAT
		permitted <b>uses</b> and a ing <b>uses</b> /regulations s	pplicable regulations shall be as shall apply:	s specified for	r a RM5 zone
Additional Po	ermitted	d Use			
4.11.2.37.1	(1)	Semi-Detached			
Regulations					
4.11.2.37.2	Street	t Townhouse:			
	(1)	the regulations of I this By-law shall n	Line 11.0 contained in Table 4.1 ot apply	1.1 of	
	(2)	minimum lot area	- interior lot		$183 \text{ m}^2$
	(3)	minimum lot area	- corner lot		$292 \text{ m}^2$
	(4)	minimum lot front	tage - interior lot		6.1 m
	(5)	minimum lot front	tage - corner lot		9.75 m
	(6)	minimum front ya adjacent the front	rd - lots without a municipal sid lot line	dewalk	3.5 m
	(7)		side yard - lots without a muni the exterior side lot line	cipal	3.5 m
	(8)	minimum setback	to garage face		5.8 m
	(9)	minimum interior	side yard - unattached side		1.2 m
	(10)	minimum rear yar	·d		6.0 m
	(11)	minimum setback zoned U-3	from a <b>street townhouse</b> to all 1	ands	11.0 m
	(12)		hment of a <b>porch</b> or <b>balcony</b> interested exterior side yards	to	2.0 m
	(13)		on of a <b>garage</b> beyond either the beyond the <b>main entry feature</b>		2.5 m
	(14)		y feature has been provided, the on of a garage beyond a main f		5.0 m
	(15)	where the <b>garage</b> pentrance, the <b>gara</b>	ouse more than one storey in he projects beyond the main front ge shall be covered by a second be set back a maximum of 2.5 n	1	
	(16)	maximum <b>drivewa</b>	y width - interior lot		4.3 m
	(17)	maximum <b>drivewa</b>	ny width - corner lot		4.7 m
	(18)	maximum <b>garage</b>	width:		3.8 m
		measured from the	inside face of the <b>garage</b> side v	valls	
	(19)	minimum setback	to a <b>sight triangle</b>		0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Excep	otion: RM5-37	Map # 57, 58	By-law: 044 0174-2017, Order 2019	0181-2018/LPAT
Exception R	M5-37 c	ontinued from previ	ous page		
4.11.2.37.3			nply with the RM2 zone regul 3.1 of this By-law except that:		
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table 4. ot apply	8.1 of	
	(2)	minimum <b>front ya</b> adjacent the <b>front</b> l	rd - lots without a municipal lot line	sidewalk	3.5 m
	(3)		side yard - lots without a muthe exterior side lot line	ınicipal	3.5 m
	(4)		side yard - lots abutting a st width less than 17.0 m	reet	1.8 m
	(5)	minimum <b>exterior</b> reserve along the <b>e</b>	side yard - corner lots with xterior lot line	a 0.3 m	4.2 m
	(6)	minimum setback t	to garage face		5.8 m
	(7)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>		into	2.0 m
	(8)	1 0	on of a <b>garage</b> beyond either ace or beyond the <b>main entry</b>		2.5 m
	(9)		y feature has been provided, ection of a garage beyond a ace		5.0 m
	(10)	where the <b>garage</b> pentrance, the <b>gara</b>	ed more than one storey in he projects beyond the main from the stall be covered by a second be set back a maximum of 2.5 are	<b>nt</b> nd	
	(11)	minimum setback t			0.0 m
	(12)		y width - interior lot		4.3 m
	(13)		y width - corner lot		4.7 m
	(14)	maximum <b>garage</b>		e walls	3.8 m

4.11.2.38	Excep	tion: RM5-38		By-law: 0265-2016, 0174-2017, 0181-2018/ Order 2019 February 15	
		permitted <b>uses</b> and and ang <b>uses</b> /regulations s	pplicable regulations shall be as hall apply:	s specified for a RM5 zo	one
Additional P	ermitted	l Uses			
4.11.2.38.1	(1) (2)	Detached Dwelling Semi-Detached	9		
Regulations					
4.11.2.38.2	Street	Townhouse:			
	(1)	the regulations of L of this By-law shall	ine 11.0 contained in Table 4.1 not apply	1.1	
	(2)	minimum lot area	- interior lot	$183 \text{ m}^2$	
	(3)	minimum lot area	- corner lot	$292 \text{ m}^2$	
	(4)	minimum lot front	age - interior lot	6.1 m	
	(5)	minimum lot front	age - corner lot	9.75 m	
	(6)	minimum <b>front ya</b> adjacent the <b>front l</b>	rd - lots without a municipal sid ot line	dewalk 3.5 m	
	(7)		side yard - lots without a muni he exterior side lot line	icipal 3.5 m	
	(8)	minimum setback t	o garage face	5.8 m	
	(9)	minimum interior	side yard - unattached side	1.2 m	
	(10)	minimum rear yar	d	6.0 m	
	(11)	minimum setback f zoned U-3	rom a <b>street townhouse</b> to all l	ands 11.0 m	
	(12)		nment of a <b>porch</b> or <b>balcony</b> in <b>exterior side yards</b>	to 2.0 m	
	(13)		on of a <b>garage</b> beyond either the <b>ce</b> or beyond the <b>main entry fe</b>		
	(14)		y feature has been provided, ection of a garage beyond a ce	5.0 m	
	(15)	where the <b>garage</b> pentrance, the <b>gara</b>	ouse more than one storey in he projects beyond the main front ge shall be covered by a second one set back a maximum of 2.5 n	- I	
	(16)	maximum <b>drivewa</b>	y width - interior lot	4.3 m	
	(17)	maximum <b>drivewa</b>	y width - corner lot	4.7 m	
	(18)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side v	3.8 m	
	(19)	minimum setback t	o a <b>sight triangle</b>	0.0 m	

Exception RM5-38 continued on next page

4.11.2.38	Excep	tion: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPA Order 2019 February 15
Exception RN	<b>И5-38 с</b> о	ontinued from previ	ous page	
4.11.2.38.3			comply with the R7 zone regulations. Comply with the R7 zone regulations and the R7 zone regulations.	ulations
	(1)	minimum lot area	- interior lot	$275 \text{ m}^2$
	(2)	minimum lot area	- corner lot	$380 \text{ m}^2$
	(3)	minimum lot front	tage - interior lot	9.75 m
	(4)	minimum lot front	tage - corner lot	13.5 m
	(5)	minimum setback t lands zoned G1	from a <b>detached dwelling</b> to a	ıll 11.0 m
	(6)	minimum <b>rear yar</b>	·d	7.5 m
	(7)	maximum <b>drivewa</b>	ny width	6.5 m
	(8)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side	5.5 m
4.11.2.38.4			nply with the RM2 zone regula 3.1 of this By-law except that:	ations
	(1)	the regulations of I of this By-law shal	Line 5.0 contained in Table 4.8 I not apply	3.1
	(2)	minimum <b>front ya</b> adjacent the <b>front</b>	rd - lots without a municipal s lot line	sidewalk 3.5 m
	(3)		side yard - lots without a muthe exterior side lot line	nicipal 3.5 m
	(4)		side yard - lots abutting a str width less than 17.0 m	reet 1.8 m
	(5)	minimum <b>exterior</b> reserve along the <b>e</b>	side yard - corner lots with a xterior lot line	a 0.3 m 4.2 m
	(6)	minimum setback t	to garage face	5.8 m
	(7)		hment of a <b>porch</b> or <b>balcony</b> i <b>exterior side yards</b>	into 2.0 m
	(8)		on of a <b>garage</b> beyond either the control of a garage beyond the main entry the control of the	
	(9)		y feature has been provided, to of a garage beyond a main	
	(10)	where the <b>garage</b> pentrance, the <b>gara</b>	ed more than one storey in heiprojects beyond the main from the shall be covered by a second be set back a maximum of 2.5 tice	u <b>t</b> nd
	(11)	minimum setback t	to a <b>sight triangle</b>	0.0 m
	(12)	maximum <b>drivew</b> a	ny width - interior lot	4.3 m
	(13)	maximum <b>drivew</b> a	ny width - corner lot	4.7 m
	(14)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side	3.8 m

4.11.2.39	Except	ion: RM5-39	Map # 57	0181-20	0174-2017, 018/LPAT Order ebruary 15
		permitted <b>uses</b> and ap ng <b>uses</b> /regulations s	pplicable regulations shall be a hall apply:	s specifi	ed for a RM5 zone
Additional Pe	rmitted	Use			
4.11.2.39.1	(1)	Semi-Detached			
Regulations					
4.11.2.39.2	Street	Townhouse:			
	(1)	the regulations of L of this By-law shall	ine 11.0 contained in Table 4.1 not apply	11.1	
	(2)	minimum <b>front ya</b> adjacent the <b>front l</b>	rd - lots without a municipal si lot line	dewalk	3.5 m
	(3)		side yard - lots without a mun he exterior side lot line	icipal	3.5 m
	(4)	minimum setback t	o a <b>sight triangle</b>		0.0 m
	(5)		nment of a <b>porch</b> or <b>balcony</b> in <b>exterior side yards</b>	to the	2.0 m
	(6)	minimum setback o	of a detached <b>garage</b> to the		0.5 m
	(7)	minimum setback o	of a detached <b>garage</b> to the <b>ne</b>		0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>drivewa</b>	y width		6.5 m
	(9)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side v	walls	5.5 m
	(10)	a detached <b>garage</b>	shall be provided in the <b>rear y</b> a	ard	
	(11)	minimum setback f street townhouse	from a detached <b>garage</b> to a		6.0 m
	(12)		g a <b>street</b> with a width of 17.0 med to be the <b>front lot line</b>	n or	
4.11.2.39.3			nply with the RM2 zone regular 3.1 of this By-law except that:	tions	
	(1)	the regulations of L this By-law shall no	ine 5.0 contained in Table 4.8. ot apply	1 of	
	(2)	minimum front yan adjacent the front l	rd - lots without a municipal si ot line	dewalk	3.5 m
	(3)		side yard - lots without a mun he exterior side lot line	icipal	3.5 m
	(4)	maximum drivewa	y width		6.5 m
	(5)		nment of a <b>porch</b> or <b>balcony</b> in <b>exterior side yards</b>	to the	2.0 m
	(6)	minimum setback o	of a detached <b>garage</b> to the		0.5 m
	(7)	minimum setback o	of a detached <b>garage</b> to the <b>ne</b>		0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side v	walls	5.5 m
	(9)	minimum setback t			0.0 m

**Exception RM5-39 continued on next page** 

4.11.2.39	Excep	tion: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15	
Exception RN	Exception RM5-39 continued from previous page				
4.11.2.39.3 (continued)	(10)	a detached <b>garage</b> s	a detached <b>garage</b> shall be provided in the <b>rear yard</b>		
	(11)	minimum setback fr semi-detached	rom a detached <b>gara</b> ;	<b>ge</b> to a 6.0 m	
	(12)	_	he <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or reater shall be deemed to be the <b>front lot line</b>		

4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017			
In a RM5-40 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:						
Additional Per	mitted Use					
4.11.2.40.1	(1) <b>Semi-Detached</b>					
Regulation						
4.11.2.40.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law					

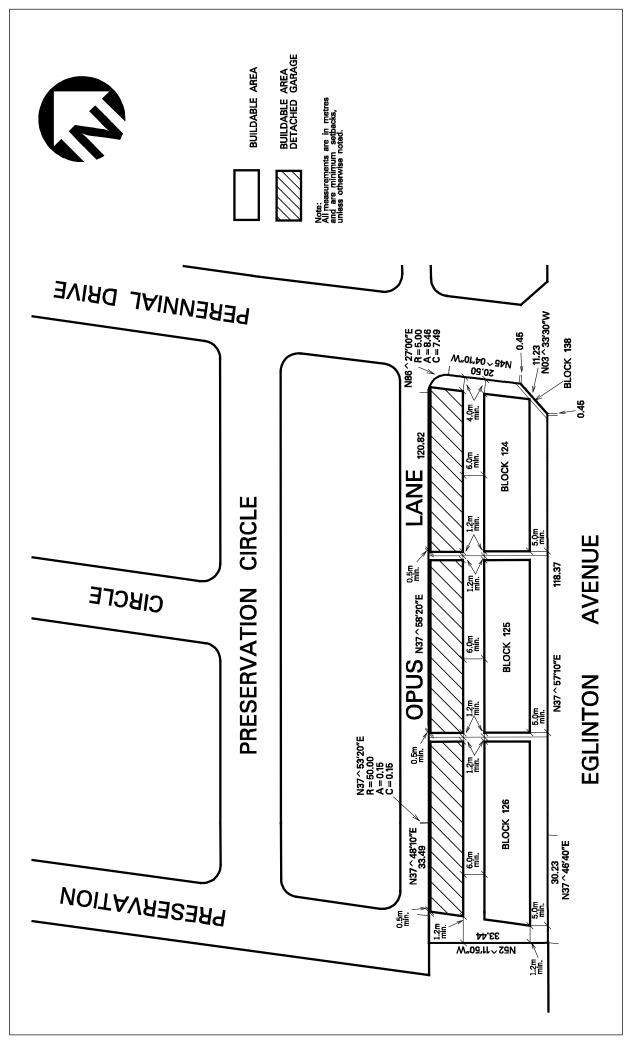
4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)		Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09, 0208-2022		
			3) zone the permitted <b>uses</b> and the following <b>uses</b> /regulations			
Additional P	ermitted	l Uses				
4.11.2.41.1	4.11.2.41.1 The following <b>uses</b> are permitted within a <b>street townhouse</b> :					
Uses Not Per 4.11.2.41.2	(1) (2)		nent			
	(3) (4)	Pet Shop Laundromat or laur	ndry depot			
Regulations			V 1			
4.11.2.41.3	Street	Townhouse:				
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply				
	(2)	the <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, shall only be located within the <b>first storey</b> of a <b>street townhouse</b>				

Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page  $\left( \frac{1}{2} \right)$ 

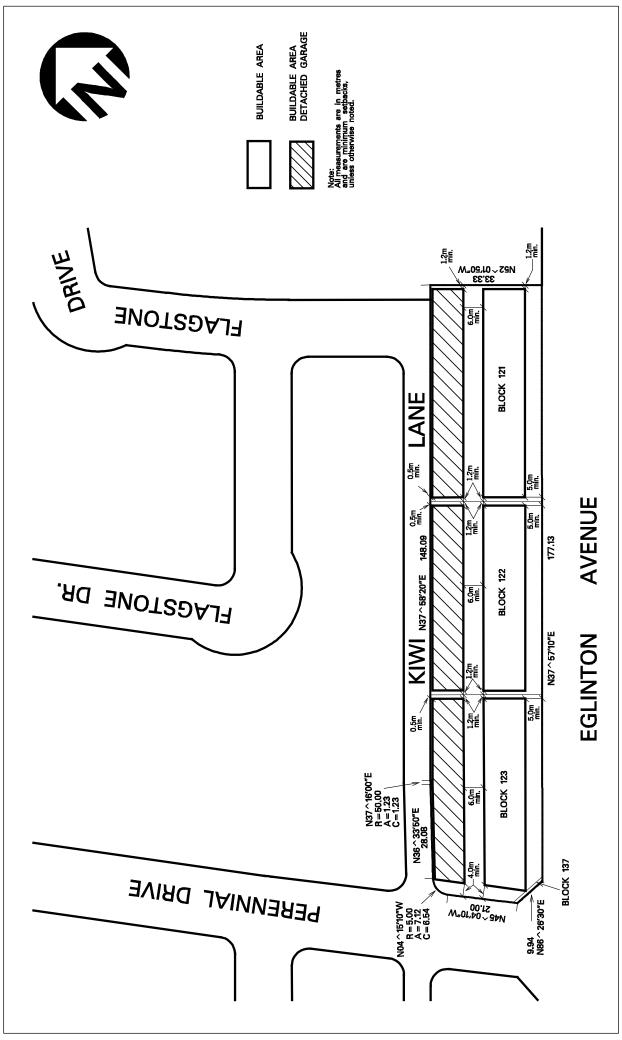
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4.11.2.41	RM5-	41(1), RM5-41(2), 41(3)	Map # 57	Order 2019 I 0111-2019/L 2021 March	
_			M5-41(3) continued from pr	revious page	
4.11.2.41.3 (continued)	(3)	Sentence 4.11.2.41.	of <b>uses</b> permitted in 1 of this Exception, except the ntence 4.11.2.41.2 of this Exce the <b>dwelling unit</b>		1
	(4)	maximum <b>gross flo</b>	or area - non-residential		$65 \text{ m}^2$
	(5)	minimum lot area	- corner lot		$315 \text{ m}^2$
	(6)	minimum lot front	age - corner lot		10.5 m
	(7)	maximum lot cover	rage - detached garage		17%
	(8)	minimum <b>front ya</b> r adjacent the front lo	rd - lots without a municipal soft line	sidewalk	4.0 m
	(9)		side yard - lots without a mu he exterior side lot line	nicipal	4.0 m
	(10)		nment of a <b>porch</b> or <b>balcony</b> i <b>exterior side yards</b>	nto the	2.0 m
	(11)	<b>buildable area</b> idea	ament of a <b>deck</b> beyond the ntified on Schedules RM5-41( is Exception between a <b>street</b> etached <b>garage</b>		2.0 m
	(12)	maximum <b>drivewa</b>	<b>y</b> width		6.1 m
	(13)	<b>buildable area</b> - de	shall be permitted in the etached <b>garage</b> identified on (1) to RM5-41(3) of this Exce	eption	
	(14)	maximum <b>garage</b> we measured from the <b>interior lot</b>	width: inside face of the <b>garage</b> side	walls -	5.5 m
	(15)	maximum garage v measured from the corner lot	vidth: inside face of the <b>garage</b> side	walls -	5.9 m
	(16)	minimum interior s garage located in the	side yard on one side of a det ne rear yard	ached	0.85 m
	(17)	minimum setback of a detached <b>garage</b> to	of all <b>buildings</b> and <b>structure</b> to a <b>sight triangle</b>	s except	0.0 m
	(18)	this Exception, attarear yard of Block identified on Sched	hedules RM5-41(1) to RM5-4 ched <b>garages</b> may be permitted is 122, 125, 132, 133 and 134, ules RM5-41(1) to RM5-41(3) liance with the following:	ed in the	
			m <b>garage</b> width: d from the inside face of the <b>g</b> ls	arage	3.8 m
		(18.2) maximur	m <b>driveway</b> width		4.3 m
		(18.3) minimum	n <b>rear yard</b>		6.0 m
	(19)	from a public lane i	eans the <b>lot line</b> that divides the dentified and named as a "lan (1) to RM5-41(3) of this Exce	e" on	
	(20)	"Front Lot Line" m rear lot line	eans the <b>lot line</b> opposite the		
	(21)	•	t plans shall comply with (1) to RM5-41(3) of this Exce	ption	

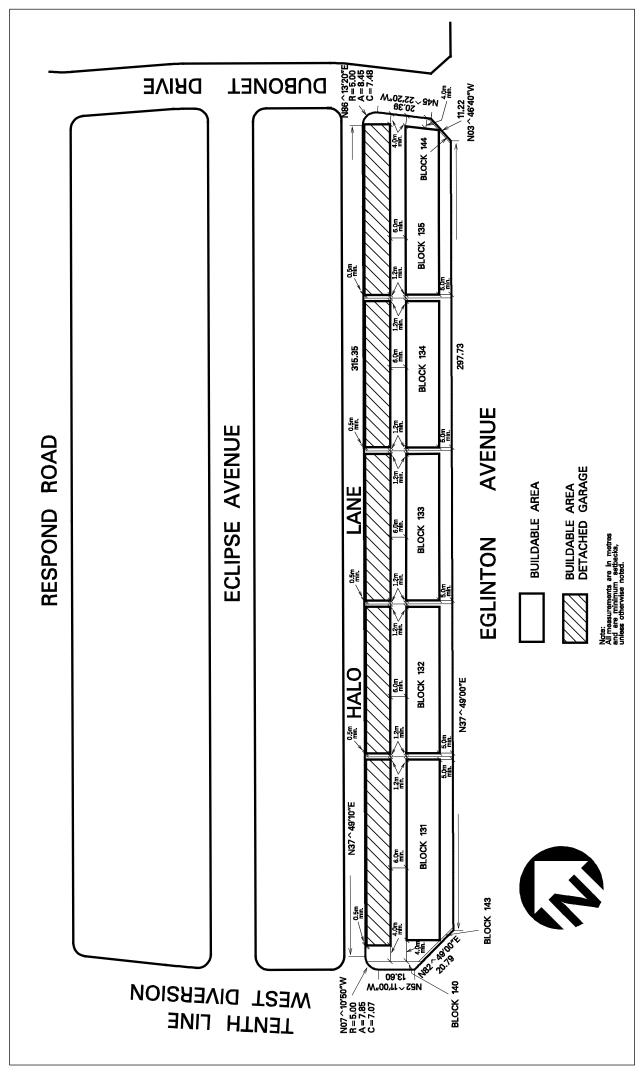
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Schedule RM5-41(1) Map 57



Schedule RM5-41(2) Map 57



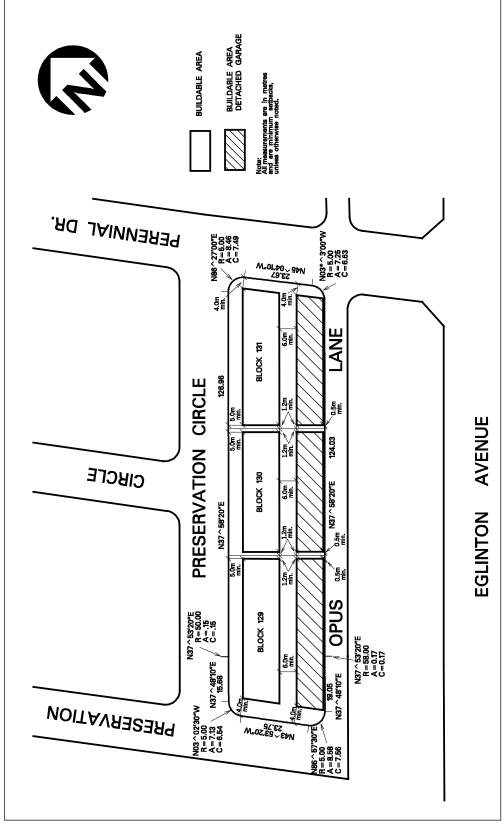
Schedule RM5-41(3) Map 57

4.11.2.42		42(1), RM5-42(2), 42(3), RM5-42(4),	Map # 57	By-law: 0181-20 Order 2019 Febr 0208-2022	
			RM5-42(4) and RM5-42(5) zor for a RM5 zone except that the		
Regulations					
4.11.2.42.1		gulations of Line 11. v shall not apply	0 contained in Table 4.11.1 of	this	
4.11.2.42.2	Minim	um <b>lot area - corne</b> i	r lot	3	15 m <sup>2</sup>
4.11.2.42.3	Minim	um <b>lot frontage - c</b> o	rner lot	1	0.5 m
4.11.2.42.4	Maxin	num <b>lot coverage</b> - d	etached <b>garage</b>		17%
4.11.2.42.5		num <b>front yard - lots</b> nt the front lot line	s without a municipal sidewalk		4.0 m
4.11.2.42.6		um <b>exterior side ya</b> nt the <b>exterior side l</b>	rd - lots without a municipal s ot line	idewalk	4.0 m
4.11.2.42.7		num encroachment of and <b>exterior side ya</b>	f a <b>porch</b> or <b>balcony</b> into the r rds	required	2.0 m
4.11.2.42.8	identif	ied on Schedules RM	f a <b>deck</b> outside the <b>buildable</b> 15-42(1) to RM5-42(5) of this <b>townhouse</b> and a detached <b>ga</b>		2.0 m
4.11.2.42.9	Maxin	num <b>driveway</b> width			6.1 m
4.11.2.42.10	detach		e permitted in the <b>buildable ar</b> on Schedules RM5-42(1) to on	ea -	
4.11.2.42.11			ace of the <b>garage</b> side walls -		5.5 m
4.11.2.42.12			ace of the <b>garage</b> side walls -	:	5.9 m
4.11.2.42.13		um setback from one rear yard to an inter	e side of a detached <b>garage</b> , lo	cated	0.8 m
4.11.2.42.14		um setback of all <b>bu</b> ed <b>garage</b> to a <b>sight</b>	ildings and structures except triangle	a	0.0 m
4.11.2.42.15	Except Block Blocks of this of this	tion, attached garage 130 identified on Scl 3 126, 127, 128 and 1 Exception; Block 12 Exception; and Blocale RM5-42(5) of thi	RM5-42(1) to RM5-42(5) of s may be permitted in the reamedule RM5-42(1) of this Exception 29 identified on Schedule RM5-22 identified on Schedule RM5-22 identified on Schedule RM5-25 and 126 identified on s Exception, in compliance with the reamed series of the	r yard eption; 5-42(3) -42(4)	
	(1)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side		3.8 m
	(2)	maximum <b>drivewa</b>			4.3 m
	(3)	minimum <b>rear yar</b>			6.0 m

Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

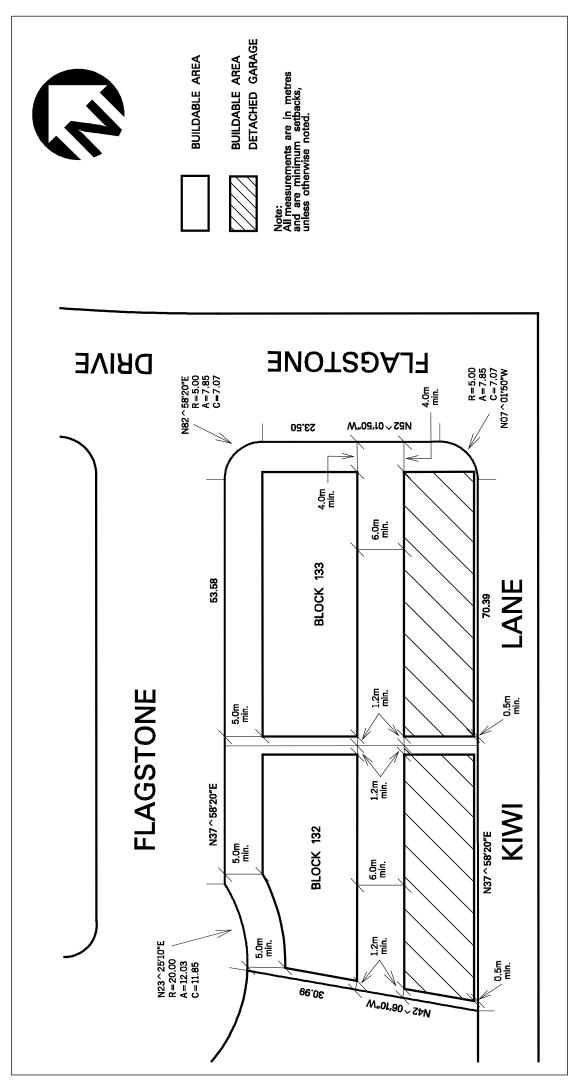
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4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022		
_	Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page				
4.11.2.42.16	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception				
4.11.2.42.17	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line				
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception				

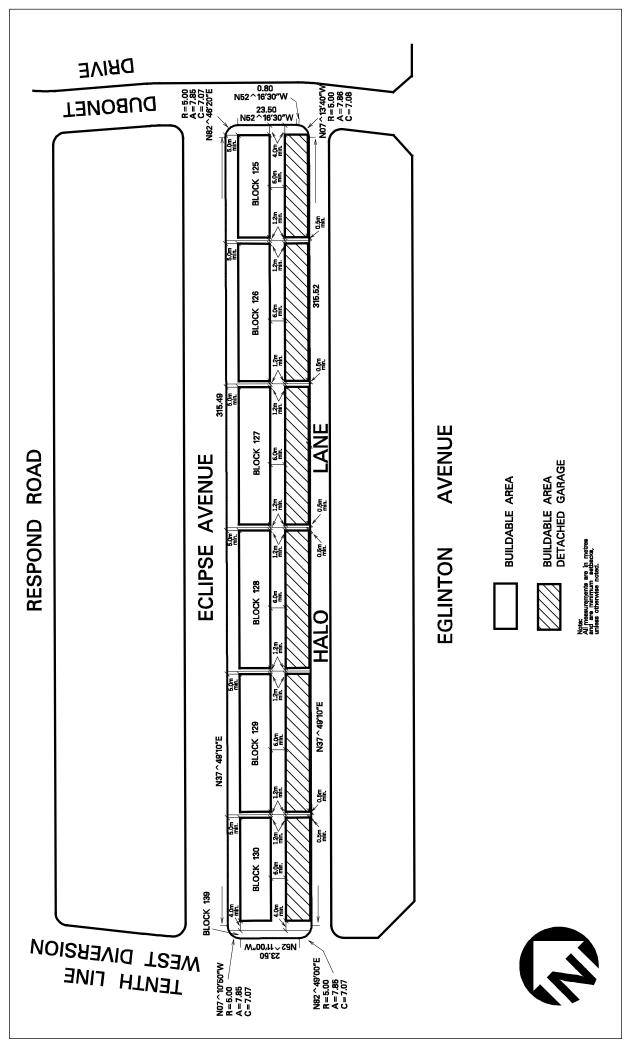


Schedule RM5-42(1)

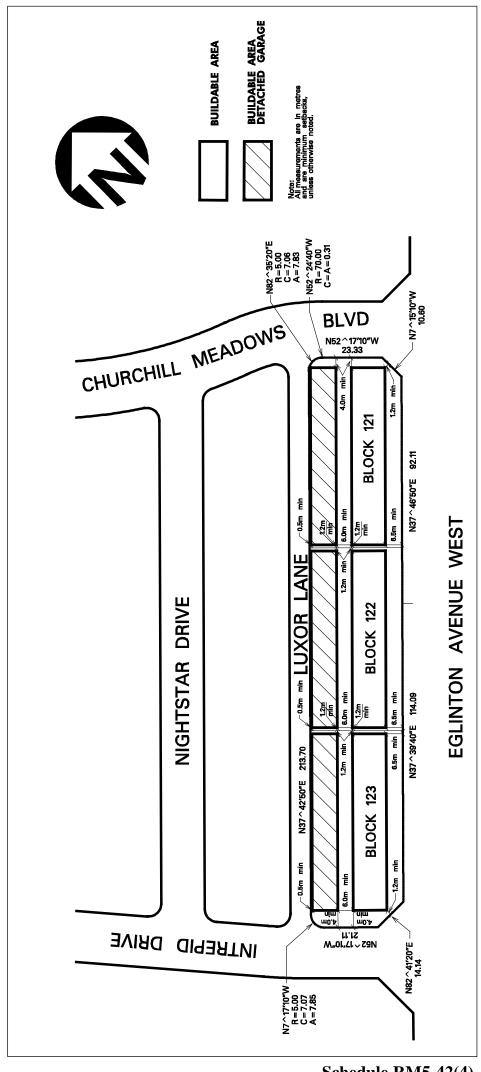
Map 57



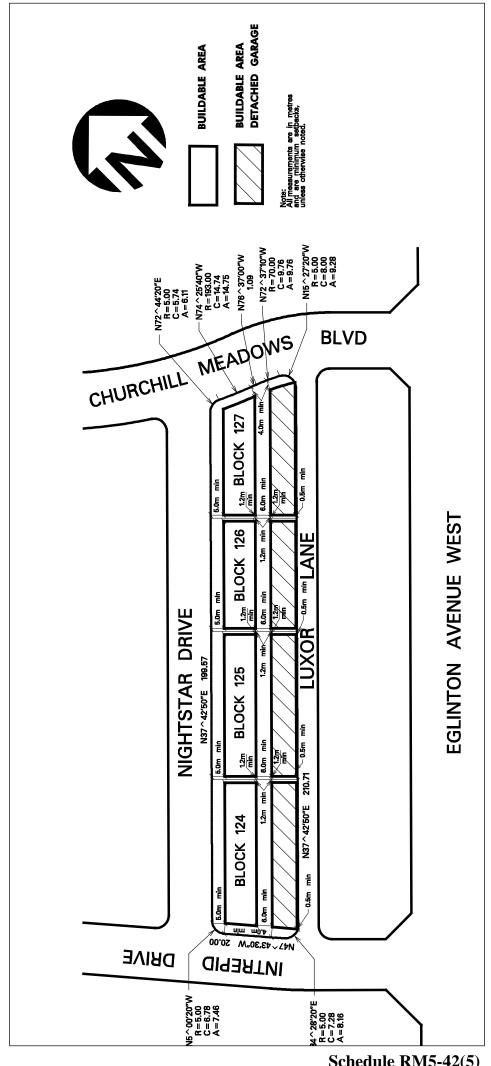
Schedule RM5-42(2) Map 57



Schedule RM5-42(3) Map 57



Schedule RM5-42(4) Map 57



Schedule RM5-42(5) Map 57

4.11.2.43	Excep	otion: RM5-43	Map # 57	By-law: 0174- 0181-2018/LF 2019 February	AT Order
		permitted <b>uses</b> and a ing <b>uses</b> /regulations s	pplicable regulations shall be shall apply:	as specified for	a RM5 zone
Additional P	ermitted	l Use			
4.11.2.43.1	(1)	Semi-Detached			
Regulations					
4.11.2.43.2	Street	t Townhouse:			
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4 l not apply	.11.1	
	(2)	minimum lot area	- interior lot		$183 \text{ m}^2$
	(3)	minimum lot area	- corner lot		$292 \text{ m}^2$
	(4)	minimum lot front	tage - interior lot		6.1 m
	(5)	minimum lot front	tage - corner lot		9.75 m
	(6)	minimum <b>front ya</b> adjacent the <b>front</b>	rd - lots without a municipal a lot line	sidewalk	3.5 m
	(7)		side yard - lots without a mu the exterior side lot line	nicipal	3.5 m
	(8)	minimum setback	to garage face		5.8 m
	(9)	minimum interior	side yard - unattached side -	all <b>lots</b>	1.2 m
	(10)	minimum rear yar	·d		6.0 m
	(11)		hment of a porch or balcony in exterior side yards	into	2.0 m
	(12)		on of a <b>garage</b> beyond either tace or beyond the <b>main entry</b>		2.5 m
	(13)		y feature has been provided, ection of a garage beyond a ace		5.0 m
	(14)	where the <b>garage</b> pentrance, the <b>gara</b>	ouse more than one storey in projects beyond the main from the stall be covered by a second be set back a maximum of 2.5	<b>nt</b> nd	
	(15)	minimum setback	to a <b>sight triangle</b>		0.0 m
	(16)	maximum <b>drivewa</b>	ny width		3.8 m
	(17)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side	e walls	3.8 m

Exception RM5-43 continued on next page

4.11.2.43	Excep	otion: RM5-43	Map # 57	By-law: 01 0181-2018 2019 Febru	/LPAT Order		
Exception R	Exception RM5-43 continued from previous page						
4.11.2.43.3		A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:					
	(1)	the regulations of l this By-law shall n	Line 5.0 contained in Table oot apply	4.8.1 of			
	(2)	minimum <b>front ya</b> adjacent the <b>front</b>	ard - lots without a municipalot line	al sidewalk	3.5 m		
	(3)		side yard - lots without a nather the exterior side lot line	municipal	3.5 m		
	(4)		minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>		4.2 m		
	(5)	minimum setback	to <b>garage face</b>		5.8 m		
	(6)	minimum interior	side yard		1.2 m		
	(7)		hment of a <b>porch</b> or <b>balcon exterior side yard</b>	<b>y</b> into	2.0 m		
	(8)	1 0	on of a <b>garage</b> beyond eithen the control of a garage beyond the main entre		2.5 m		
	(9)		ry feature has been provided ection of a garage beyond a nce		5.0 m		
	(10)	where the <b>garage</b> pentrance, the <b>gara</b>	ed more than one storey in laprojects beyond the main frage shall be covered by a see be set back a maximum of 2 ace	cond			
	(11)	minimum setback	to a <b>sight triangle</b>		0.0 m		
	(12)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> si	ide walls	3.8 m		

4.11.2.44	Excep	tion: RM5-44		By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
		permitted <b>uses</b> and a ing <b>uses</b> /regulations s	pplicable regulations shall be as hall apply:	specified for a RM5 zone
Additional P	ermitted	l Uses		
4.11.2.44.1	(1) (2)	Detached Dwellin Semi-Detached	g	
Regulations				
4.11.2.44.2	Street	Townhouse:		
	(1)	the regulations of I of this By-law shal	Line 11.0 contained in Table 4.1 l not apply	1.1
	(2)	minimum lot area	- interior lot	$183 \text{ m}^2$
	(3)	minimum lot area	- corner lot	$292 \text{ m}^2$
	(4)	minimum lot front	tage - interior lot	6.1 m
	(5)	minimum lot front	minimum lot frontage - corner lot	
	(6)	minimum front ya adjacent the front	rd - lots without a municipal sid lot line	lewalk 3.5 m
	(7)		side yard - lots without a municiple exterior side lot line	cipal 3.5 m
	(8)	minimum setback	to <b>garage face</b>	5.8 m
	(9)	minimum interior	side yard - unattached side	1.2 m
	(10)	minimum <b>rear yar</b>	·d	6.0 m
	(11)	minimum setback t zoned U-3	from a <b>street townhouse</b> to all la	ands 11.6 m
	(12)		hment of a <b>porch</b> or <b>balcony</b> int <b>exterior side yards</b>	o 2.0 m
	(13)		on of a <b>garage</b> beyond either the ace or beyond the <b>main entry fe</b>	
	(14)		y feature has been provided, ection of a garage beyond a ace	5.0 m
	(15)	where the <b>garage</b> pentrance, the <b>gara</b>	ouse more than one storey in he projects beyond the main front age shall be covered by a second be set back a maximum of 2.5 mace	
	(16)	maximum <b>drivew</b> a	ny width - interior lot	4.3 m
	(17)	maximum <b>drivew</b> a	ny width - corner lot	4.7 m
	(18)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side w	3.8 m
	(19)	minimum setback	to a <b>sight triangle</b>	0.0 m

**Exception RM5-44 continued on next page** 

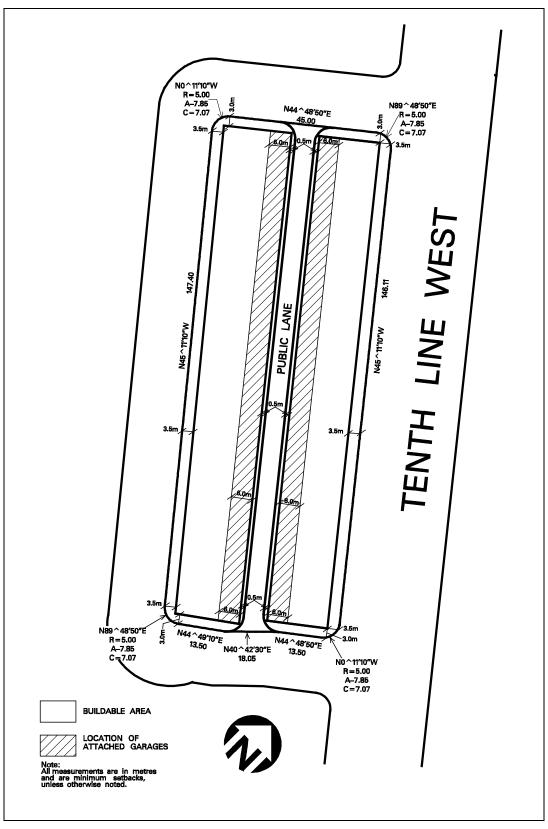
4.11.2.44	Excep	tion: RM5-44	Map # 57	By-law: 0174-2017 0181-2018/LPAT 0 2019 February 15	
Exception R	M5-44 c	ontinued from previ	ous page		
4.11.2.44.3			comply with the R7 zone regulations. I of this By-law except that:	lations	
	(1)	minimum lot area	- interior lot	275	$m^2$
	(2)	minimum lot area	- corner lot	380	$m^2$
	(3)	minimum lot front	age - interior lot	9.75	5 m
	(4)	minimum lot front	age - corner lot	13.5	5 m
	(5)	minimum <b>rear yar</b>	d	7.5	m
	(6)	minimum setback of zoned U-3	of a <b>detached dwelling</b> to all la	ands 11.6	6 m
	(7)	maximum <b>drivewa</b>	y width	6.5	m
	(8)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side	5.5 walls	m
4.11.2.44.4			nply with the RM2 zone regula 3.1 of this By-law except that:	itions	
	(1)	the regulations of I this By-law shall n	Line 5.0 contained in Table 4.8 ot apply	.1 of	
	(2)	minimum <b>front ya</b> adjacent the <b>front</b> l	rd - lots without a municipal s lot line	idewalk 3.5	m
	(3)		side yard - lots without a mur the exterior side lot line	nicipal 3.5	m
	(4)	minimum <b>exterior</b> a right-of-way wid	side yard - lots abutting a streth less than 17.0 m	eet with 1.8	m
	(5)	minimum <b>exterior</b> the <b>exterior side lo</b>	side yard with a 0.3 m reserved time	e along 4.2	m
	(6)	minimum setback t	o garage face	5.8	m
	(7)	minimum setback t	o a sight triangle	0.0	m
	(8)	minimum setback of zoned U-3	of a <b>semi-detached</b> to all lands	11.0	5 m
	(9)		nment of a porch or balcony in exterior side yards	nto a 2.0	m
	(10)		on of a <b>garage</b> beyond either the ce or beyond the main entry f		m
	(11)		y feature has been provided, ection of a garage beyond a ce	5.0	m
	(12)	where the <b>garage</b> pentrance, the <b>gara</b>	ed more than one storey in height orojects beyond the main front ge shall be covered by a second be set back a maximum of 2.5 ce	t d	
	(13)	maximum <b>drivew</b> a	y width - interior lot	4.3	m
	(14)	maximum <b>drivew</b> a	y width - corner lot	4.7	m
	(15)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> side	3.8 walls	m

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
	cone the permitted <b>uses</b> and appendix following <b>uses</b> /regulations sl	pplicable regulations shall be hall apply:	as specified for a RM5 zone
Regulations			
4.11.2.45.1	The provisions contained in regulations of Line 11.0 cor By-law shall not apply	Subsection 2.1.14 and the ntained in Table 4.11.1 of this	
4.11.2.45.2	Minimum lot area - interio	or lot	$170 \text{ m}^2$
4.11.2.45.3	Minimum lot area - corner	· lot	235 m <sup>2</sup>
4.11.2.45.4	Minimum lot frontage - in	terior lot	7.5 m
4.11.2.45.5	Minimum lot frontage - co	rner lot	10.5 m
4.11.2.45.6	Minimum setback of all <b>bu</b> detached <b>garage</b> to a <b>sight</b>	ildings and structures except triangle	t a 0.0 m
4.11.2.45.7	Minimum height		8.5 m
4.11.2.45.8	Minimum height - street to	ownhouse with an unattached	side 8.0 m
4.11.2.45.9	buildable area identified of into the front and/or exterior	orch or balcony outside the n Schedule RM5-45 of this Exor side yard provided that the all not exceed 50% of the wid	e width
4.11.2.45.10		awning outside the <b>buildable</b> 5-45 of this Exception into the	
4.11.2.45.11		awning outside the <b>buildable</b> 5-45 of this Exception into the	
4.11.2.45.12		vindow projection, with or <b>ney</b> , pilaster or corbel outside n Schedule RM5-45 of this Ex	
4.11.2.45.13	Maximum area of a <b>deck</b> in Schedule RM5-45 of this E	n the <b>buildable area</b> identified xception	d on 10 m <sup>2</sup>
4.11.2.45.14	Maximum garage width: measured from the inside fa interior lot	ace of the <b>garage</b> side walls -	5.5 m
4.11.2.45.15	Maximum <b>garage</b> width: measured from the inside factorner lot	ace of the <b>garage</b> side walls -	5.9 m
4.11.2.45.16	above:	d garage with no habitable regrade to the highest point of	
4.11.2.45.17	above:	d garage with habitable room	
	measured from established	grade to the highest point of	the roof
4.11.2.45.18	Minimum interior side yar	d on one side of an attached	garage 0.85 m
4.11.2.45.19	Maximum <b>driveway</b> width		6.5 m

**Exception RM5-45 continued on next page** 

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4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0208-2022
Exception RM	15-45 continued from previ	ous page	
4.11.2.45.20	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception		
4.11.2.45.21	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.45.22	All site development plans shall comply with Schedule RM5-45 of this Exception		



**Schedule RM5-45** Map 57

4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
	zone the permitted <b>uses</b> and a e following <b>uses</b> /regulations s		all be as specified for a RM5 zone
Regulations			
4.11.2.46.1	The regulations of Line 11 By-law shall not apply	.0 contained in Table 4.1	11.1 of this
4.11.2.46.2	Minimum lot area - interi	or lot	$170 \text{ m}^2$
4.11.2.46.3	Minimum lot area - corne	r lot	$235 \text{ m}^2$
4.11.2.46.4	Minimum lot frontage - in	terior lot	5.4 m
4.11.2.46.5	Minimum lot frontage - co	orner lot	10.5 m
4.11.2.46.6	Minimum front yard - lot adjacent the front lot line	without a municipal sid	ewalk 3.5 m
4.11.2.46.7	Minimum exterior side ya	rd	3.5 m
4.11.2.46.8	Minimum rear yard		7.0 m
4.11.2.46.9	Maximum encroachment o front and exterior side ya		to the required 2.0 m
4.11.2.46.10	Maximum encroachment o front yard	f an awning into the req	uired 0.6 m
4.11.2.46.11	Maximum encroachment o exterior side yard	f an awning into the req	uired 0.3 m
4.11.2.46.12	Maximum projection of a gentrance or beyond the ma		
4.11.2.46.13	Where a main entry featu projection of a garage beyon		
4.11.2.46.14	For a <b>street townhouse</b> me the <b>garage</b> projects beyond minimum of 60% of the wi a second <b>storey</b> which may from the <b>garage face</b>	the <b>main front entran</b> dth of the <b>garage</b> shall	ce, a be covered by
4.11.2.46.15	Minimum setback to a sigh	nt triangle	0.0 m
4.11.2.46.16	Maximum <b>driveway</b> width	- interior lot	3.8 m
4.11.2.46.17	Maximum <b>driveway</b> width	- corner lot	4.2 m
4.11.2.46.18	Maximum <b>garage</b> width: measured from the inside f	ace of the <b>garage</b> side w	yalls

4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15		
	In a RM5-47 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations					
4.11.2.47.1	4.11.2.47.1 The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply				
4.11.2.47.2	Minimum lot area - interio	155 m <sup>2</sup>			
4.11.2.47.3	Minimum lot frontage - int	6.0 m			
4.11.2.47.4	Minimum front yard	3.2 m			
4.11.2.47.5	Minimum front yard - gara	2.2 m			
4.11.2.47.6	Minimum interior side yar	<b>d</b> - unattached side	1.3 m		
4.11.2.47.7	Maximum height		13.0 m		
4.11.2.47.8	Maximum gross floor area -	residential	$295 \text{ m}^2$		
4.11.2.47.9	Maximum <b>driveway</b> width	5.72 m			
4.11.2.47.10	each storey of a building al	ntial" means the sum of the are bove <b>established grade</b> meas walls but shall not include an <b>stor vehicle</b> parking	ured		

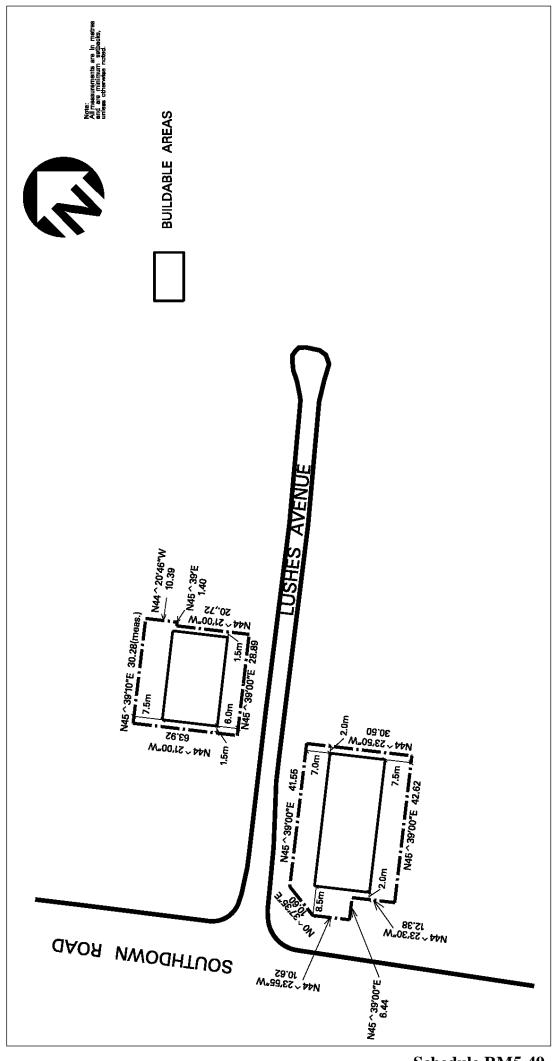
4.11.2.48	Excep	otion: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPA7 Order 2019 February 15		
	In a RM5-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Additional P	ermitte	d Uses				
4.11.2.48.1	(1) (2)	Detached Dwelling Semi-Detached	g			
Regulations						
4.11.2.48.2	A detached dwelling shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:					
	(1)		maximum number of detached <b>dwelling units</b> permitted within 185.0 m of Thomas Street			
	(2)	minimum setback of Boulevard	minimum setback of a <b>lot</b> to Winston Churchill 108.0 m Boulevard			
	(3)	minimum lot area	- interior lot	$275 \text{ m}^2$		
	(4)	minimum lot front	tage - interior lot	9.75 m		
	(5)	minimum lot front	age - corner lot	13.0 m		
	(6)	maximum <b>drivewa</b>	ny width	6.5 m		
	(7)	maximum <b>garage</b> measured from the	width: inside face of the <b>garage</b> sid	5.5 m le walls		
	(8)	on top of an attache	naximum area of 10 m <sup>2</sup> is per ed <b>garage</b> provided that the <b>b</b> ore than 1.0 m beyond the <b>ga</b>	oalcony		

Exception RM5-48 continued on next page

4.11.2.48	Excep	otion: RM5-48	Map # 57	By-law: 0455 0174-2017, 0 Order 2019 F	0181-2018/LPAT
Exception R	M5-48 c	ontinued from previ	ous page		
4.11.2.48.3			nply with the RM2 zone regularies. I of this By-law except that:	ations	
	(1)	0	ines 5.0 and 11.0 contained in By-law shall not apply	1	
	(2)	minimum <b>front ya</b> sidewalk adjacent t	rd - lots without a municipal he front lot line		3.5 m
	(3)	minimum setback t	o garage face		5.8 m
	(4)		side yard - lots without a adjacent the exterior side lot	line	3.5 m
	(5)	minimum <b>exterior</b> a right-of-way widt	side yard - lots abutting a str th less than 17.0 m	eet with	1.8 m
	(6)	minimum <b>exterior</b> reserve along the <b>e</b> x	side yard - corner lots with a xterior lot line	a 0.3 m	4.2 m
	(7)	minimum rear yar	d		7.0 m
	(8)		nment of a <b>porch</b> or <b>balcony</b> i <b>exterior side yards</b>	nto	2.0 m
	(9)	1 0	on of a <b>garage</b> beyond either the ce or beyond the <b>main entry</b> to		2.5 m
	(10)		y feature has been provided, to on of a garage beyond a main		5.0 m
	(11)	where the <b>garage</b> pentrance, a minimum measured from the <b>garage</b> shall be cov	d more than one storey in heiprojects beyond the main from am of 75% of the width of the inside face of the garage wall wered by a second storey which mum of 2.5 m from the garage	garage, s, the h may	
	(12)	minimum setback t	o a <b>sight triangle</b>		0.0 m
	(13)	maximum <b>drivewa</b>	y width - interior lot		4.3 m
	(14)	maximum <b>drivewa</b>	y width - corner lot		4.7 m
	(15)	maximum <b>garage</b> we measured from the	width: inside face of the <b>garage</b> side	walls	3.8 m
	(16)	on top of an attache	aximum area of 10 m <sup>2</sup> is permed <b>garage</b> provided that the <b>ba</b> ore than 1.0 m beyond the <b>gar</b>	alcony	

4.11.2.49	Exception: RM5-49	Map # 03	0410-200	0281-2008, 8, 0181-2018/LPAT 19 February 15, 2
	cone the permitted <b>uses</b> and a following <b>uses</b> /regulations s	pplicable regulations shall be hall apply:	as specified	l for a RM5 zone
Regulations				
4.11.2.49.1	Minimum lot area - interio	or lot		188 m <sup>2</sup>
4.11.2.49.2	Minimum lot frontage - in	terior lot		6.3 m
4.11.2.49.3	Maximum gross floor area	a - residential	1	.16 times the <b>lot area</b>
4.11.2.49.4	located at and accessible frefirst storey into the require	f a <b>porch</b> or <b>deck</b> inclusive of om the <b>first storey</b> or below the ed <b>front</b> and <b>exterior side yar</b> identified on Schedule RM5-4	he ds	1.6 m
4.11.2.49.5	pilaster or corbel, window three risers into the require	f an awning, window, <b>chimne</b> well, and stairs with a maximud <b>front</b> and <b>exterior side yard</b> identified on Schedule RM5-4	ım of ds	0.61 m
4.11.2.49.6	located at and accessible frefirst storey, or awning into	f a <b>porch</b> or <b>deck</b> inclusive of om the <b>first storey</b> or below to the required <b>rear yard</b> outsion Schedule RM5-49 of this Expression of the required rear yard outside the statement of the s	he le the	5.0 m
4.11.2.49.7	the setback to the <b>interior</b>	e requiring a 0.0 m interior side lot line from a porch or of the in the rear yard, shall also be	leck	
4.11.2.49.8		f a <b>balcony</b> into the required <b>f</b> outside the <b>buildable area</b> id s Exception		1.0 m
4.11.2.49.9	air conditioning equipment stairs with a maximum of the	f a window, <b>chimney</b> , heating, pilaster or corbel, window whree risers into the required <b>re</b> identified on Schedule RM5-4	ell, and ar yard	1.0 m
4.11.2.49.10	All site development plans of this Exception	shall comply with Schedule R	M5-49	

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**Schedule RM5-49** Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008		
	In a RM5-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations					
4.11.2.50.1	The regulations of Line 11. By-law shall not apply	0 contained in Table 4.11.1 or	f this		
4.11.2.50.2	Minimum lot area - interio	Minimum <b>lot area - interior lot</b> 145 m <sup>2</sup>			
4.11.2.50.3	Minimum <b>lot area - corner lot</b> 255 m <sup>2</sup>				
4.11.2.50.4	Minimum lot frontage - interior lot 6.0 m				
4.11.2.50.5	Minimum lot frontage - co	rner lot	10.5 m		
4.11.2.50.6	Minimum rear yard		6.0 m		
4.11.2.50.7	Maximum encroachment of required <b>front yard</b> or <b>exte</b>	a <b>porch</b> or a <b>balcony</b> into the rior side yard	e 2.0 m		
4.11.2.50.8	Maximum <b>height</b>		11.0 m		
4.11.2.50.9	Maximum <b>driveway</b> width		3.0 m		
4.11.2.50.10	Maximum area of a balcon	y on top of an attached garag	e 6 m <sup>2</sup>		

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0188-20	0389-2009, 10		
	In a RM5-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations						
4.11.2.51.1	Minimum lot area - interio	or lot		$195 \text{ m}^2$		
4.11.2.51.2	Minimum lot area - corner	·lot		$384 \text{ m}^2$		
4.11.2.51.3	Minimum lot frontage - corner lot			13.6 m		
4.11.2.51.4	Minimum exterior side yard			7.2 m		
4.11.2.51.5	Minimum interior side yard - unattached side			1.2 m		
4.11.2.51.6	Maximum gross floor area	- residential		1.37 times the <b>lot area</b>		
4.11.2.51.7	accessible from the first sto	Ta porch or a deck, located at orey or below the first storey, into a required front yard		2.0 m		
4.11.2.51.8	Maximum encroachment of a balcony into a required rear yard			2.5 m		
4.11.2.51.9	Maximum <b>driveway</b> width			3.75 m		
4.11.2.51.10	Maximum garage door wid	th		3.0 m		

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4.11.2.52	Exception: RM5-52	Map # 15	By-law 0188-20	: 0389-2009, 010	
In a RM5-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations					
4.11.2.52.1	Minimum lot area - interio	or lot		$250 \text{ m}^2$	
4.11.2.52.2	Minimum lot frontage - in	terior lot		7.5 m	
4.11.2.52.3	Minimum <b>interior side yard</b> - unattached side abutting a R1-7 zone			3.0 m	
4.11.2.52.4	Maximum gross floor area	- residential		1.08 times the <b>lot area</b>	
4.11.2.52.5	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>			2.0 m	
4.11.2.52.6	Maximum encroachment of	f a <b>balcony</b> into a requir	ed <b>rear yard</b>	2.5 m	
4.11.2.52.7	Maximum <b>driveway</b> width			3.75 m	
4.11.2.52.8	Maximum garage door wid	lth		3.0 m	
4.11.2.52.9	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>			3.0	
4.11.2.52.10	Tandem parking is permitte	ed within a garage			
4.11.2.52.11	A <b>hammerhead</b> shall be pergreater than or equal to 7.5		lot frontage		

			Г	
4.11.2.53	Excep	tion: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Additional Pe	ermitted	Use		
4.11.2.53.1	(1)	Semi-Detached		
Regulations				
4.11.2.53.2	Street	Townhouse:		
	(1)	minimum lot area	- interior lot	$162 \text{ m}^2$
	(2)	minimum lot area	- corner lot	$255 \text{ m}^2$
	(3)	minimum lot front	age - interior lot	6.0 m
	(4)	minimum lot front	age - corner lot	9.5 m
	(5)	minimum exterior	side yard	4.0 m
	(6)	minimum interior	side yard - unattached side	0.91 m
	(7)	maximum <b>height</b>		11.0 m
	(8)	maximum <b>gross flo</b>	oor area - residential	1.2 times the <b>lot area</b>
	(9)	maximum encroach required <b>front yard</b>	nment of a <b>porch</b> or <b>balcony</b> in	ato the 2.0 m
	(10)	_	exceeding 0.61 m in <b>height</b> about the rear when the rear	

**Exception RM5-53 continued on next page** 

4.11.2.53	Excep	tion: RM5-53	Map # 36W	Order 20 2014 No 0174-20	0088-2013/OMB 013 November 18/ ovember 11, 17, 0181-2018/LPAT 019 February 15	
Exception RN	Exception RM5-53 continued from previous page					
4.11.2.53.2 (continued)	(11)		Article 4.1.5.7 of this By-law ch or deck 0.61 m or less in be point			
	(12)	a <b>balcony</b> shall not dwelling	project from the rear wall of	a		
4.11.2.53.3			uply with the RM2 zone regul .1 of this By-law except that:			
	(1)	minimum lot area -	interior lot		$162 \text{ m}^2$	
	(2)	minimum lot fronta	age - interior lot		6.0 m	
	(3)	maximum lot cover	maximum lot coverage		48%	
	(4)	minimum exterior side yard		4.0 m		
	(5)	maximum <b>height</b>		11.0 m		
	(6)	maximum gross flo	maximum gross floor area - residential		1.2 times the <b>lot area</b>	
	(7)	maximum encroach required <b>front yard</b>	ment of a <b>porch</b> or <b>balcony</b> i	into the	2.0 m	
	(8)	a <b>porch</b> or a <b>deck</b> , exceeding 0.61 m in <b>height</b> above grade at any point, shall not project from the rear wall of a dwelling				
	(9)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point				
	(10)	a <b>balcony</b> shall not dwelling	project from the rear wall of	a		
	(11)	minimum <b>interior</b> s	side yard		0.9 m	

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012 0181-2018/LPAT C 2019 February 15			
	In a RM5-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
4.11.2.54.1	Minimum lot area - interio	r lot	183	$m^2$		
4.11.2.54.2	Minimum lot area - corner	lot	292	$m^2$		
4.11.2.54.3	Minimum lot frontage - interior lot			m		
4.11.2.54.4	Minimum lot frontage - corner lot			m		
4.11.2.54.5 Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>			3.5	m		
4.11.2.54.6	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>			m		
4.11.2.54.7	Minimum interior side yard - unattached side			m		
4.11.2.54.8	Minimum rear yard			m		
4.11.2.54.9	Minimum setback to garage	e face	5.8	m		

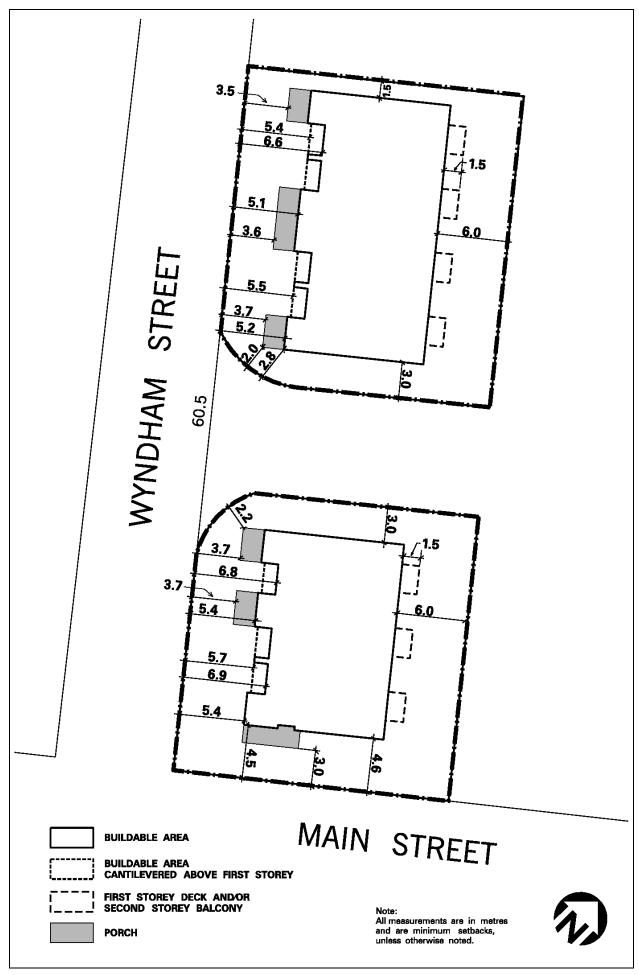
Exception RM5-54 continued on next page

4.11.2.54	Exception: RM5-54	Map # 57	0181-20	0055-2012, 18/LPAT Order bruary 15
Exception RN	M5-54 continued from previo	ous page		
4.11.2.54.10	Maximum gross floor area	- residential		1.0 times the <b>lot area</b>
4.11.2.54.11	Maximum encroachment of <b>front</b> and <b>exterior side yar</b>	a <b>porch</b> or <b>balcony</b> into the <b>ds</b>	required	2.0 m
4.11.2.54.12	Minimum setback of stairs to lot lines	from the <b>front</b> and <b>exterior</b> s	side	1.0 m
4.11.2.54.13	Maximum projection of a <b>garage</b> beyond either the <b>main front</b> entrance or beyond the <b>main entry feature</b> , where provided			2.5 m
4.11.2.54.14	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m			5.0 m
4.11.2.54.15	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>			
4.11.2.54.16	Maximum <b>driveway</b> width - <b>interior lot</b> 4.3 m			4.3 m
4.11.2.54.17	Maximum driveway width - corner lot			4.7 m
4.11.2.54.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls			3.8 m
4.11.2.54.19	Minimum setback to a sight	t triangle		0.0 m

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15			
	In a RM5-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:  Regulations					
4.11.2.55.1	Minimum lot area - interio	or lot	191 m <sup>2</sup>			
4.11.2.55.2	Minimum lot frontage - in	7.8 m				
4.11.2.55.3	Minimum front yard	6.2 m				
4.11.2.55.4	Minimum setback to the ga	rage face	6.5 m			
4.11.2.55.5	Minimum <b>interior side yar</b> other than RM5-55	any zone 3.0 m				
4.11.2.55.6	Maximum gross floor area	ı - residential	1.15 times the <b>lot are</b>			

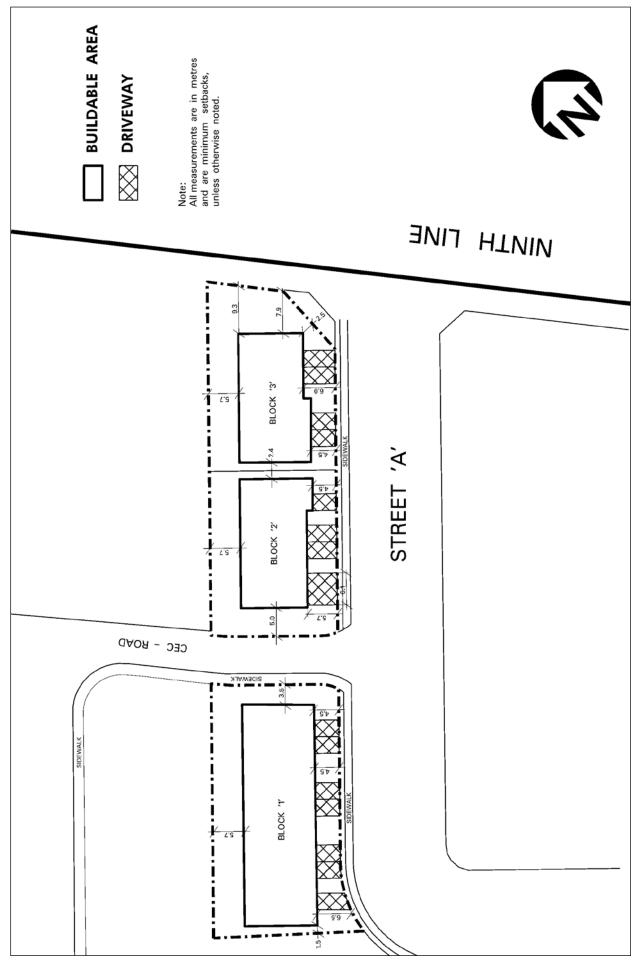
4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018		
	In a RM5-56 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations					
4.11.2.56.1	Minimum lot area - interio	or lot	135 m <sup>2</sup>		
4.11.2.56.2	Minimum lot frontage - int	terior lot	6.4 m		
4.11.2.56.3	Minimum rear yard		7.0 m		
4.11.2.56.4	Maximum gross floor area	- residential	175 m <sup>2</sup>		
4.11.2.56.5	Maximum encroachment of front yard	a <b>porch</b> or stairs into a requir	red 1.0 m		
4.11.2.56.6	Maximum encroachment of	a <b>balcony</b> into a required <b>rea</b>	r yard 2.5 m		

4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021, 0050-2022			
	In a RM5-57 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations						
4.11.2.57.1	4.11.2.57.1 The provisions of Subsection 2.1.14 and the regulation of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply					
4.11.2.57.2	Minimum lot area - interio	or lot	$127 \text{ m}^2$			
4.11.2.57.3	Minimum lot area - corner	· lot	$195 \text{ m}^2$			
4.11.2.57.4	Minimum lot frontage - in	terior lot	5.4 m			
4.11.2.57.5	Minimum lot frontage - co	8.5 m				
4.11.2.57.6	Notwithstanding Sentence 4 maximum encroachment of	0.7 m				
4.11.2.57.7	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of stairs attached to a <b>deck</b> located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into a required <b>rear yard</b>					
4.11.2.57.8	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of a third <b>storey balcony</b> into a required <b>rear yard</b>					
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required <b>rear yard</b>					
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception					



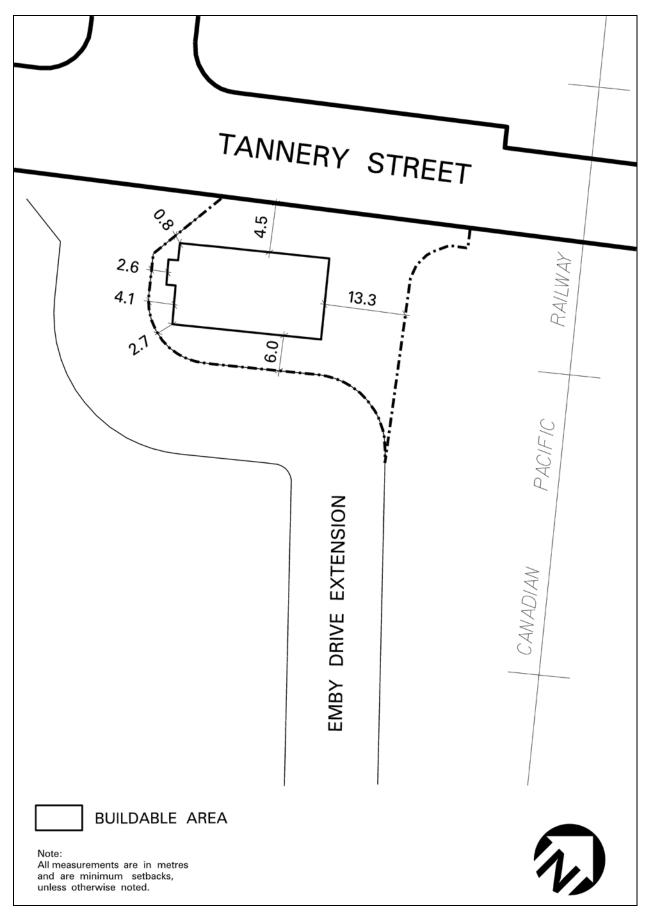
Schedule RM5-57 Map 38W

4.11.2.58	Exception: RM5-58	Iap # 57	By-law: 0209-2021	
In a RM5-58 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations				
4.11.2.58.1	The provisions contained in A shall not apply	rticle 4.1.5.9 of this By-law		
4.11.2.58.2	Minimum lot area - interior l	lot	$145 \text{ m}^2$	
4.11.2.58.3	Minimum lot area - corner lo	ot	$240 \text{ m}^2$	
4.11.2.58.4	Minimum lot frontage - inter	ior lot	6.0 m	
4.11.2.58.5	Notwithstanding Sentence 4.1 minimum <b>front yard</b> - <b>garage</b>	•	6.0 m	
4.11.2.58.6	Maximum <b>height</b>		15.0 m and 3 storeys	
4.11.2.58.7	Maximum gross floor area - 1	residential	1.5 times the <b>lot area</b>	
4.11.2.58.8	Notwithstanding Sentence 4.1 maximum encroachment of a required <b>front yard</b>		1.5 m	
4.11.2.58.9	Notwithstanding Sentence 4.1 maximum encroachment of a prequired exterior side yard for	porch inclusive of stairs into	1.5 m	
4.11.2.58.10	Notwithstanding Sentence 4.1 maximum encroachment of a stairs into the required <b>rear ya</b>	first storey porch inclusive	2.5 m	
4.11.2.58.11	Notwithstanding Sentence 4.1 maximum encroachment of a required <b>front yard</b>		1.5 m	
4.11.2.58.12	Notwithstanding Sentence 4.1 maximum encroachment of a required <b>rear yard</b>		2.5 m	
4.11.2.58.13	Notwithstanding Sentence 4.1 maximum area of a second sto		6 m <sup>2</sup>	
4.11.2.58.14	Notwithstanding Sentence 4.1 maximum encroachment of a first storey that is not more thand/or doors covering a miniminto a required yard	building projection above the tan 3.0 m wide with window	rs	
4.11.2.58.15	Notwithstanding Sentence 4.1 maximum encroachment of ea		0.61 m	
4.11.2.58.16	External heating, air condition be located in a <b>yard</b> , other that closer than 0.1 m to any <b>lot lin</b>	n the <b>front yard</b> provided it		
4.11.2.58.17	All site development plans sha of this Exception	all comply with Schedule RM	M5-58	



**Schedule RM5-58** Map 57

4.11.2.59	Exception: RM5-59	Map # 39E	By-law: 0259-2021/ OLT Order 2023 March 03		
In a RM5-59 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:					
Regulations					
4.11.2.59.1	The regulations of Lines 11.0 of this By-law shall not apply	0 and 12.3 contained in Table y	4.11.1		
4.11.2.59.2	Minimum lot area - interior	· lot	$110 \text{ m}^2$		
4.11.2.59.3	Minimum lot area - corner	lot	165 m <sup>2</sup>		
4.11.2.59.4	Minimum lot frontage - inte	erior/corner lot	4.7 m		
4.11.2.59.5	Maximum height		11.5 m and 3 storeys		
4.11.2.59.6	For the purpose of this Excep street townhouse shall be m	ption, the <b>height</b> of a neasured from <b>established gr</b>	ade		
4.11.2.59.7	Minimum landscaped area		15% of the <b>lot area</b>		
4.11.2.59.8	Notwithstanding Sentence 4. maximum encroachment of a exclusive of stairs into a requ		1.6 m		
4.11.2.59.9		11.2.59.12 of this Exception, <b>lcony</b> , awning or <b>deck</b> , exclur of a <b>townhouse</b>			
4.11.2.59.10		area of 10 m <sup>2</sup> is permitted on d that the <b>balcony</b> does not pr <b>garage face</b>			
4.11.2.59.11	Maximum <b>driveway</b> width		3.0 m		
4.11.2.59.12	All site development plans sl of this Exception	hall comply with Schedule R	M5-59		
Holding Provi	ision				
	part of the lands zoned H-RM Map 39E of Schedule B cont	be removed from the whole of M5-59 by further amendment tained in Part 13 of this By-late of the following requirements	to w, as		
	form and on terms sa City of Mississauga ("Region"), including items but not limited of the required crash Pacific Railway ("Chabutting lands, land of municipal infrastruct submission of a risk any proposed risk ma	ted Development Agreement atisfactory to The Corporation ("City") and the Region of Perg provisions related to the foll to: detailed design and constant wall/berm abutting the Canaparameter detailed design; assessment including the detainagement measures, which rethe Transportation and Work	n of the seel clowing ruction dian age of d mils of must be		
	Department for any laconfirmation that the Condition(s) have be Environment, Consersubmission of all supto the satisfaction of Department;  (4) confirmation from Confirmation	lands being dedicated to the Ce required Record(s) of Site ten filed with the Ministry of rvation and Parks, and the oporting environmental report the Transportation and Work CPR that final grading and draw and certification from CPR lting engineer that the ultimation of the required crash wall	city;  ss ss inage and/or te		

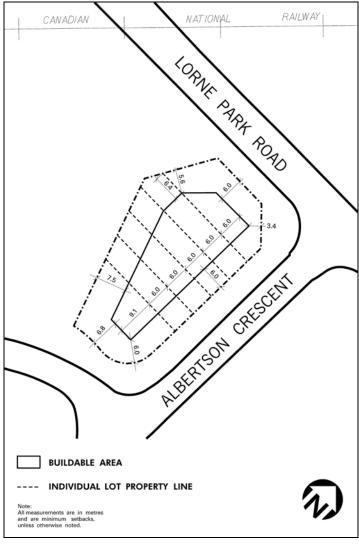


**Schedule RM5-59** Map 39E

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0 0208-202	0261-2021, 22	
	In a RM5-60 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:				
Regulations					
4.11.2.60.1		.1.8.1 and the regulations of Li f this By-law shall not apply	ne 11.0		
4.11.2.60.2	Maximum number of <b>dwel</b>	<b>ling units</b> on all lands zoned R	M5-60	6	
4.11.2.60.3	Minimum lot area - interio	or lot		$143 \text{ m}^2$	
4.11.2.60.4	Minimum lot area - corne	r lot		$250 \text{ m}^2$	
4.11.2.60.5	Minimum lot frontage - in	terior lot/corner lot		6.0 m	
4.11.2.60.6	The <b>lot line</b> abutting Albertson Crescent shall be deemed to be the <b>front lot line</b>				
4.11.2.60.7	Maximum height			9.6 m and 3 storeys	
4.11.2.60.8	•	4.11.2.60.13 of this Exception, a <b>porch</b> inclusive of stairs into	o a	3.8 m	
4.11.2.60.9	maximum encroachment of	4.11.2.60.13 of this Exception, a window, <b>chimney</b> , heating a window well, and stairs with to a required <b>yard</b>		1.0 m	
4.11.2.60.10		4.11.2.60.13 of this Exception, a <b>balcony</b> into a required <b>rea</b>	r yard	3.0 m	
4.11.2.60.11	Maximum area of a balcon buildable area identified of	y permitted outside the on Schedule RM5-60 of this Ex	ception	5 m <sup>2</sup>	
4.11.2.60.12	Maximum <b>driveway</b> width			3.6 m	

**Exception RM5-60 continued on next page** 

4.11.2.60	Except	tion: RM5-60	Map # 09	By-law: 0261-2021, 0208-2022			
Exception RM	Exception RM5-60 continued from previous page						
4.11.2.60.13		All site development plans shall comply with Schedule RM5-60 of this Exception					
Holding Prov	ision						
	The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-60 by further amendment to Map 09 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:  (1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga; (2) satisfactory arrangements with Metrolinx, Transportation and Works Department and Planning and Building Department regarding the design of the required crash/acoustical wall, including the submission of an updated Noise Feasibility and Vibration Study; (3) satisfactory arrangements with the Transportation and Works Department with respect to on site stormwater management; (4) satisfactory arrangements with the Transportation and Works Department and Community Services Department with respect to any land dedications;						
	(5)		d grading and site servicing to the Transportation and				



**Schedule RM5-60** Map 09