

**4.15 RA1 to RA5 ZONES (APARTMENTS)**

**4.15.1 RA1 to RA5 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.15.1 - RA1 to RA5 Permitted Uses and Zone Regulations.

**Table 4.15.1 - RA1 to RA5 Permitted Uses and Zone Regulations**

Column	A	B	C	D	E	F
Line 1.0	ZONES	RA1	RA2	RA3	RA4	RA5
<b>PERMITTED USES</b>						
2.0	RESIDENTIAL					
2.1	Apartment (0174-2017)	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>
2.2	Long-Term Care Building (0174-2017)	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>
2.3	Retirement Building (0174-2017)	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>	✓ <sup>(1)</sup>
<b>ZONE REGULATIONS</b>						
3.0	MINIMUM LOT FRONTAGE	30.0 m				
4.0	MINIMUM FLOOR SPACE INDEX - APARTMENT ZONE (0174-2017)	0.4	0.5	0.5	1.0	1.9
5.0	MAXIMUM FLOOR SPACE INDEX - APARTMENT ZONE (0174-2017)	0.9	1.0	1.0	1.8	2.9
6.0	MAXIMUM GROSS FLOOR AREA - APARTMENT ZONE PER STOREY FOR EACH STOREY ABOVE 12 STOREYS (0174-2017)	n/a	n/a	n/a	1 000 m <sup>2</sup>	1 000 m <sup>2</sup>
7.0	MAXIMUM HEIGHT (0308-2011)	13.0 m <sup>(2)</sup> and 4 storeys	26.0 m <sup>(2)</sup> and 8 storeys	38.0 m <sup>(2)</sup> and 12 storeys	56.0 m <sup>(2)</sup> and 18 storeys	77.0 m <sup>(2)</sup> and 25 storeys
8.0	MINIMUM FRONT AND EXTERIOR SIDE YARDS					
8.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0 m	7.5 m <sup>(3)</sup>				
8.2	For that portion of the dwelling with a <b>height</b> greater than 13.0 m and less than or equal to 20.0 m	8.5 m <sup>(3)</sup>				
8.3	For that portion of the dwelling with a <b>height</b> greater than 20.0 m and less than or equal to 26.0 m	9.5 m <sup>(3)</sup>				
8.4	For that portion of the dwelling with a <b>height</b> greater than 26.0 m	10.5 m <sup>(3)</sup>				

Table 4.15.1 continued on next page

**Part 4 - Residential Zones**

Column	A	B	C	D	E	F
Line 1.0	ZONES	RA1	RA2	RA3	RA4	RA5
<b>Table 4.15.1 continued from previous page</b>						
<b>9.0</b>	<b>MINIMUM INTERIOR SIDE YARD</b>					
9.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0 m			4.5 m <sup>(3)</sup>		
9.2	For that portion of the dwelling with a <b>height</b> greater than 13.0 m and less than or equal to 20.0 m			6.0 m <sup>(3)</sup>		
9.3	For that portion of the dwelling with a <b>height</b> greater than 20.0 m and less than or equal to 26.0 m			7.5 m <sup>(3)</sup>		
9.4	For that portion of the dwelling with a <b>height</b> greater than 26.0 m			9.0 m <sup>(3)</sup>		
9.5	Where an <b>interior side lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof			4.5 m <sup>(3)</sup>		
9.6	Where an <b>interior lot line</b> , or any portion thereof, abuts a zone permitting <b>detached and/or semi-detached</b> (0174-2017)			7.5 m plus 1.0 m for each additional 1.0 m of dwelling <b>height</b> , or portion thereof, exceeding 10.0 m to a maximum setback requirement of 25.5 m <sup>(3)</sup>		
<b>10.0</b>	<b>MINIMUM REAR YARD</b>					
10.1	For that portion of the dwelling with a <b>height</b> less than or equal to 13.0 m			7.5 m <sup>(3)</sup>		
10.2	For that portion of the dwelling with a <b>height</b> greater than 13.0 m and less than or equal to 20.0 m			10.0 m <sup>(3)</sup>		
10.3	For that portion of the dwelling with a <b>height</b> greater than 20.0 m and less than or equal to 26.0 m			12.5 m <sup>(3)</sup>		
10.4	For that portion of the dwelling with a <b>height</b> greater than 26.0 m			15.0 m <sup>(3)</sup>		
10.5	Where a <b>rear lot line</b> , or any portion thereof, abuts an Apartment, Institutional, Office, Commercial, Employment, or Utility Zone, or any combination of zones thereof			4.5 m <sup>(3)</sup>		
10.6	Where a <b>rear lot line</b> , or any portion thereof, abuts a zone permitting <b>detached and/or semi-detached</b> (0174-2017)			7.5 m plus 1.0 m for each additional 1.0 m of dwelling <b>height</b> , or portion thereof, exceeding 10.0 m to a maximum setback requirement of 25.5 m <sup>(3)</sup>		

**Table 4.15.1 continued on next page**

**Part 4 - Residential Zones**

Column	A	B	C	D	E	F
Line 1.0	ZONES	RA1	RA2	RA3	RA4	RA5
<b>Table 4.15.1 continued from previous page</b>						
<b>11.0</b>	<b>ENCROACHMENTS AND PROJECTIONS</b>					
<del>11.1</del>	<del>deleted by 0174-2017</del>					
11.1	Maximum encroachment of a <b>balcony</b> located above the <b>first storey</b> , sunroom, window, <b>chimney</b> , pilaster, cornice, balustrade or roof eaves into a required <b>yard</b> (0325-2008), (0174-2017)			1.0 m		
11.2	Maximum encroachment into a required <b>yard</b> of a <b>porch, balcony</b> located on the <b>first storey</b> , staircase, landing or awning, provided that each shall have a maximum width of 6.0 m (0174-2017)			1.8 m		
11.3	Maximum projection of a <b>balcony</b> located above the <b>first storey</b> measured from the outermost face or faces of the <b>building</b> from which the <b>balcony</b> projects (0174-2017)			1.0 m		
<b>12.0</b>	<b>MINIMUM ABOVE GRADE SEPARATION BETWEEN BUILDINGS</b>					
12.1	For that portion of dwelling with a <b>height</b> less than or equal to 13.0 m			3.0 m		
12.2	For that portion of dwelling with a <b>height</b> greater than 13.0 m and less than or equal to 20.0 m			9.0 m		
12.3	For that portion of dwelling with a <b>height</b> greater than 20.0 m and less than or equal to 26.0 m			12.0 m		
12.4	For that portion of dwelling with a <b>height</b> greater than 26.0 m			15.0 m		
<b>13.0</b>	<b>PARKING, LOADING, SERVICING AREA AND PARKING STRUCTURES</b>					
13.1	Minimum <b>parking spaces</b>			✓ <sup>(4)</sup>		
13.2	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to a <b>street line</b>			4.5 m		
13.3	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to any other <b>lot line</b>			3.0 m		
13.4	Minimum setback from a <b>parking structure</b> above or partially above finished grade to any <b>lot line</b>			7.5 m		
13.5	Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b>			3.0 m		
13.6	Minimum setback from a waste enclosure/loading area to a <b>street line</b>			10.0 m		

Table 4.15.1 continued on next page

**Part 4 - Residential Zones**

Column	A	B	C	D	E	F
Line 1.0	ZONES	RA1	RA2	RA3	RA4	RA5
<b>Table 4.15.1 continued from previous page</b>						
13.7	Minimum setback from a waste enclosure/loading area to a zone permitting <b>detached</b> and/or <b>semi-detached</b> (0174-2017)			10.0 m		
<b>14.0</b>	<b>CONDOMINIUM ROADS AND AISLES</b> (0181-2018/LPAT Order 2019 February 15)					
14.1	<b>Condominium roads and aisles</b> are permitted to be shared with abutting lands zoned to permit <b>back to back</b> and <b>stacked townhouses, townhouses</b> or <b>apartments</b> , or any combination thereof (0174-2017), (0181-2018/LPAT Order 2019 February 15)			✓		
<b>15.0</b>	<b>MINIMUM LANDSCAPED AREA, LANDSCAPED BUFFER AND AMENITY AREA</b>					
15.1	Minimum <b>landscaped area</b>			40% of the <b>lot area</b>		
15.2	Minimum depth of a <b>landscaped buffer</b> abutting a <b>lot line</b> that is a <b>street line</b> and/or abutting lands with an Open Space, Greenlands and/or a Residential Zone with the exception of an <b>Apartment Zone</b> (0174-2017)			4.5 m <sup>(6)</sup>		
15.3	Minimum depth of a <b>landscaped buffer</b> along any other <b>lot line</b>			3.0 m <sup>(5)(6)</sup>		
15.4	Minimum <b>amenity area</b>			The greater of 5.6 m <sup>2</sup> per <b>dwelling unit</b> or 10% of the site area		
15.5	Minimum percentage of total required <b>amenity area</b> to be provided in one contiguous area			50%		
15.6	Minimum <b>amenity area</b> to be provided outside at grade			55.0 m <sup>2</sup>		
<b>16.0</b>	<b>ACCESSORY BUILDINGS AND STRUCTURES</b>			✓ <sup>(7)</sup>		

- NOTES:**
- (1) See also Articles 4.1.15.1 and 4.1.15.2 of this By-law.
  - (2) See also Article 4.1.15.3 of this By-law.
  - (3) See also Subsection 4.1.7 and 4.1.8 of this By-law.
  - (4) See Part 3 of this By-law.
  - (5) See also Article 4.1.15.4 of this By-law.
  - (6) See also Subsection 2.1.25 of this By-law.
  - (7) See Subsection 4.1.2 of this By-law.

**Part 4 - Residential Zones**

**4.15.2 RA1 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.15.2.1	Exception: RA1-1	Map # 06, 11, 14, 16, 17, 20, 21, 23, 27, 28, 48E, 56	By-law: OMB Order 2008 August 29, 0174-2017
In a RA1-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.1.1	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.2.1.2	Maximum <b>floor space index - apartment zone</b>		1.0
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RA1-1 by further amendment to Map 20 of Schedule B contained in Part 13 of this By-law, upon satisfaction of the following requirement:</p> <p>(1) that notice of <b>Council's</b> intention to pass a by-law to remove the holding symbol from the subject lands is provided in accordance with the provisions of Section 36 of the <i>Planning Act</i>, as amended.</p>			

4.15.2.2	Exception: RA1-2	Map # 08, 17	By-law: 0174-2017
In a RA1-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.2.1	Minimum <b>floor space index - apartment zone</b>		0.7
4.15.2.2.2	Maximum <b>floor space index - apartment zone</b>		1.0

4.15.2.3	Exception: RA1-3	Map #	By-law: 0174-2017
In a RA1-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.3.1	Minimum <b>floor space index - apartment zone</b>		0.8
4.15.2.3.2	Maximum <b>floor space index - apartment zone</b>		1.4

4.15.2.4	Exception: RA1-4	Map # 08, 23, 26, 38W, 39E	By-law: 0174-2017
In a RA1-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.4.1	Minimum <b>floor space index - apartment zone</b>		1.0
4.15.2.4.2	Maximum <b>floor space index - apartment zone</b>		1.5

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4.15.2.5	Exception: RA1-5	Map # 14	By-law: 0174-2017
In a RA1-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.5.1	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.2.5.2	Maximum <b>floor space index - apartment zone</b>		1.5

4.15.2.6	Exception: RA1-6	Map # 08, 38W	By-law: 0174-2017, 0174-2018
In a RA1-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.6.1	Minimum <b>floor space index - apartment zone</b>		1.0
4.15.2.6.2	Maximum <b>floor space index - apartment zone</b>		1.8

4.15.2.7	Exception: RA1-7	Map #	By-law: 0174-2017
In a RA1-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.7.1	Minimum <b>floor space index - apartment zone</b>		1.0
4.15.2.7.2	Maximum <b>floor space index - apartment zone</b>		2.1

4.15.2.8	Exception: RA1-8	Map #	By-law: 0174-2017
In a RA1-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.8.1	Minimum <b>floor space index - apartment zone</b>		1.5
4.15.2.8.2	Maximum <b>floor space index - apartment zone</b>		2.0

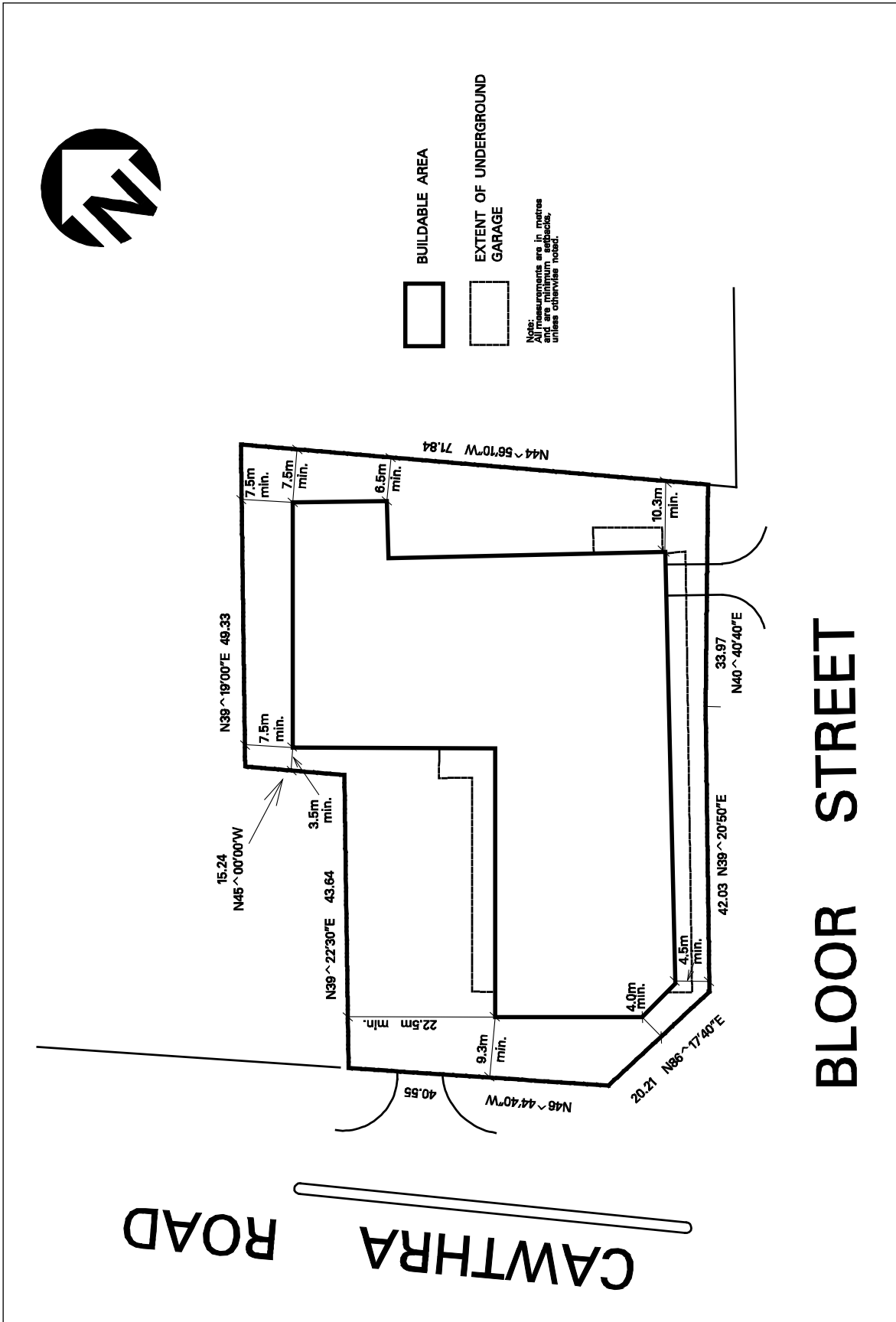
4.15.2.9	Exception: RA1-9	Map #	By-law: 0174-2017
In a RA1-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.9.1	Minimum <b>floor space index - apartment zone</b>		1.5
4.15.2.9.2	Maximum <b>floor space index - apartment zone</b>		2.9

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4.15.2.10	Exception: RA1-10	Map #	By-law: 0174-2017
In a RA1-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.10.1	Minimum <b>floor space index - apartment zone</b>		1.9
4.15.2.10.2	Maximum <b>floor space index - apartment zone</b>		2.9

4.15.2.11	Exception: RA1-11	Map #	By-law: 0174-2017, <i>deleted by 0031-2018</i>

4.15.2.12	Exception: RA1-12	Map # 20	By-law: 0174-2017
In a RA1-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.12.1	Maximum number of <b>dwelling units</b>		85
4.15.2.12.2	Minimum <b>floor space index - apartment zone</b>		1.20
4.15.2.12.3	Maximum <b>floor space index - apartment zone</b>		1.65
4.15.2.12.4	Maximum <b>height</b>		11.9 m
4.15.2.12.5	All site development plans shall comply with Schedule RA1-12 of this Exception		

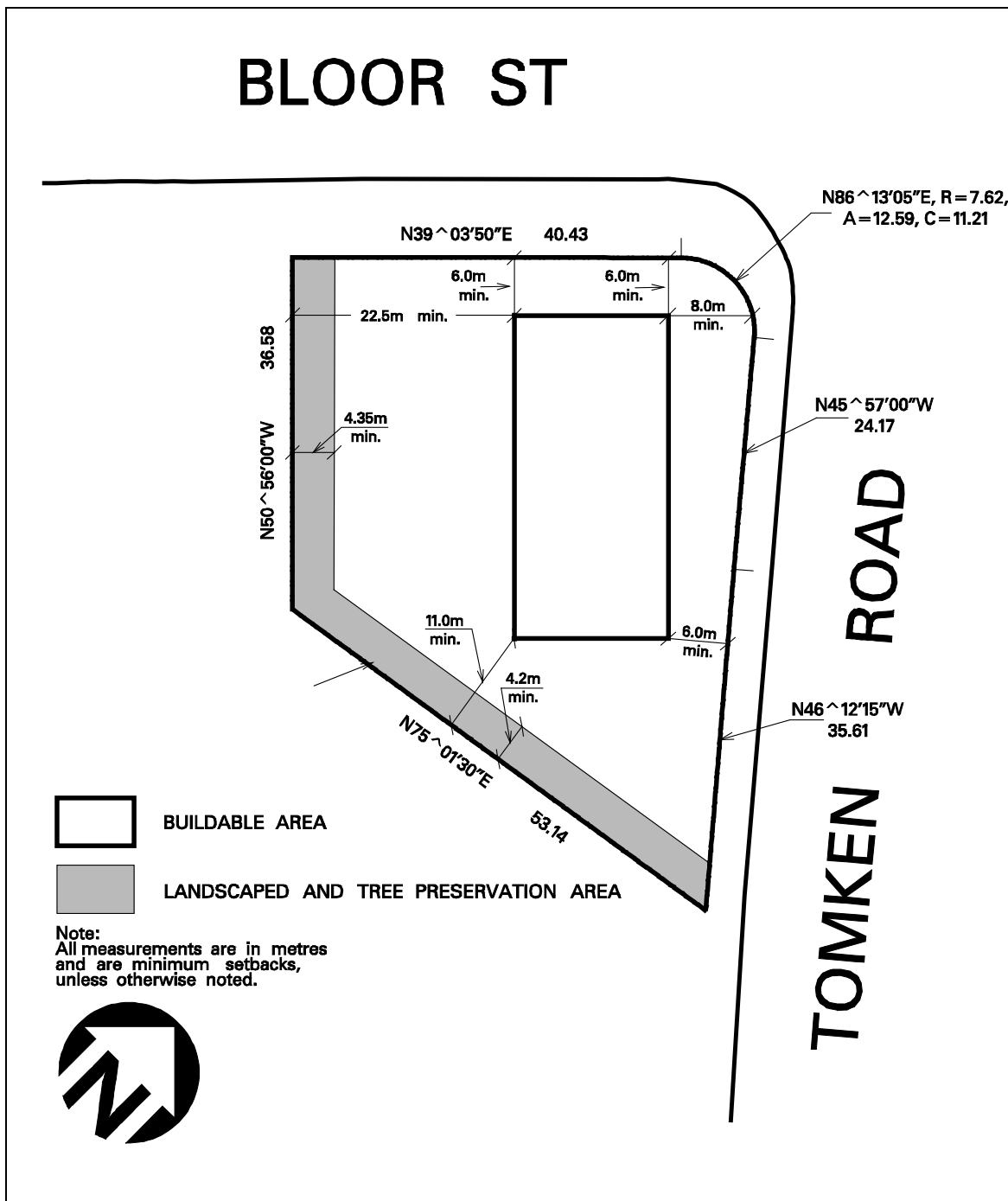


Schedule RA1-12  
Map 20



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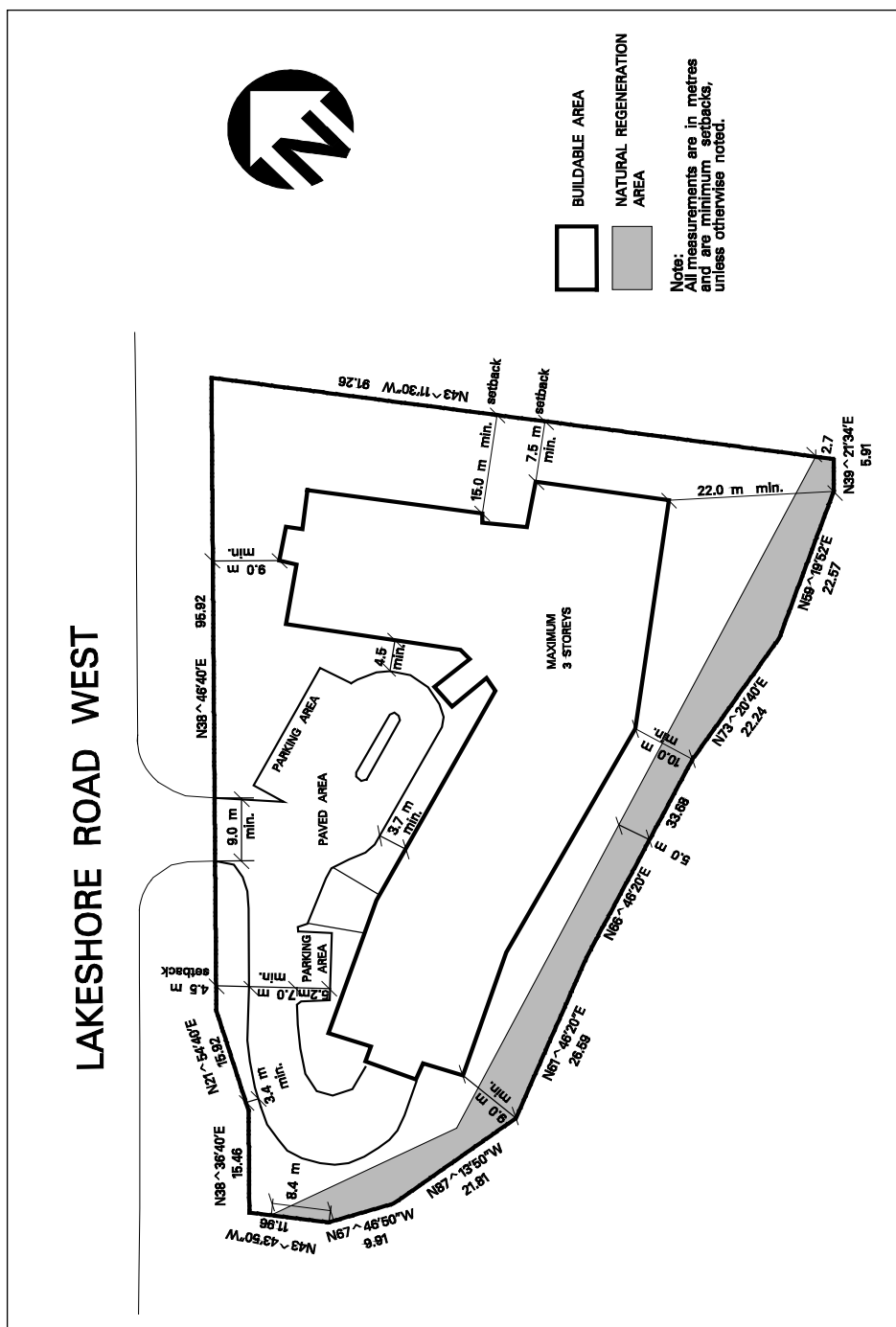
4.15.2.13	Exception: RA1-13	Map # 20	By-law: 0174-2017
<p>In a RA1-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.15.2.13.1	Maximum number of <b>dwelling units</b>	10	
4.15.2.13.2	Minimum <b>floor space index - apartment zone</b>	0.37	
4.15.2.13.3	Maximum <b>floor space index - apartment zone</b>	0.40	
4.15.2.13.4	Maximum <b>height</b>	8.75 m	
4.15.2.13.5	All site development plans shall comply with Schedule RA1-13 of this Exception		



Schedule RA1-13  
Map 20

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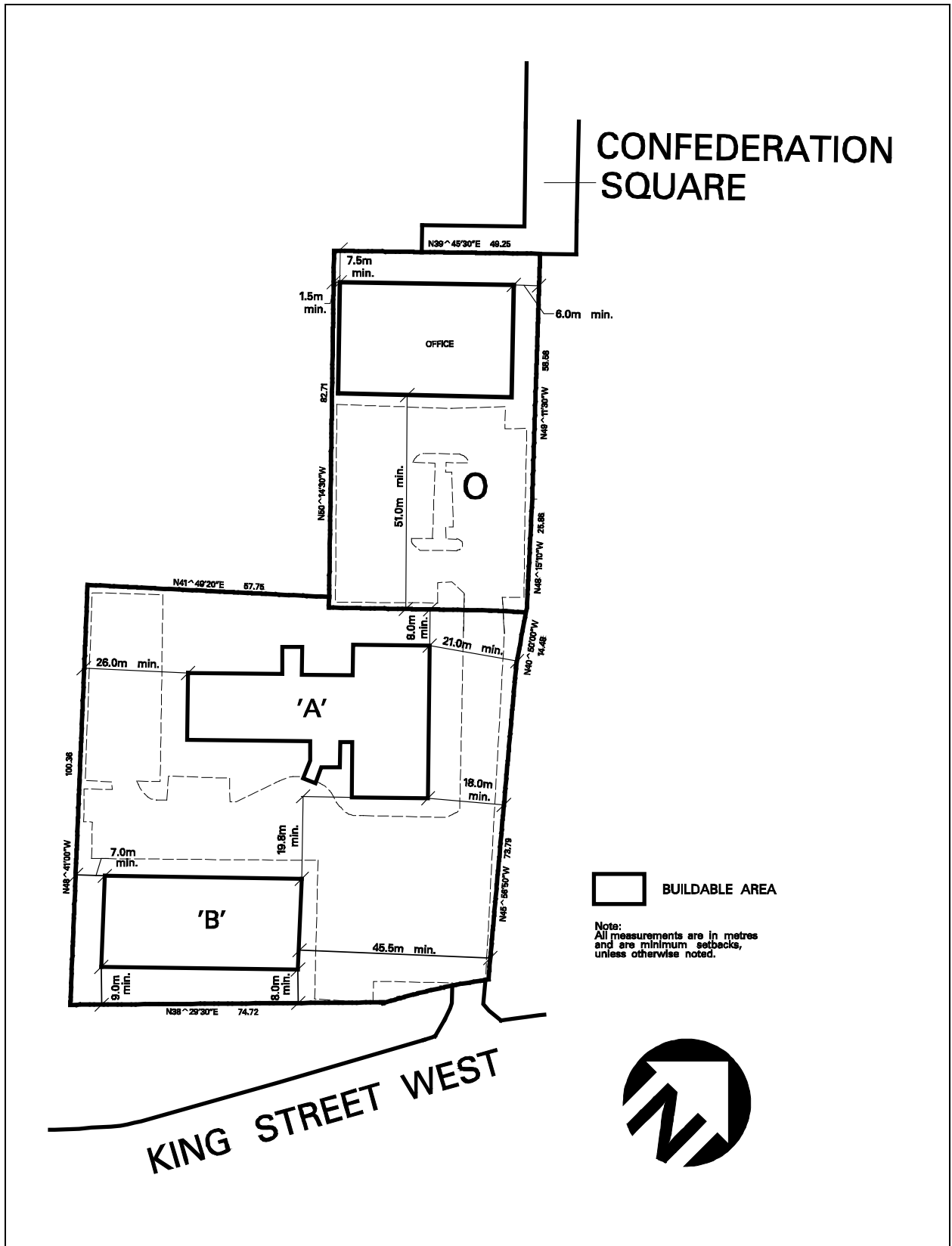
4.15.2.14	Exception: RA1-14	Map # 03	By-law: 0174-2017
<p>In a RA1-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<p><b>Additional Permitted Uses</b></p>			
4.15.2.14.1	(1)	Private chapel, library and/or recreation/fitness area accessory to a permitted <b>use</b>	
<p><b>Regulations</b></p>			
4.15.2.14.2	Maximum number of <b>dwelling units</b>		76
4.15.2.14.3	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.2.14.4	Maximum <b>floor space index - apartment zone</b>		1.3
4.15.2.14.5	Maximum total <b>gross floor area</b> of a private chapel, library and/or recreation/fitness area		370 m <sup>2</sup>
4.15.2.14.6	Maximum <b>height</b>		3 storeys
4.15.2.14.7	All site development plans shall comply with Schedule RA1-14 of this Exception		



Schedule RA1-14  
Map 03

**Part 4 - Residential Zones**

4.15.2.15	Exception: RA1-15	Map # 15	By-law: 0174-2017
<p>In a RA1-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.15.2.15.1	Maximum number of <b>dwelling units</b> in Buildable Area 'A'		80
4.15.2.15.2	Maximum number of <b>dwelling units</b> in Buildable Area 'B'		55
4.15.2.15.3	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.2.15.4	Maximum <b>floor space index - apartment zone</b>		1.0
4.15.2.15.5	Minimum <b>lot frontage</b> where a <b>lot</b> abuts King Street West		25.0 m
4.15.2.15.6	Minimum <b>lot frontage - all other lots</b>		0.0 m
4.15.2.15.7	Minimum number of resident <b>parking spaces</b> per apartment <b>dwelling unit</b>		0.65
4.15.2.15.8	Minimum number of visitor <b>parking spaces</b> per apartment <b>dwelling unit</b>		0.20
4.15.2.15.9	Maximum number of required <b>parking spaces</b> that may be provided on abutting lands zoned O		3
4.15.2.15.10	All site development plans shall comply with Schedule RA1-15 of this Exception		



Schedule RA1-15  
 Map 15

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4.15.2.16	Exception: RA1-16	Map # 36W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RA1-16 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.15.2.16.1	(1) <b>Townhouse</b> (2) <b>Back to Back and Stacked Townhouses</b>		
<b>Regulations</b>			
4.15.2.16.2	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply		
4.15.2.16.3	Maximum number of <b>dwelling units</b> per hectare		57
4.15.2.16.4	Maximum <b>gross floor area</b>		0.55 times the <b>lot area</b>
4.15.2.16.5	Minimum <b>landscaped area</b>		45% of the <b>lot area</b>
4.15.2.16.6	Minimum setback to Hurontario Street		14.0 m
4.15.2.16.7	Minimum setback to Bristol Road East		7.5 m
4.15.2.16.8	<b>Apartment:</b>		
	(1) minimum <b>dwelling unit</b> area		48 m <sup>2</sup>
	(2) minimum <b>apartment</b> separation excluding stairwells		14.0 m
4.15.2.16.9	<b>Townhouse:</b>		
	(1) the regulations of Lines 8.0 to 9.6 contained in Table 4.10.1 of this By-law shall apply		
	(2) the regulations of Lines 15.2 to 15.6 contained in Table 4.15.1 of this By-law shall not apply		
	(3) minimum number of townhouse <b>dwelling units</b>		50
4.15.2.16.10	<b>Back to Back and Stacked Townhouses:</b>		
	(1) the regulations of Sentence 4.13A.2.14.11 contained in Exception Table 4.13A.2.14 of this By-law shall apply		
	(2) minimum number of back to back and stacked townhouse <b>dwelling units</b>		50

4.15.2.17	Exception: RA1-17	Map # 39E	By-law: 0174-2017
In a RA1-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.15.2.17.1	Maximum number of <b>dwelling units</b>		23
4.15.2.17.2	Minimum depth of a <b>landscaped buffer</b> abutting the southerly <b>lot line</b>		1.5 m
4.15.2.17.3	Minimum <b>floor space index - apartment zone</b>		0.70
4.15.2.17.4	Maximum <b>floor space index - apartment zone</b>		0.77
4.15.2.17.5	Minimum <b>front yard</b>		4.2 m
4.15.2.17.6	Minimum <b>interior side yard</b>		5.0 m
4.15.2.17.7	Minimum <b>rear yard</b>		17.5 m
4.15.2.17.8	Maximum <b>height</b>		3 <b>storeys</b>
4.15.2.17.9	Minimum number of resident <b>parking spaces</b> per <b>dwelling unit</b>		1.26
4.15.2.17.10	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.17

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4.15.2.18	Exception: RA1-18	Map # 18	By-law: 0174-2017
In a RA1-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.18.1	Minimum <b>floor space index - apartment zone</b>		0.50
4.15.2.18.2	Maximum <b>floor space index - apartment zone</b>		0.52
4.15.2.18.3	Maximum <b>height</b>		3 storeys

4.15.2.19	Exception: RA1-19	Map # 20	By-law:
In a RA1-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.19.1	Maximum number of <b>dwelling units</b>		40
4.15.2.19.2	Minimum <b>front yard</b>		11.0 m
4.15.2.19.3	Minimum northerly <b>interior side yard</b>		15.0 m
4.15.2.19.4	Minimum southerly <b>interior side yard</b>		4.0 m
4.15.2.19.5	Minimum <b>rear yard</b>		6.0 m
4.15.2.19.6	An exhaust ventilation unit may encroach into an <b>interior side yard</b>		
4.15.2.19.7	Maximum <b>height</b>		3 storeys
4.15.2.19.8	Minimum number of resident and staff <b>parking spaces per dwelling unit</b>		0.20

4.15.2.20	Exception: RA1-20	Map # 29	By-law: 0174-2017
In a RA1-20 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.20.1	Lands zoned RA1-20 shall only be used for the following:		
	(1) Sky-Light Apartment Dwelling		
<b>Regulations</b>			
4.15.2.20.2	The regulations of Lines 2.0 to 15.6 contained in Table 4.15.1 of this By-law shall not apply		
4.15.2.20.3	Maximum number of <b>dwelling units</b>		120
4.15.2.20.4	Minimum <b>floor space index - apartment zone</b>		1.00
4.15.2.20.5	Maximum <b>floor space index - apartment zone</b>		1.05
4.15.2.20.6	Minimum <b>landscaped area</b>		40% of the lot area
4.15.2.20.7	Minimum westerly <b>interior side yard</b>		1.0 m
4.15.2.20.8	Minimum setback from a dwelling to Eglinton Avenue West		6.2 m
4.15.2.20.9	Minimum setback from a <b>balcony</b> to Eglinton Avenue West		6.0 m
4.15.2.20.10	Minimum setback from stairs and patios to Eglinton Avenue West		4.0 m

**Exception RA1-20 continued on next page**

**Part 4 - Residential Zones**

4.15.2.20	Exception: RA1-20	Map # 29	By-law: 0174-2017
<b>Exception RA1-20 continued from previous page</b>			
4.15.2.20.11	Minimum setback from a dwelling to Guildwood Way		5.0 m
4.15.2.20.12	Minimum setback from stairs and patios to Guildwood Way		2.7 m
4.15.2.20.13	Minimum dwelling separation		2.9 m
4.15.2.20.14	Minimum number of <b>parking spaces</b> per one-bedroom <b>dwelling unit</b>		1.18
4.15.2.20.15	Minimum number of <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.20
4.15.2.20.16	Minimum number of <b>parking spaces</b> per three-bedroom <b>dwelling unit</b>		1.50
4.15.2.20.17	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>		0.20
4.15.2.20.18	Minimum setback from a <b>parking structure</b> completely below finished grade to a <b>lot line</b>		0.0 m
4.15.2.20.19	"Sky-light Apartment Dwelling" means a <b>building</b> or <b>structure</b> not exceeding three and one half <b>storeys</b> in <b>height</b> above <b>established grade</b> , excluding any mechanical penthouse, and where each <b>dwelling unit</b> has direct access below <b>established grade</b> , at the ground level or through a common entrance at the first or second <b>storey</b>		

4.15.2.21	Exception: RA1-21	Map # 14	By-law: 0174-2017
In a RA1-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.21.1	The provisions contained in Subsection 2.1.24 of this By-law shall apply		
4.15.2.21.2	Maximum number of <b>dwelling units</b>		96
4.15.2.21.3	Maximum <b>floor space index - apartment zone</b>		0.55

4.15.2.22	Exception: RA1-22	Map # 39E	By-law: 0174-2017
In a RA1-22 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.22.1	The regulations of Lines 4.0, 5.0 and 15.2 to 15.6 contained in Table 4.15.1 of this By-law shall not apply		
4.15.2.22.2	Maximum number of <b>dwelling units</b>		6
4.15.2.22.3	Maximum <b>gross floor area - apartment zone</b>		0.6 times the <b>lot area</b>
4.15.2.22.4	Minimum <b>front yard</b>		4.6 m
4.15.2.22.5	Minimum <b>interior side yard</b>		1.8 m
4.15.2.22.6	Maximum <b>height</b>		2 <b>storeys</b>
4.15.2.22.7	Maximum encroachment of a <b>porch</b> into a required <b>front yard</b>		1.5 m
4.15.2.22.8	Maximum width of access		5.2 m

**Exception RA1-22 continued on next page**

**Part 4 - Residential Zones**

4.15.2.22	Exception: RA1-22	Map # 39E	By-law: 0174-2017
<b>Exception RA1-22 continued from previous page</b>			
4.15.2.22.9	Minimum setback from surface <b>parking spaces</b> to a <b>lot line</b>		1.5 m
4.15.2.22.10	A detached <b>garage</b> is permitted accessory to a dwelling		
4.15.2.22.11	Maximum gross <b>floor area</b> of a detached <b>garage</b>		38 m <sup>2</sup>
4.15.2.22.12	Minimum setback of a detached <b>garage</b> to a <b>lot line</b>		1.2 m

4.15.2.23	Exception: RA1-23	Map # 15	By-law:
In a RA1-23 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.15.2.23.1	Lands zoned RA1-23 shall only be used for the following:		
	(1)	<b>Day Care</b>	
	(2)	<b>Private Club</b>	

4.15.2.24	Exception: RA1-24	Map # 08	By-law:
In a RA1-24 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.15.2.24.1	Lands zoned RA1-24 shall only be used for the following:		
	(1)	<b>Detached dwelling</b> legally <b>existing</b> on the date of passing of this By-law	
	(2)	<b>Office</b> within an <b>existing detached dwelling</b>	
<b>Regulation</b>			
4.15.2.24.2	A <b>detached dwelling</b> and an <b>office</b> within a <b>detached dwelling</b> shall comply with the R15 zone regulations contained in Subsection 4.6.1 of this By-law		

4.15.2.25	Exception: RA1-25	Map # 08, 15, 19, 23, 26, 36W, 38W, 40E, 46E	By-law: 0174-2017
In a RA1-25 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.25.1	Minimum <b>floor space index - apartment zone</b>		0.3
4.15.2.25.2	Maximum <b>floor space index - apartment zone</b>		0.5



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4.15.2.26	Exception: RA1-26	Map # 08, 39E	By-law: 0174-2017
In a RA1-26 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.26.1	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.2.26.2	Maximum <b>floor space index - apartment zone</b>		0.8

4.15.2.27	Exception: RA1-27	Map # 06, 08, 15, 22	By-law: 0058-2018
In a RA1-27 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.27.1	Lands zoned RA1-27 shall only be used for the following:		
	(1)	<b>Public School</b>	
	(2)	<b>Day Care</b>	
<b>Regulations</b>			
4.15.2.27.2	A <b>public school</b> shall comply with the provisions contained in Article 2.1.9.1 of this By-law		
4.15.2.27.3	A <b>day care</b> shall comply with the provisions contained in Article 2.1.9.4 of this By-law		

4.15.2.28	Exception: RA1-28	Map # 08, 15, 22, 27	By-law:
In a RA1-28 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.28.1	Lands zoned RA1-28 shall only be used for the following:		
	(1)	<b>Place of Religious Assembly</b>	
	(2)	<b>Day Care</b>	
<b>Regulations</b>			
4.15.2.28.2	A <b>place of religious assembly</b> shall comply with the provisions contained in Article 2.1.9.3 of this By-law		
4.15.2.28.3	A <b>day care</b> shall comply with the provisions contained in Article 2.1.9.4 of this By-law		

4.15.2.29	Exception: RA1-29	Map # 22, 30, 32	By-law:
In a RA1-29 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.29.1	Lands zoned RA1-29 shall only be used for the following:		
	(1)	<b>Essential Emergency Service</b>	
<b>Regulation</b>			
4.15.2.29.2	An <b>essential emergency service</b> shall comply with the provisions contained in Article 2.1.9.5 of this By-law		

**Part 4 - Residential Zones**

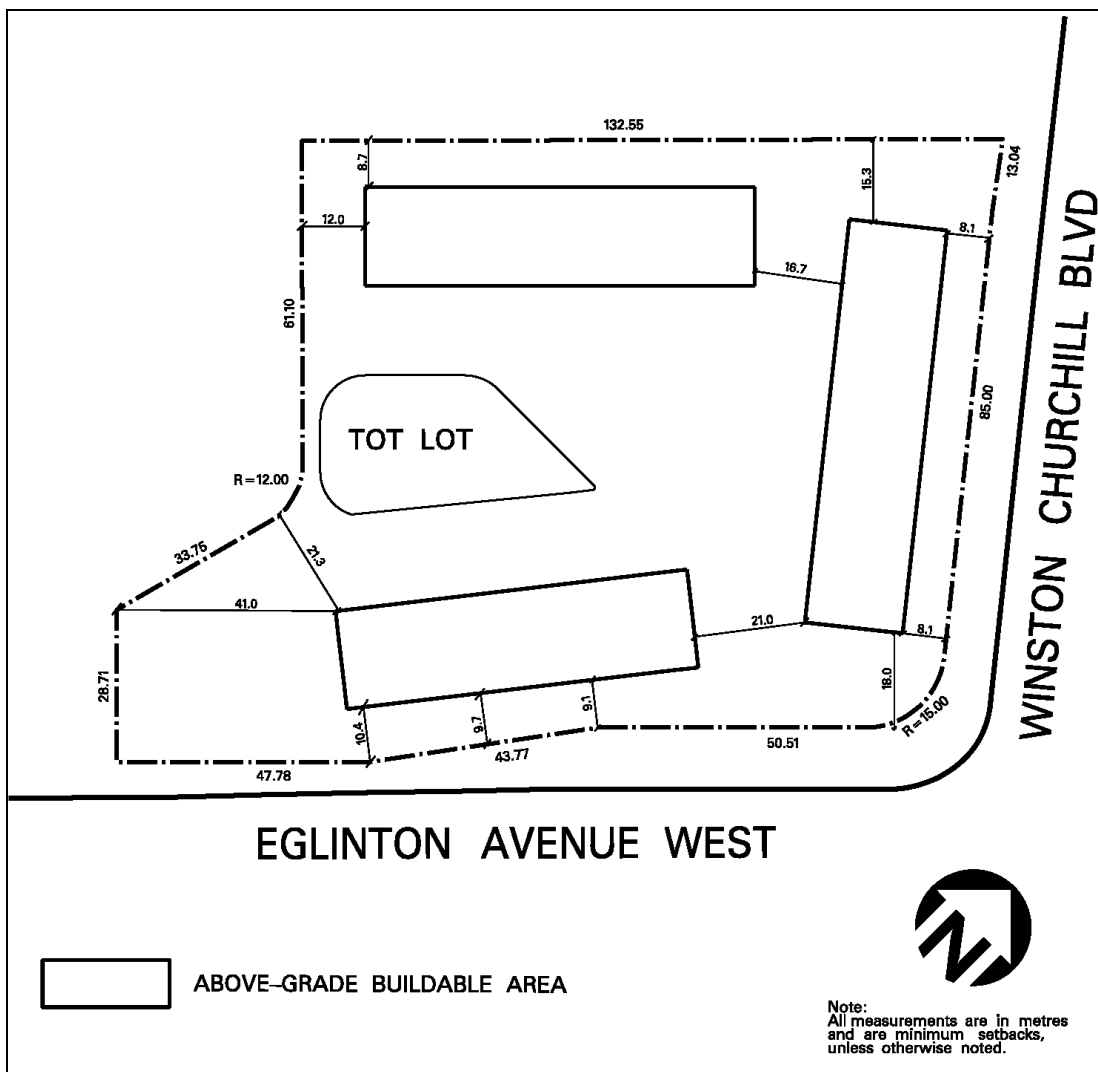
4.15.2.30	Exception: RA1-30	Map # 15	By-law:
In a RA1-30 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.15.2.30.1	Lands zoned RA1-30 shall only be used for the following:		
	(1)	<b>Private School</b>	
	(2)	<b>Day Care</b>	
<b>Regulations</b>			
4.15.2.30.2	A <b>private school</b> shall comply with the provisions contained in Article 2.1.9.2 of this By-law		
4.15.2.30.3	A <b>day care</b> shall comply with the provisions contained in Article 2.1.9.4 of this By-law		

4.15.2.31	Exception: RA1-31	Map # 39E	By-law: 0174-2017
In a RA1-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.15.2.31.1	The regulations of Lines 4.0, 5.0 and 15.2 to 15.6 contained in Table 4.15.1 of this By-law shall not apply		
4.15.2.31.2	Maximum number of <b>dwelling units</b>		6
4.15.2.31.3	Maximum <b>gross floor area - apartment zone</b>		0.6 times the <b>lot area</b>
4.15.2.31.4	Minimum <b>front yard</b>		4.6 m
4.15.2.31.5	Minimum <b>interior side yard</b>		2.5 m
4.15.2.31.6	Minimum <b>rear yard</b>		10.5 m
4.15.2.31.7	Maximum <b>height</b>		2 <b>storeys</b>
4.15.2.31.8	Maximum encroachment of a <b>porch</b> into a required <b>front yard</b>		1.5 m
4.15.2.31.9	Minimum setback from surface <b>parking spaces</b> to a <b>lot line</b>		1.5 m
4.15.2.31.10	A detached <b>garage</b> is permitted accessory to a dwelling		
4.15.2.31.11	Maximum gross <b>floor area</b> of a detached <b>garage</b>		38 m <sup>2</sup>
4.15.2.31.12	Minimum setback of a detached <b>garage</b> to a <b>lot line</b>		1.2 m

4.15.2.32	Exception: RA1-32	Map # 46W	By-law:
In a RA1-32 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Use</b>			
4.15.2.32.1	Lands zoned RA1-32 shall only be used for the following:		
	(1)	<b>Day Care</b>	
<b>Regulation</b>			
4.15.2.32.2	A <b>day care</b> shall comply with the provisions contained in Article 2.1.9.4 of this By-law		

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4.15.2.33	Exception: RA1-33	Map # 57	By-law: <i>deleted by OMB Order 2009 October 07, 0165-2012, 0174-2017</i>
<p>In a RA1-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.15.2.33.1	Maximum <b>floor space index - apartment zone</b>		1.07
4.15.2.33.2	Maximum number of <b>dwelling units</b> on all lands zoned RA1-33		178
4.15.2.33.3	Maximum <b>height</b>		15.5 m and 4 storeys
4.15.2.33.4	Maximum projection of a <b>balcony</b> outside the buildable area identified on Schedule RA1-33 of this Exception		2.0 m
4.15.2.33.5	Maximum projection of a bay window outside the buildable area identified on Schedule RA1-33 of this Exception		1.5 m
4.15.2.33.6	Minimum number of resident <b>parking spaces</b> per one-bedroom apartment <b>dwelling unit</b>		1.0
4.15.2.33.7	Minimum number of resident <b>parking spaces</b> per two-bedroom apartment <b>dwelling unit</b>		1.3
4.15.2.33.8	Minimum number of visitor <b>parking spaces</b> per apartment <b>dwelling unit</b>		0.18
4.15.2.33.9	<b>Driveways</b> are permitted to be shared with abutting lands		
4.15.2.33.10	Minimum depth of a <b>landscaped buffer</b> between Eglinton Avenue West and a <b>parking area</b>		2.6 m
4.15.2.33.11	All site development plans shall comply with Schedule RA1-33 of this Exception		



**Schedule RA1-33**  
Map 57

**Part 4 - Residential Zones**

4.15.2.34	Exception: RA1-34	Map #	By-law: 0174-2017, <i>deleted by 0058-2018</i>

4.15.2.35	Exception: RA1-35	Map # 08	By-law: 0181-2018/LPAT Order 2019 February 15
<p>In a RA1-35 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Permitted Use</b>			
4.15.2.35.1	Lands zoned RA1-35 shall only be used for the following:		
	(1) <b>Stacked townhouse</b> legally <b>existing</b> on the date of passing of this By-law		
<b>Regulations</b>			
4.15.2.35.2	The enlargement of an <b>existing dwelling, existing accessory buildings and structures</b> and new <b>accessory buildings and structures</b> shall be permitted in compliance with the following:		
	(1)	a <b>stacked townhouse</b> shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law	
	(2)	<b>accessory buildings and structures</b> on all <b>lots</b> zoned RA1-35 shall comply with the regulations contained in Subsection 4.1.2 of this By-law	
	(3)	maximum <b>gross floor area - residential</b>	1.0 times the <b>lot area</b>
	(4)	minimum <b>interior side yard</b>	3.0 m on one side of the dwelling and 4.2 m on the other side of the dwelling
	(5)	minimum <b>landscaped area</b>	30% of total <b>lot area</b>
	(6)	maximum <b>driveway width</b>	Lesser of 8.5 m or 50% of <b>lot frontage</b>
	(7)	minimum <b>aisle width</b>	6.0 m

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4.15.2.36	Exception: RA1-36	Map # 08	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<p>In a RA1-36 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<p><b>Permitted Uses</b></p>			
4.15.2.36.1	<p>Lands zoned RA1-36 shall only be used for the following:</p> <ol style="list-style-type: none"> <li>(1) <b>Detached dwelling</b> legally <b>existing</b> on the date of passing of this By-law</li> <li>(2) <b>Semi-detached</b> legally <b>existing</b> on the date of passing of this By-law</li> <li>(3) <b>Duplex</b> legally <b>existing</b> on the date of passing of this By-law</li> <li>(4) <b>Triplex</b> legally <b>existing</b> on the date of passing of this By-law</li> <li>(5) <b>Stacked townhouse</b> legally <b>existing</b> on the date of passing of this By-law</li> </ol>		
<p><b>Regulations</b></p>			
4.15.2.36.2	<p>The enlargement of an <b>existing dwelling, existing accessory buildings and structures</b> and new <b>accessory buildings and structures</b> shall be permitted in compliance with the following:</p> <ol style="list-style-type: none"> <li>(1) a <b>detached dwelling</b> shall comply with the R15 zone regulations contained in Subsection 4.6.1 of this By-law</li> <li>(2) a <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law</li> <li>(3) a <b>duplex</b> and <b>triplex</b> shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law</li> <li>(4) a <b>stacked townhouse</b> shall comply with the RM7 zone regulations contained in Subsection 4.13.1 of this By-law</li> <li>(5) <b>accessory buildings and structures</b> on all <b>lots</b> zoned RA1-36 shall comply with the regulations contained in Subsection 4.1.2 of this By-law</li> <li>(6) maximum <b>gross floor area - residential</b> <span style="float: right;">1.0 times the <b>lot area</b></span></li> <li>(7) minimum <b>interior side yard</b> <span style="float: right;">3.0 m on one side of the dwelling and 4.2 m on the other side of the dwelling</span></li> <li>(8) minimum <b>landscaped area</b> <span style="float: right;">30% of total <b>lot area</b></span></li> <li>(9) maximum <b>driveway width</b> <span style="float: right;">Lesser of 8.5 m or 50% of <b>lot frontage</b></span></li> <li>(10) minimum <b>aisle width</b> <span style="float: right;">6.0 m</span></li> </ol>		

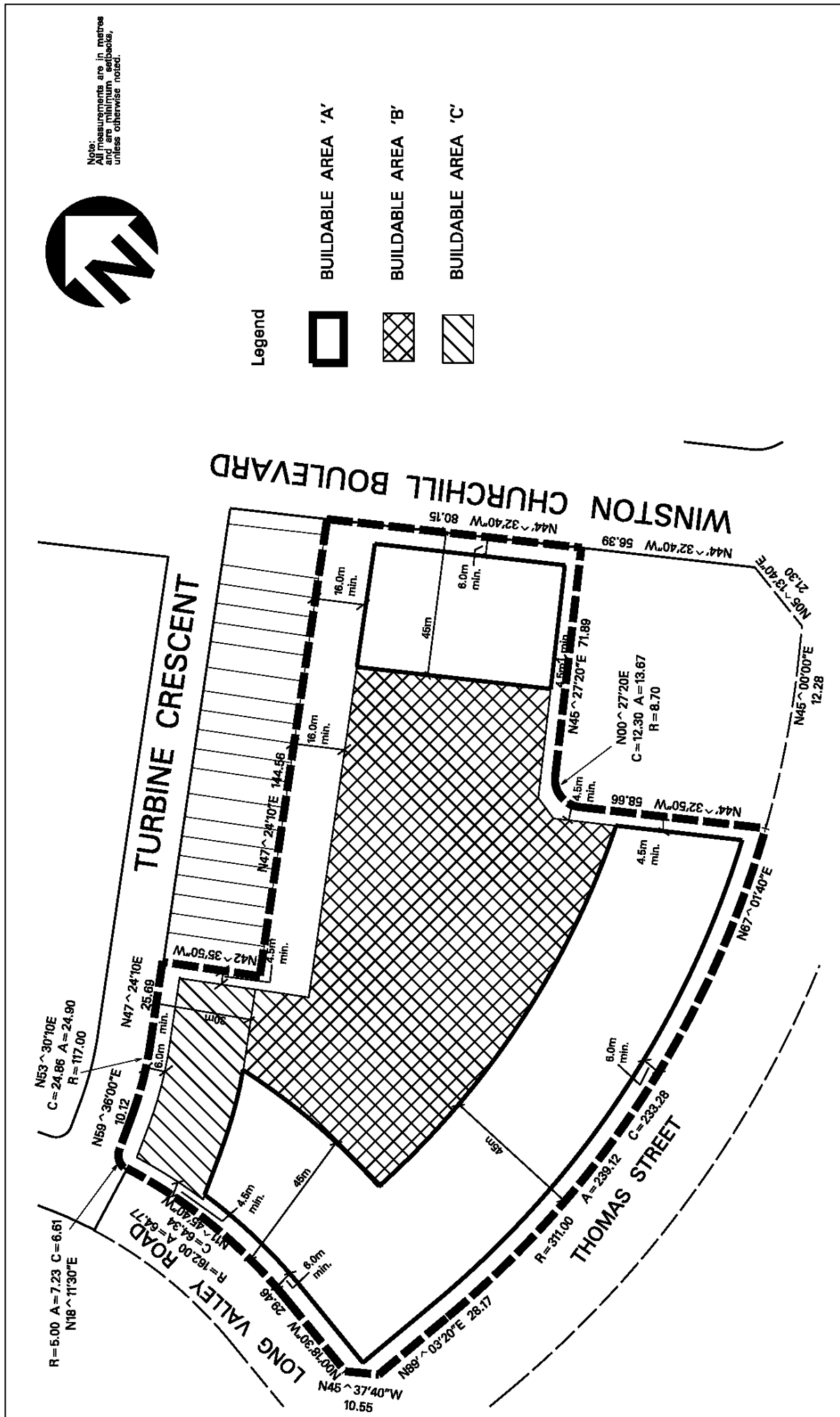
**Part 4 - Residential Zones**

4.15.2.37	Exception: RA1-37	Map # 57	By-law: 0365-2007, 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RA1-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.15.2.37.1	(1)	Sky-light Apartment Dwelling	
	(2)	<b>Back to Back</b> and <b>Stacked Townhouses</b>	
	(3)	<b>Townhouse</b>	
<b>Regulations</b>			
4.15.2.37.2	(1)	The provisions contained in Subsection 2.1.14 and the regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 and of this By-law shall not apply	
	(2)	Minimum number of <b>dwelling units</b> per hectare	45
	(3)	Maximum number of <b>dwelling units</b> per hectare	100
	(4)	<b>Commercial motor vehicle</b> , trailer and recreational vehicle parking shall not be permitted	
4.15.2.37.3	<b>Apartment</b> and Sky-light Apartment Dwelling:		
	(1)	<b>apartment</b> and sky-light apartment dwellings shall only be permitted in Buildable Area 'A' identified on Schedule RA1-37 of this Exception	
	(2)	maximum <b>height</b> in Buildable Area 'A' identified on Schedule RA1-37 of this Exception	16.5 m
	(3)	maximum encroachment permitted outside that portion of Buildable Area 'A' facing a <b>street</b> , identified on Schedule RA1-37 of this Exception	1.5 m
	(4)	minimum number of resident <b>parking spaces</b> per one-bedroom sky-light apartment dwelling unit	1.0
	(5)	minimum number of resident <b>parking spaces</b> per two-bedroom sky-light apartment dwelling unit	1.3
	(6)	minimum number of resident <b>parking spaces</b> per three-bedroom sky-light apartment dwelling unit	1.4
	(7)	minimum number of visitor <b>parking spaces</b> per sky-light apartment dwelling unit	0.15
	(8)	"Sky-light Apartment Dwelling" means a <b>building</b> or <b>structure</b> where each <b>dwelling unit</b> has an independent entrance at the ground level only or through a common entrance at the ground level or at the <b>first storey</b> above ground	
4.15.2.37.4	A <b>back to back</b> and <b>stacked townhouse</b> shall comply with the RM8-14 zone regulations contained in Exception Table 4.13A.2.14 of this By-law except that:		
	(1)	the regulations of Sentences 4.13A.2.14.3 and 4.13A.2.14.4 contained in Exception Table 4.13A.2.14 of this By-law shall not apply	
	(2)	<b>back to back</b> and <b>stacked townhouses</b> shall only be permitted in Buildable Area 'B' identified on Schedule RA1-37 of this Exception	
	(3)	maximum <b>height</b> in Buildable Area 'B' identified on Schedule RA1-37 of this Exception	14.0 m
	(4)	maximum encroachment permitted outside that portion of Buildable Area 'B' facing a <b>condominium road</b> , identified on Schedule RA1-37 of this Exception	1.5 m

**Exception RA1-37 continued on next page**

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4.15.2.37	Exception: RA1-37	Map # 57	By-law: 0365-2007, 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RA1-37 continued from previous page</b>			
4.15.2.37.4 (continued)	<ul style="list-style-type: none"> <li>(5) minimum setback from <b>garage face</b> of a dwelling to a <b>condominium road</b> or sidewalk</li> <li>(6) minimum number of resident <b>parking spaces</b> per one-bedroom <b>dwelling unit</b></li> <li>(7) minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b></li> <li>(8) minimum number of resident <b>parking spaces</b> per three-bedroom <b>dwelling unit</b></li> <li>(9) minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b></li> </ul>	<ul style="list-style-type: none"> <li>5.5 m</li> <li>1.0</li> <li>1.3</li> <li>1.4</li> <li>0.15</li> </ul>	
4.15.2.37.5	<p>A <b>townhouse</b> shall comply with the RM8-14 zone regulations contained in Exception Table 4.13A.2.14 of this By-law except that:</p> <ul style="list-style-type: none"> <li>(1) the regulations of Sentences 4.13A.2.14.3 and 4.13A.2.14.4 contained in Exception Table 4.13A.2.14 of this By-law shall not apply</li> <li>(2) <b>townhouses</b> shall only be permitted in Buildable Area 'C' identified on Schedule RA1-37 of this Exception</li> <li>(3) maximum <b>height</b> in Buildable Area 'C' identified on Schedule RA1-37 of this Exception</li> <li>(4) maximum encroachment permitted outside that portion of Buildable Area 'C' facing a <b>street</b>, identified on Schedule RA1-37 of this Exception</li> <li>(5) minimum number of visitor <b>parking spaces</b> per townhouse <b>dwelling unit</b></li> </ul>		<ul style="list-style-type: none"> <li>11.5 m</li> <li>1.5 m</li> <li>0.2</li> </ul>
4.15.2.37.6	All site development plans shall comply with Schedule RA1-37 of this Exception		



Schedule RA1-37  
Map 57



**Part 4 - Residential Zones**

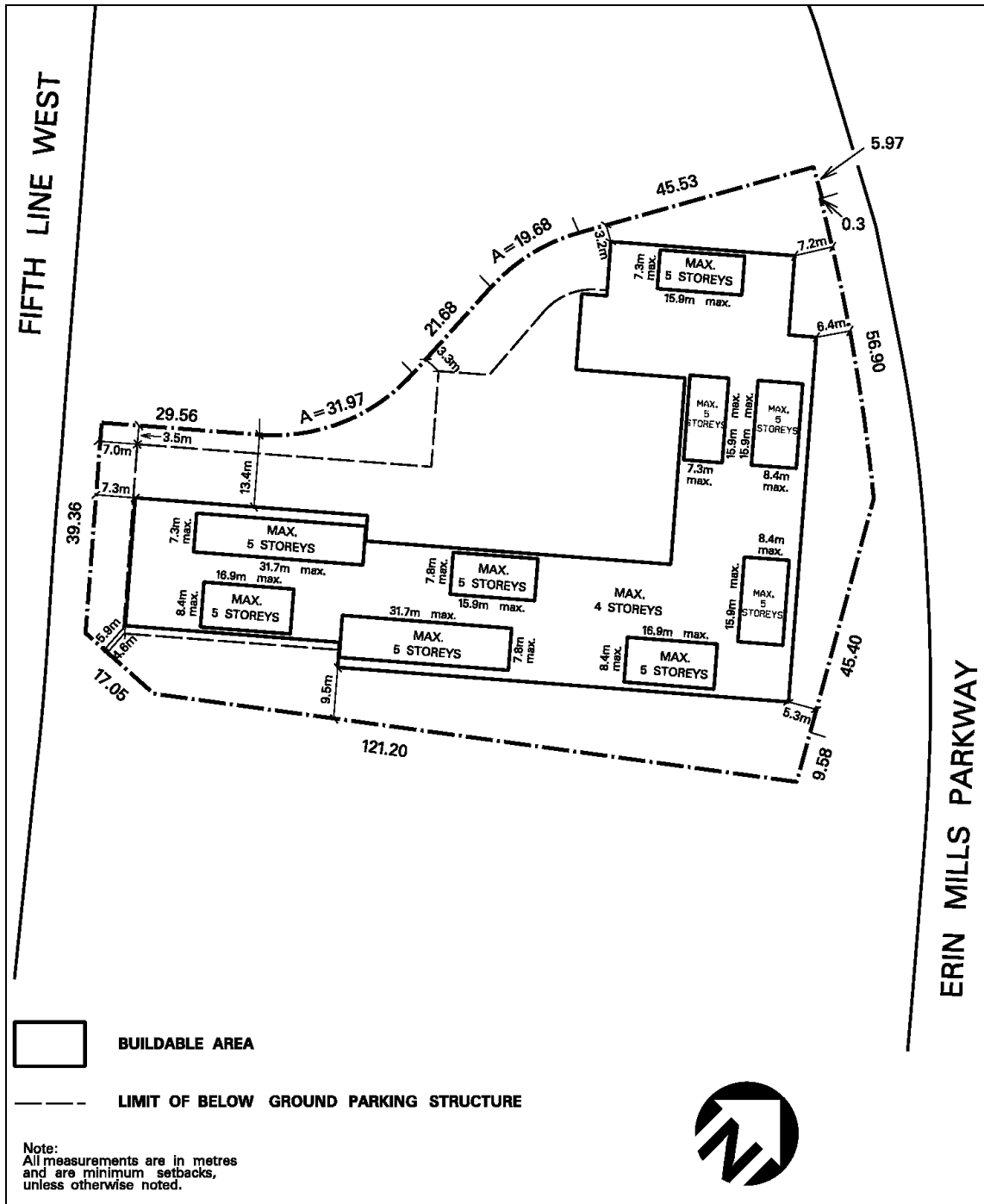
4.15.2.38	Exception: RA1-38	Map # 57	By-law: 0365-2007
In a RA1-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.38.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.15.2.38.2	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply		
4.15.2.38.3	Minimum number of <b>dwelling units</b> per hectare		45
4.15.2.38.4	Maximum number of <b>dwelling units</b> per hectare		138
4.15.2.38.5	Minimum <b>front yard</b>		6.0 m
4.15.2.38.6	Minimum <b>exterior side yard</b>		6.0 m
4.15.2.38.7	Minimum <b>interior side yard</b>		4.5 m
4.15.2.38.8	Minimum <b>rear yard</b>		4.5 m
4.15.2.38.9	Maximum <b>height</b>		16.5 m
4.15.2.38.10	<b>Commercial motor vehicle</b> , trailer and recreational vehicle parking shall not be permitted		

4.15.2.39	Exception: RA1-39	Map # 08	By-law: 0325-2008
In a RA1-39 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.39.1	Lands zoned RA1-39 shall only be used for the following:		
	(1)	Parking, access and <b>landscaped area</b> for lands zoned C4-2	

4.15.2.40	Exception: RA1-40	Map # 22	By-law: OMB Order 2008 November 10
In a RA1-40 zone the applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.15.2.40.1	Lands zoned RA1-40 shall only be used for the following:		
	(1)	The existing legal non-conforming <b>uses</b>	
<b>Regulation</b>			
4.15.2.40.2	Enlargement or redevelopment of the <b>existing buildings</b> or <b>structures</b> shall not be permitted		

Part 4 - Residential Zones

4.15.2.41	Exception: RA1-41	Map # 25	By-law: 0181-2012, 0174-2017
In a RA1-41 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.2.41.1	Maximum number of <b>dwelling units</b>		154
4.15.2.41.2	Maximum <b>floor space index - apartment zone</b>		1.45
4.15.2.41.3	Maximum <b>gross floor area - apartment zone</b>		15 920 m <sup>2</sup>
4.15.2.41.4	Maximum encroachment of a <b>balcony</b> located above the <b>first storey</b> , sunroom, window, <b>chimney</b> , pilaster, cornice, balustrade or roof eaves into a required <b>yard</b>		1.5 m
4.15.2.41.5	Maximum <b>height</b> of the four <b>storey</b> portions of the <b>building</b>		14.5 m
4.15.2.41.6	Maximum <b>height</b> of the five <b>storey</b> portions of the <b>building</b>		17.0 m
4.15.2.41.7	<b>Driveways</b> and <b>aisles</b> may be shared with abutting lands to the north		
4.15.2.41.8	All site development plans shall comply with Schedule RA1-41 of this Exception		



Schedule RA1-41  
Map 25

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4.15.2.42	Exception: RA1-42	Map # 07	By-law: 0051-2014, 0174-2017
<p>In a RA1-42 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA1 zone except that the following <b>uses/regulations</b> shall apply:</p>			
<b>Regulations</b>			
4.15.2.42.1	Maximum <b>floor space index - apartment zone</b>		1.46
4.15.2.42.2	Maximum <b>height</b>		4 storeys
4.15.2.42.3	Minimum <b>front yard</b>		4.5 m
4.15.2.42.4	Minimum <b>exterior side yard</b>		4.5 m
4.15.2.42.5	Minimum <b>interior side yard</b>		9.0 m
4.15.2.42.6	Minimum setback from a <b>sight triangle</b>		0.0 m
4.15.2.42.7	Minimum number of resident <b>parking spaces</b> per one-bedroom <b>dwelling unit</b>		1.2
4.15.2.42.8	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>dwelling unit</b>		1.3
4.15.2.42.9	Maximum number of resident <b>tandem parking spaces</b> permitted		30
4.15.2.42.10	Minimum setback from surface <b>parking spaces</b> or <b>aisles</b> to a <b>street line</b>		3.0 m
4.15.2.42.11	Minimum setback from a <b>parking structure</b> completely below finished grade, inclusive of external access stairwells, to any <b>lot line</b>		1.5 m
4.15.2.42.12	Stairs, walkways, planters and ventilation shafts are permitted to encroach into a required <b>yard</b> and <b>landscaped buffer</b>		
<b>Section 37 Public Benefits Contribution</b>			
<p>Pursuant to Section 37 of the <i>Planning Act</i>, R.S.O. 1990, c. P13, as amended, the <b>height</b> and density of development provided by this Exception shall be permitted subject to:</p> <ol style="list-style-type: none"> <li>(1) the owner of the lands zoned RA1-42 entering into an agreement with the Corporation of the City of Mississauga (the City) for the provision of certain facilities, services or matters in return for the increase in <b>height</b> and density of the development granted by this Exception as provided by Section 37 (3) of the <i>Planning Act</i>, R.S.O. 1990, c.P13;</li> <li>(2) the registration of the agreement on title to the lands zoned RA1-42; and,</li> <li>(3) the payment to the City by the owner of the lands zoned RA1-42 of the sum of \$160,000.00 to be applied towards the installation of bicycle lanes and compliance with all other terms and conditions of the agreement referred to in paragraphs (1) and (2) above.</li> </ol>			

