

4.9	RM3 ZONE (SEMI-DETACHED ON A CEC - ROAD)
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4.9.1 RM3 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and regulations specified within the applicable zone column contained in Table 4.9.1 - RM3 Permitted Uses and Zone Regulations.

Table 4.9.1 - RM3 Permitted Uses and Zone Regulations

Column A		B
Line 1.0	ZONES	RM3
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Semi-detached on a CEC - road <i>(0174-2017), (0181-2018/LPAT Order 2019 February 15)</i>	✓ ⁽¹⁾
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	160 m ²
3.2	CEC - Corner lot <i>(0144-2016)</i>	230 m ²
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	CEC - Corner lot <i>(0144-2016)</i>	9.8 m
5.0	MAXIMUM LOT COVERAGE	45%
6.0	MINIMUM FRONT YARD	
6.1	Interior lot/CEC - corner lot <i>(0144-2016)</i>	4.5 m ⁽²⁾
6.2	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk <i>(0379-2009), (0181-2018/LPAT Order 2019 February 15)</i>	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	
7.1	Lot with an exterior side lot line abutting a street	4.5 m ⁽²⁾
7.2	Lot with an exterior side lot line abutting a CEC - road <i>(0181-2018/LPAT Order 2019 February 15)</i>	4.5 m ⁽²⁾
7.3	Lot with an exterior side lot line abutting a CEC - sidewalk	3.3 m ⁽²⁾
7.4	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk <i>(0379-2009), (0181-2018/LPAT Order 2019 February 15)</i>	6.0 m
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Attached side	0.0 m
8.2	Unattached side	0.9 m ⁽²⁾
8.3	Where interior side lot line is the rear lot line of an abutting parcel	2.5 m ⁽²⁾
9.0	MINIMUM REAR YARD	
9.1	Interior lot/CEC - corner lot <i>(0144-2016)</i>	7.5 m ⁽²⁾
10.0	MAXIMUM HEIGHT	10.7 m

Table 4.9.1 continued on next page

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Column A		B
Line 1.0	ZONES	RM3
Table 4.9.1 continued from previous page		
11.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS	
11.1	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards (0325-2008)	1.5 m ⁽²⁾
11.2	Maximum encroachment of an awning, window, chimney , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required front and exterior side yards (0325-2008)	0.6 m ⁽²⁾
11.3	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard (0325-2008)	5.0 m ⁽²⁾
11.4	For a lot with a semi-detached requiring a 0.0 m interior side yard , the setback to the interior side yard lot line from a porch or deck inclusive of stairs permitted in the rear yard , shall also be 0.0 m (0174-2017)	✓
11.5	Maximum encroachment of a balcony , window, chimney , pilaster or corbel, window well, and stairs with a maximum of three risers, into the required rear yard (0325-2008), (0379-2009)	1.0 m ⁽²⁾
11.6	Minimum setback of a semi-detached to a CEC - visitor parking space . (0325-2008), (0174-2017)	3.3 m
11.7	Minimum setback of a semi-detached to a CEC - amenity area (0174-2017)	1.5 m
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached garage	Required ⁽³⁾
12.2	<i>deleted by 0379-2009</i>	
12.3	Minimum parking spaces	✓ ⁽⁴⁾
12.4	Minimum visitor parking spaces	✓ ⁽⁴⁾ ⁽⁵⁾
12.5	Maximum driveway width	4.3 m ⁽⁶⁾
13.0	CEC - ROAD, AISLES AND SIDEWALKS (0190-2014), (0181-2018/LPAT Order 2019 February 15)	
13.1	Minimum width of a CEC - road (0181-2018/LPAT Order 2019 February 15)	7.0 m ⁽⁷⁾
13.2	Minimum width of a CEC - road with an abutting parallel common visitor parking space (0181-2018/LPAT Order 2019 February 15)	6.0 m ⁽⁷⁾
13.3	CEC - roads and aisles are permitted to be shared with abutting lands with the same Base Zone and/or Exception Zone (0181-2018/LPAT Order 2019 February 15)	✓
13.4	Minimum width of a sidewalk (0190-2014)	2.0 m
14.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁸⁾

- NOTES:**
- (1) **Common elements** are permitted within a common element condominium corporation. (0297-2013)
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) See also Subsection 4.1.12 of this By-law.
 - (4) See also Part 3 of this By-law.
 - (5) See also Article 4.1.14.1 of this By-law.
 - (6) See also Article 4.1.9.1 of this By-law.
 - (7) See Article 4.1.14.2 of this By-law.
 - (8) See Subsection 4.1.2 of this By-law.

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4.9.2 RM3 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.9.2.1	Exception: RM3-1	Map # 37W	By-law: 0079-2013, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM3-1 zone the permitted uses and applicable regulations shall be as specified for a RM3 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.9.2.1.1	(1)	Semi-Detached	
Regulations			
4.9.2.1.2	A semi-detached and a semi-detached on a CEC - road shall comply with the RM3 zone regulations contained in Subsection 4.9.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	6.3 m
	(2)	minimum lot frontage - corner lot	9.3 m
	(3)	maximum lot coverage	52%

4.9.2.2	Exception: RM3-2	Map # 06	By-law: 0210-2015, 0181-2018/LPAT Order 2019 February 15
In a RM3-2 zone the applicable regulations shall be as specified for a RM3 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.9.2.2.1	Lands zoned RM3-2 shall only be used for the following:		
	(1)	Detached dwelling on a CEC - road	
Regulations			
4.9.2.2.2	A detached dwelling shall comply with the RM3 zone regulations contained in Subsection 4.9.1 of this By-law		
4.9.2.2.3	Minimum width of a sidewalk		1.2 m

4.9.2.3	Exception: RM3-3	Map # 06	By-law: 0209-2015, 0210-2015
In a RM3-3 zone the permitted uses and applicable regulations shall be as specified for a RM3 zone except that the following uses/regulations shall apply:			
Regulation			
4.9.2.3.1	Minimum width of a sidewalk		1.2 m

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4.9.2.4	Exception: RM3-4	Map # 56	By-law: 0082-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM3-4 zone the permitted uses and applicable regulations shall be as specified for a RM3 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.9.2.4.1	(1)	Detached dwellings on a CEC - road	
Regulations			
4.9.2.4.2		Minimum rear yard for semi-detached on CEC - corner lot	6.5 m
4.9.2.4.3		Minimum setback of a dwelling unit to a CEC - visitor parking space	2.8 m
4.9.2.4.4		Minimum setback of a dwelling unit to a CEC - amenity area	1.2 m
4.9.2.4.5		Minimum number of CEC - visitor parking spaces to be provided within the common element area	2
4.9.2.4.6		Maximum driveway width for semi-detached	5.2 m
4.9.2.4.7		Maximum driveway width for detached dwellings	5.6 m

4.9.2.5	Exception: RM3-5	Map # 26	By-law: LPAT Order 2018 May 22, 0181-2018/LPAT Order 2019 February 15
In a RM3-5 zone the permitted uses and applicable regulations shall be as specified for a RM3 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.9.2.5.1	(1)	Semi-Detached	
Regulations			
4.9.2.5.2		A semi-detached and a semi-detached on a CEC - road shall comply with the RM3 zone regulations contained in Subsection 4.9.1 of this By-law except that:	
	(1)	maximum number of dwelling units	20
	(2)	minimum lot area - interior lot	145 m ²
	(3)	minimum lot area - CEC - corner lot	190 m ²
	(4)	maximum lot coverage	55%
	(5)	maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards outside the buildable area identified on Schedule RM3-5 of this Exception	1.8 m
	(6)	maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required rear yard outside the buildable area identified on Schedule RM3-5 of this Exception	1.5 m
	(7)	minimum number of visitor parking spaces per dwelling unit	0.2
	(8)	total number of required accessible parking spaces	0
	(9)	all site development plans shall comply with Schedule RM3-5 of this Exception	

Exception RM3-5 continued on next page

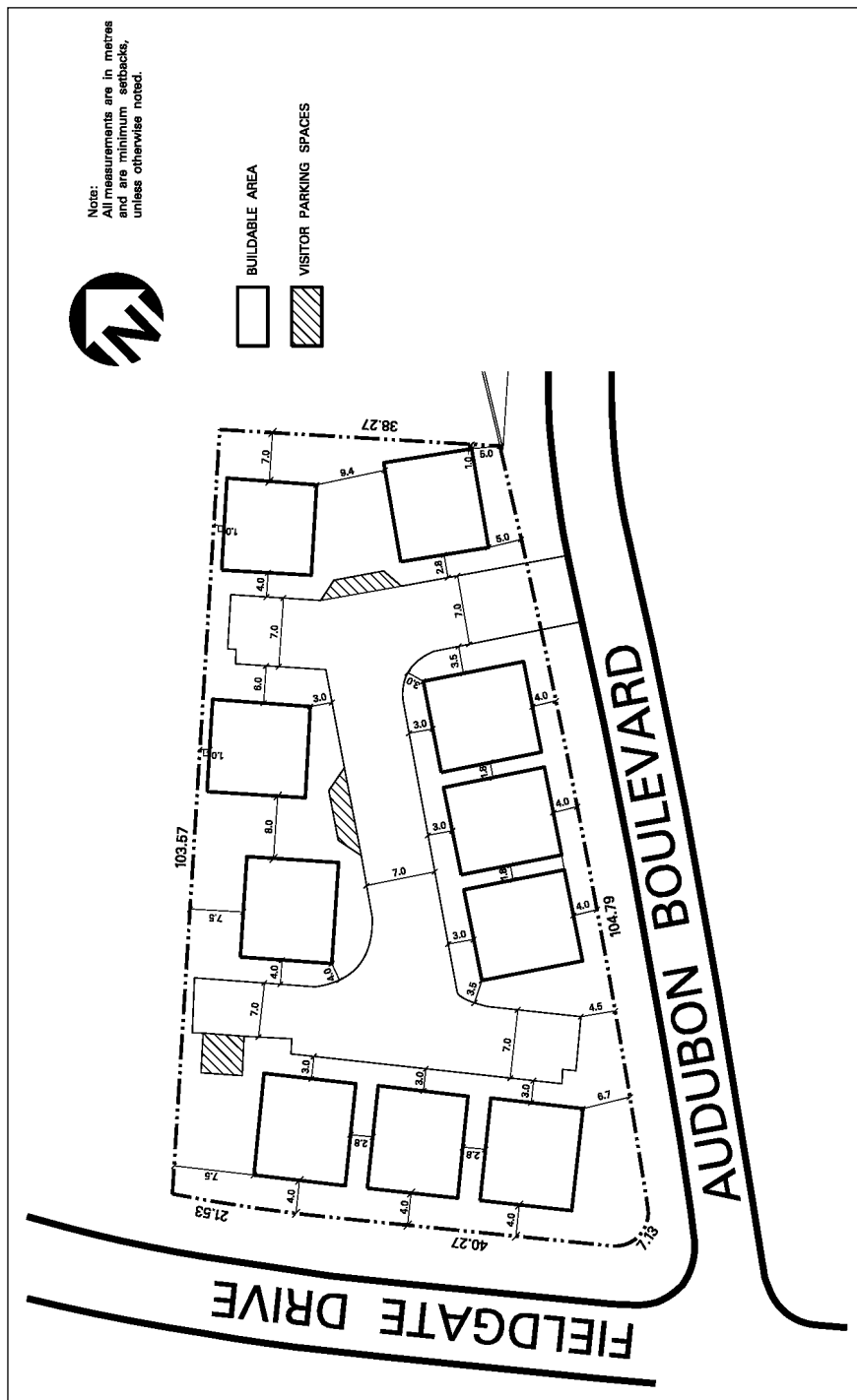
4.9.2.5	Exception: RM3-5	Map # 26	By-law: LPAT Order 2018 May 22, 0181-2018/LPAT Order 2019 February 15
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Exception RM3-5 continued from previous page

Section 37 Public Benefits Contribution

Pursuant to section 37(3) of the *Planning Act*, R.S.O. 1990, c.P13, as amended, the density of development provided by this Exception shall be permitted where:

- (1) the owner of the lands zoned RM3-5 enters into an agreement with The Corporation of the City of Mississauga (the City) for the provision of certain facilities, services or matters in return for the increased density of the development;
- (2) the agreement is registered on title to the lands zoned RM3-5;
- (3) the owner pays to the City the sum of \$60,000.00 to be used toward neighbourhood signage and general improvements to Bough Beeches Park.



Schedule RM3-5
Map 26

