4.2.3 R2 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.3 - R2 Infill Exception Regulations shall apply where specified by an R2 Exception Zone.

 Table 4.2.3 - R2 Infill Exception Regulations

Colum	un A	В
Line		
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS : interior lots having a lot frontage equal to or greater than 18.0 m	
2.1	One (1) storey detached dwelling	20% of the lot frontage
2.2	Dwelling having more than one (1) storey	27% of the lot frontage
3.0	MAXIMUM HEIGHT - HIGHEST RIDGE : lots having a lot frontage equal to or greater than 22.5 m	
	sloped roof	9.5 m
4.0	MAXIMUM HEIGHT - HIGHEST RIDGE : lots having a lot frontage less than 22.5 m	
	sloped roof	9.0 m
5.0	MAXIMUM HEIGHT :	
	flat roof	7.5 m
6.0	MAXIMUM HEIGHT OF EAVES:	
	from average grade to lower edge of the eaves	6.4 m
7.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	190 m ² plus 0.20 times the lot area
8.0	GARAGE PROJECTION:	
	maximum projection of the garage beyond the front wall or exterior side wall of the first storey (0325-2008), (0308-2011)	0.0 m
9.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m
10.0	deleted by 0190-2014	

4.2.3.1	Exception: R2-1	Map # 02, 03, 08, 09, 10	By-law: OLT Order 2021 August 10/ 2021 November 09		
In a R2-1 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulation	Regulation				
4.2.3.1.1	4.2.3.1.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply				

4.2.3.2	Exception: R2-2	Map # 09	By-law:		
	In a R2-2 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.2.1	4.2.3.2.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply				
4.2.3.2.2	Minimum front yard		7.5 m		

4.2.3.3	Exception: R2-3	Map #	By-law: deleted by LPAT Order 2019 August 20

4.2.3.4	Exception: R2-4	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01		
	wing uses /regulations shall a	plicable regulations shall be as specified by the second state of	pecified for a R2 zone except		
4.2.3.4.1	4.2.3.4.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply				
4.2.3.4.2	Minimum lot frontage		22.5 m		

4.2.3.5	Exception: R2-5	Map # 02, 03, 07, 08, 09, 10	By-law: 0247-2016		
	In a R2-5 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:				
Regulations	Regulations				
4.2.3.5.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply					
4.2.3.5.2	Minimum lot frontage		30.0 m		

4.2.3.6	Exception: R2-6	Map # 07	By-law:	
In a R2-6 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:				
Regulations				
4.2.3.6.1	1 The regulations contained in Subsection 4.2.3 of this By-law shall apply			
4.2.3.6.2	4.2.3.6.2 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply			
4.2.3.6.3	2.3.6.3 Access to all lots shall be via a common frontage on Carmen Drive			

4.2.3.7	Exception: R2-7	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15
	owing uses /regulations sha		e as specified for a R2 zone except
4.2.3.7.1	Minimum front yard		7.5 m
4.2.3.7.2	Minimum interior sid	le yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.7.3	Minimum setback to g	garage face - interior lot	7.5 m

4.2.3.8	Exception: R2-8	Map # 38W, 39E	By-law:			
	In a R2-8 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.8.1	Maximum lot coverage - de one storey	etached dwelling not exceeding	ng 40%			
4.2.3.8.2	Maximum lot coverage - de one storey	etached dwelling more than	35%			
4.2.3.8.3	Minimum front yard		7.5 m			
4.2.3.8.4	Minimum interior side yar	d - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey			

4.2.3.9	Exception: R2-9	Map # 38W, 39E	By-law:		
	In a R2-9 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:				
Regulations					
4.2.3.9.1	Maximum lot coverage - d e one storey	etached dwelling not exceeding	ng 40%		
4.2.3.9.2	Maximum lot coverage - d e one storey	etached dwelling more than	35%		
4.2.3.9.3	Minimum interior side yar	rd - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey		
4.2.3.9.4	Minimum number of parki	ng spaces per lot	6		

4.2.3.10	Exception: R2-10	Map # 44W, 45E	By-law: 0308-2011			
4.2.3.10	Exception. K2-10	Wiap # 44 W, 43E	By-law. 0308-2011			
	In a R2-10 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.10.1	Maximum lot coverage		25%			
4.2.3.10.2	0.2 A flat roof shall not be permitted					
4.2.3.10.3	Maximum height - highest sloped roof	ridge:	9.5 m			
4.2.3.10.4	Maximum projection of the front wall or exterior side		tion of the 0.0 m			

4.2.3.11	Exception: R2-11	Map # 31	By-law: 0308-2011			
	In a R2-11 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.11.1	Maximum lot coverage		35%			
4.2.3.11.2	Minimum front yard		6.5 m			
4.2.3.11.3	Minimum interior side yar	d	1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey			
4.2.3.11.4	Minimum setback to the rea G2-3 zone	ar lot line where lands abut a	30.0 m			
4.2.3.11.5	e	1.2.3.11.4, minimum setback or ructures and swimming pools but a G2-3 zone				

4.2.3.12	Exception: R2-12	Map # 31	By-law: 0325-2008			
	In a R2-12 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulation						
4.2.3.12.1	Minimum setback of all bui swimming pools to the real	ildings and structures and r lot line where lands abut a C	7.6 m 61 zone			

4.2.3.13	Exception: R2-13	Map # 24	By-law:
		licable regulations shall be as s	specified for a R2 zone except
that the follow	ing uses/regulations shall app	bly:	
Regulations			
4.2.3.13.1	Minimum front yard - inte	rior lot	7.5 m
4.2.3.13.2	Minimum front yard - cor	6.0 m	
4.2.3.13.3	Minimum exterior side yar	6.0 m	
4.2.3.13.4	Minimum interior side yar	d	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey
4.2.3.13.5	Minimum rear yard where	lands abut a PB1 zone	11.5 m
4.2.3.13.6	Minimum setback of a swin lands abut a PB1 zone	nming pool to the rear lot line	e where 5.5 m

4.2.3.14	Exception: R2-14	Map # 24	By-law:			
	In a R2-14 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.14.1	Minimum lot area - interio	or lot	665 m ²			
4.2.3.14.2	Minimum front yard		6.0 m			
4.2.3.14.3	Minimum interior side yar	d	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey			

4.2.3.15	Exception: R2-15	Map # 31	By-law:				
	In a R2-15 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:						
Regulations							
4.2.3.15.1	Minimum lot frontage - int	terior lot	33.0 m				
4.2.3.15.2	Minimum front yard - interior lot		7.5 m				
4.2.3.15.3	Minimum interior side yar	d - interior lot	12.0 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey on the other side				
4.2.3.15.4	Minimum rear yard - inter	rior lot	3.0 m				
4.2.3.15.5	Every lot shall have a circu	lar driveway					

4.2.3.16	Exception: R2-16	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15			
	In a R2-16 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.16.1	Minimum lot area		620 m ²			
4.2.3.16.2	Maximum lot coverage	Maximum lot coverage				
4.2.3.16.3	Minimum front yard		4.5 m			
4.2.3.16.4	Minimum interior side	yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey			
4.2.3.16.5	Minimum setback of a zoned G2-3	detached dwelling to all lands	15.0 m			
4.2.3.16.6	Minimum setback to ga	irage face	6.0 m			

4.2.3.17	Exception: R2-17	Map # 38W	By-law:			
	In a R2-17 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.17.1	Maximum lot coverage		40%			
4.2.3.17.2	Minimum interior side yar	d - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey			

4.2.3.18	Exception: R2-18	Map # 38W	By-law:			
	ne the permitted uses and ap ving uses /regulations shall ap		all be as specified for a R2 zone exc	cept		
Regulations						
4.2.3.18.1	Minimum lot area - corn	er lot	750 m ²			
4.2.3.18.2	Minimum lot frontage		16.5 m			
4.2.3.18.3	Minimum setback of a de G2-3	tached dwelling to all	lands zoned 15.0 m			

4.2.3.19	Exception: R2-19	Map # 24	By-law:		
In a R2-19 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations					
4.2.3.19.1	Minimum lot frontage - in	terior lot	5.0 m		
4.2.3.19.2	Minimum setback of all bu swimming pools to all land	0	3.0 m		

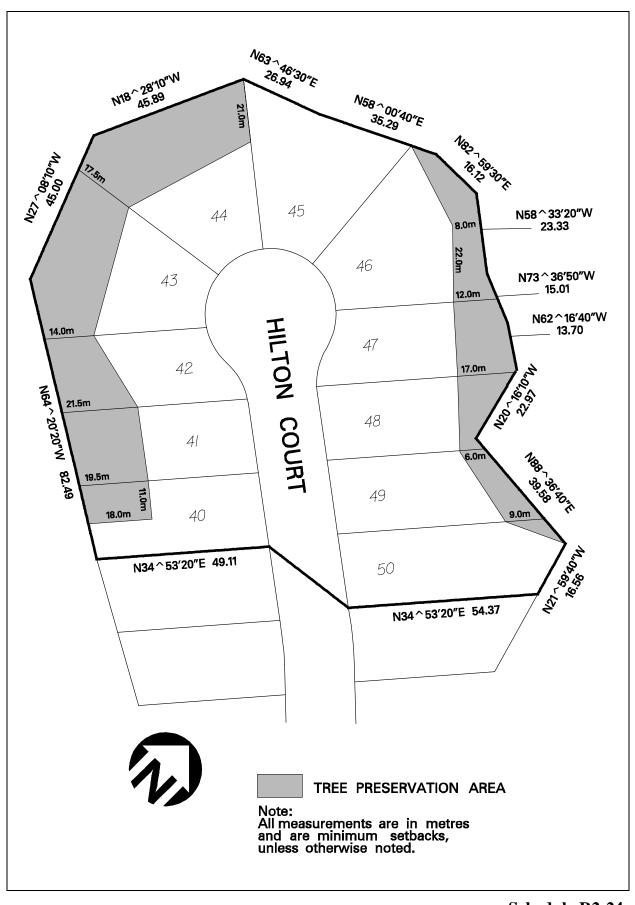
4.2.3.20	Exception: R2-20	Map # 45W	By-law:			
	In a R2-20 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.20.1	Minimum front yard - inte	rior lot	7.5 m			
4.2.3.20.2	Minimum interior side yard - interior lot		1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey			
4.2.3.20.3	Minimum setback of all bu swimming pools to all land	8	15.0 m			

4.2.3.21	Exception: R2-21	Map # 45W	By-law:			
	In a R2-21 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.21.1	Minimum front yard		6.5 m			
4.2.3.21.2	Minimum interior side yar	rd - interior lot	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey			
4.2.3.21.3	Minimum setback of a deta G2-3	ched dwelling to all lands zor	ned 15.0 m			
4.2.3.21.4	Minimum setback of a deta	ched dwelling to all lands zor	ned G1 17.5 m			

4.2.3.22	Exception: R2-22	Map # 17	By-law:			
	In a R2-22 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.22.1	Maximum lot coverage	2	35%			
4.2.3.22.2	Minimum front yard -	7.5 m				
4.2.3.22.3	Minimum front yard -	6.0 m				
4.2.3.22.4	Minimum exterior side	e yard	6.0 m			
4.2.3.22.5	Minimum interior side	yard	1.2 m + 0.61 m for each additional sto or portion thereof above one (1) stor	rey		

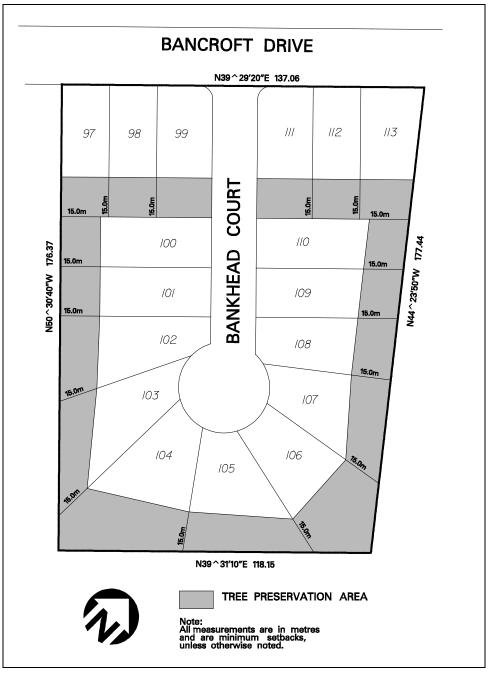
4.2.3.23	Exception: R2-23	Map # 24	By-law:			
	In a R2-23 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.23.1	Minimum lot area - corner	r lot		700 m ²		
4.2.3.23.2 Minimum lot frontage - corner lot				20.0 m		
4.2.3.23.3	Minimum front yard			7.5 m		
4.2.3.23.4	Minimum setback of all ac swimming pools to all land	· U	structures and	3.0 m		

4.2.3.24	Exception: R2-24	Map # 39E	By-law	:		
	In a R2-24 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.24.1	Maximum lot coverage - de one (1) storey	e tached dwelling not exceedi	ng	40%		
4.2.3.24.2	Maximum lot coverage - do storey	etached dwelling more than o	one (1)	35%		
4.2.3.24.3	Minimum front yard			7.5 m		
4.2.3.24.4	Minimum interior side yar	d - interior lot		1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey		
4.2.3.24.5	tree preservation area, shall purposes, and no buildings	edule R2-24 of this Exception only be used for conservation or structures , swimming po reational facilities, except for permitted	ı ols,			
4.2.3.24.6		d - interior lot that includes a, measured from the limit of		3.0 m		
4.2.3.24.7		nat includes a tree preservation the tree preservation area and		7.5 m		



Schedule R2-24 Map 39E

4.2.3.25	Exception: R2-25	Map # 45E	By-law:	
	one the permitted uses and a wing uses /regulations shall		all be as specified for	a R2 zone except
Regulations				
4.2.3.25.1	Minimum lot area - inte	erior lot		900 m ²
4.2.3.25.2	Minimum lot area - cor	ner lot		1 040 m ²
4.2.3.25.3	Minimum front yard			7.5 m
4.2.3.25.4 The areas identified on Schedule R2-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted				
4.2.3.25.5	Minimum interior side abuts a tree preservation preservation area			3.0 m
4.2.3.25.6	Minimum rear yard - lo measured from the limit from the rear lot line			7.5 m



Schedule R2-25 Map 45E

4.2.3.26	Exception: R2-26	Map # 45E	By-law:
	e the permitted uses and appl ng uses /regulations shall app		specified for a R2 zone except
Regulations			
4.2.3.26.1	Minimum front yard		7.5 m
4.2.3.26.2	Minimum setback of a dwel	lling to all lands zoned G2-4(9	9) 15.0 m
4.2.3.26.3	Minimum setback of all acc swimming pools to all land	cessory buildings and structu Is zoned G1	res and 9.0 m

4.2.3.27	Exception: R2-27	Map # 45E	By-law:
	ne the permitted uses and app ving uses /regulations shall ap		s specified for a R2 zone except
Regulations			
4.2.3.27.1	Minimum front yard		7.5 m
4.2.3.27.2	Minimum setback of a dwe	elling to all lands zoned G2-3	15.0 m
4.2.3.27.3	Minimum setback of all ac swimming pools to all lan	ccessory buildings and struct ds zoned G1	ures and 15.0 m

4.2.3.28	Exception: R2-28	Map # 24	By-law:	
In a R2-28 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:				
Regulations				
4.2.3.28.1	Minimum front yard		7.5 m	
4.2.3.28.2	Minimum exterior side ya	·d	6.0 m	
4.2.3.28.3	Minimum setback to Missis	sauga Road	7.5 m	
4.2.3.28.4	Minimum rear yard where	lands abut a G2-1 zone	8.5 m	

4.2.3.29	Exception: R2-29 Map	01	y-law: 0308-2011, 81-2018/LPAT Order)19 February 15
	one the permitted uses and applicable wing uses /regulations shall apply:	e regulations shall be as spe	cified for a R2 zone except
Regulations			
4.2.3.29.1	Minimum lot area - interior lot		600 m ²
4.2.3.29.2	Minimum lot area - corner lot		700 m ²
4.2.3.29.3	Minimum lot frontage - interior	lot	18.0 m
4.2.3.29.4	Minimum lot frontage - corner l	ot	21.0 m
4.2.3.29.5	Maximum lot coverage , excludir balcony , or breezeway	g the area of a porch or	35%
4.2.3.29.6	Maximum gross floor area - res	dential	$190 \text{ m}^2 \text{ plus}$ 0.33 times the lot area
4.2.3.29.7	Minimum front yard		6.0 m
4.2.3.29.8	Minimum exterior side yard		4.5 m
4.2.3.29.9	Minimum interior side yard		1.8 m
4.2.3.29.10	Minimum rear yard		7.5 m
4.2.3.29.11	Minimum setback to a sight trian	ngle	1.5 m
4.2.3.29.12	Maximum height - highest ridge sloped roof	:	9.5 m
4.2.3.29.13	Maximum height : flat roof		7.5 m
4.2.3.29.14	Maximum height of eaves: from average grade to lower edg	e of the eaves	6.4 m
4.2.3.29.15	Maximum encroachment of a po exterior side yard	rch or balcony into the requ	uired 2.0 m
4.2.3.29.16	Maximum encroachment of wind elements, with or without a found to, chimneys , media niches, pilas	ation, such as, but not limit	
	(1) into the required front , r	ear or exterior side yard	1.0 m
	(2) into the required interior	side yard	0.6 m
4.2.3.29.17	Minimum setback to a garage fa	ce	6.0 m
4.2.3.29.18	Maximum encroachment of a side required front yard	e wall of a garage into the	1.5 m
4.2.3.29.19	Maximum projection of a garage of the first floor front wall or ext detached dwelling		0.0 m
4.2.3.29.20	Maximum projection of a garage of the first floor front wall or ext detached dwelling , where a mai	erior side wall of a	2.5 m
4.2.3.29.21	Maximum garage width: measured from the inside face of	the garage side walls	8.0 m

Exception R2-29 continued on next page

4.2.3.29	Excep	tion: R2-29	Map # 08, 09	By-law: 030 0181-2018/ 2019 Februa	LPAT Order
Exception R2	2-29 con	tinued from previou	s page		
4.2.3.29.22	with a		nly be permitted in a rear yar f 19.5 m which do not abut la following:		
	(1)		side yard on the side of the d driveway is located	letached	3.0 m
	(2)	dwelling where the garages on two adju- respective rear ya	interior side yard on the side of the detached where the mutual driveway is located, where n two adjoining lots are located in their e rear yards and accessed by a mutual r crossing the front lot line		2.4 m
	(3)	a breezeway which	attached to the detached dwo n shall not be considered a con the purposes of determining I	mponent	
	(4)	minimum exterior side yard			3.0 m
	(5)	maximum garage was measured from the walls	width: inside face of each of the gar	age	8.5 m
	(6)	maximum garage of measured from the rear garage wall	depth: garage face to the inside face	e of the	7.5 m
	(7)		a garage roof shall have a rat horizontal run of at least one i		
	(8)	0 0	height - highest ridge : iding skylights, cupolas, or ot s	her	6.6 m
	(9)	maximum height o from established g	f eaves: rade to lower edge of the eav	ves	4.5 m
	(10)	maximum floor ar	ea		113 m ²
4.2.3.29.23		num setback of all bu ming pools to a G1 ze	ildings and structures , deck s	s and	3.0 m

4.2.3.30	Exception: R2-30 Maj		By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
	ne the permitted uses and applicab ving uses /regulations shall apply:	le regulations shall be as s	pecified for a R2 zone except
Regulations			
4.2.3.30.1	Minimum lot area - interior lot	:	830 m ²
4.2.3.30.2	Minimum lot area - corner lot		930 m ²
4.2.3.30.3	Minimum lot frontage - interio	r lot	22.5 m
4.2.3.30.4	Minimum lot frontage - corner	lot	25.0 m
4.2.3.30.5	Maximum lot coverage excludit balcony , or breezeway	ng the area of a porch or	35%
4.2.3.30.6	Maximum gross floor area - re	sidential	$190 \text{ m}^2 \text{ plus}$ 0.33 times the lot area
4.2.3.30.7	Minimum front yard		6.0 m
4.2.3.30.8	Minimum exterior side yard		4.5 m
4.2.3.30.9	Minimum interior side yard		2.1 m
4.2.3.30.10	Minimum rear yard		7.5 m
4.2.3.30.11	Minimum setback to a sight tria	angle	1.5 m
4.2.3.30.12	Maximum height - highest ridg G1 or G2-2 zone: sloped roof	ge on lots which abut or co	ntain a 10.8 m
4.2.3.30.13	Maximum height - highest ridg sloped roof	ge on all other lots:	9.5 m
4.2.3.30.14	Maximum height : flat roof		7.5 m
4.2.3.30.15	Maximum height of eaves on lo G2-2 zone: from average grade to lower ed		G1 or 7.7 m
4.2.3.30.16	Maximum height of eaves on all from average grade to lower ed	other lots:	6.4 m
4.2.3.30.17	Maximum encroachment of a po exterior side yard	orch or balcony into the re	equired 2.0 m
4.2.3.30.18	Maximum encroachment of win elements, with or without a four to, chimneys , media niches, pila	idation, such as, but not lin	
	(1) into the required front ,	rear or exterior side yard	l 1.0 m
	(2) into the required interio	or side yard	0.6 m
4.2.3.30.19	Minimum setback of a garage f	ace to the street line	6.0 m
4.2.3.30.20	Maximum encroachment of a signature of a signature of the second	de wall of a garage into the	e 1.5 m
4.2.3.30.21	Maximum projection of a garag first floor front wall or exterior dwelling		of the 0.0 m
4.2.3.30.22	Maximum setback of the first flow wall of a detached dwelling from main entry feature is provided		
4.2.3.30.23	Maximum garage width: from the inside face of the gara	ge side walls	8.0 m

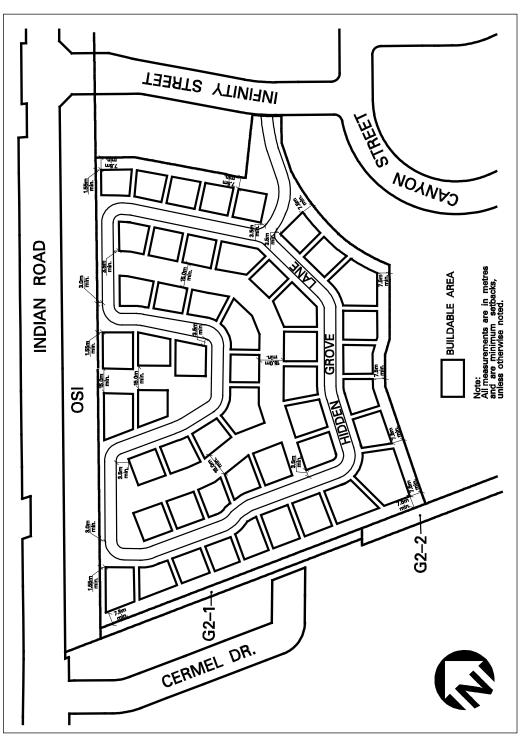
Exception R2-30 continued on next page

4.2.3.30	Exception: R2-30		Map # 08, 09	By-law: 03 0181-2018 2019 Febru	/LPAT Order
Exception R	2-30 con	tinued from previo	us page		
4.2.3.30.24		0 0	nly be permitted in a rear oned G2-2, subject to the f	•	
	(1)		side yard on the side of the driveway is located	the detached	3.0 m
	(2)	dwelling where th garages on two ac respective rear ya	side yard on the side of the mutual driveway is located igoining lots are located in ards and accessed by a mutual of the front lot line	ated, where a their	2.4 m
	 the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks 				
	(4)	minimum exterior side yard		3.0 m	
	(5)	maximum garage measured from the	width: e inside face of the garage	e side walls	11.0 m
	(6)	may be increased	width: e inside face of the garage to 13.2 m, if the garage w s set back a minimum of 3	vidth in	
	(7)	maximum garage measured from the rear garage wall	depth: e garage face to the inside	e face of the	7.5 m
	(8)		a garage roof shall have horizontal run of at least		
	(9)	maximum height sloped roof - excl ornamental feature	uding skylights, cupolas,	or other	6.6 m
	(10)	maximum height of from established a	of eaves: grade to lower edge of the	e eaves	4.5 m
	(11)	maximum gross fl	oor area		113 m ²
4.2.3.30.25		num setback of all b ming pools to a G2 z	uildings or structures, de zone	ecks and	3.0 m

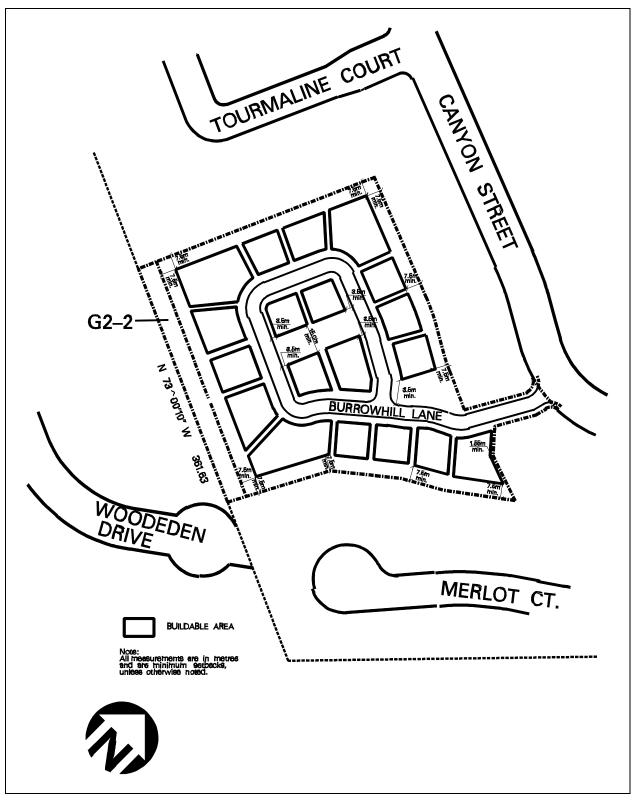
4.2.3.31	Excep R2-31	tion: (1) and R2-31(2)	Map # 08, 09		08-2011, /LPAT Order ary 15, 0208-2022	
R2 zone exce		31(2) zone the permi e following uses /regu	tted uses and applicable re ulations shall apply:	gulations shall b	e as specified for a	
Regulations						
4.2.3.31.1		num number of dwel 2-31(2)	ling units on all lands zon	ed R2-31(1)	69	
4.2.3.31.2	Maxir	num gross floor are a	a - residential per detache	ed dwelling	400 m ²	
4.2.3.31.3		num gross floor area d floor of a detached	on the	60.3 m ²		
4.2.3.31.4	Minin	Ainimum setback to a condominium road			4.5 m	
4.2.3.31.5	Minin	num detached dwelli	ng separation		3.1 m	
4.2.3.31.6		l or G2-2 zone:	t ridge on lots which abut	or contain	10.3 m	
4.2.3.31.7	Maxir sloped	0 0	t ridge on all other lots :		9.0 m	
4.2.3.31.8	Maxir flat ro	num height : oof			7.5 m	
4.2.3.31.9	G2-1 (or G2-2 zone:	on lots which abut or contail	ain a	5.8 m	
4.2.3.31.10	Maxir	Maximum height of eaves on all other lots : from established grade to lower edge of the lowest eave			4.5 m	
4.2.3.31.11	-	Height of all buildings and structures shall be measured from established grade				
4.2.3.31.12	Maxir	num projection of a p	orch or balcony:			
	(1)	Schedules R2-31(1	ble area identified on) and R2-31(2) of this Exc all of a detached dwelling Cace	•	0.3 m	
	(2)	Schedules R2-31(1 abutting a side wall	ble area identified on) and R2-31(2) of this Exc l of a detached dwelling n e face, which faces a d	•	2.0 m	
4.2.3.31.13	or wit		ndow and architectural ele ch as, but not limited to, c l corbels:			
	(1)	Schedules R2-31(1	ble area identified on) and R2-31(2) of this Exc l of a detached dwelling	eption	0.6 m	
	(2)	Schedules R2-31(1	ble area identified on) and R2-31(2) of this Exc all of a detached dwelling Cace	-	1.0 m	
	(3)	Schedules R2-31(1 abutting a side wall	ble area identified on) and R2-31(2) of this Exc l of a detached dwelling n e face , which faces a d		1.0 m	
	(4)	Schedules R2-31(1	ble area identified on) and R2-31(2) of this Exc of a detached dwelling	eption	1.0 m	

Exception R2-31(1) and R2-31(2) continued on next page

4.2.3.31	Exception: R2-31(1) and R2-31(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Or 2019 February 15, 02	
Exception R2	-31(1) and R2-31(2) continu	ed from previous page		
4.2.3.31.14	A detached garage shall no	t be permitted		
4.2.3.31.15	Minimum setback to garag	e face from a condominium i	road 5.5 1	n
4.2.3.31.16	Maximum projection of a garage face beyond any portion 0.0 m of the first floor front wall or exterior side wall of a detached dwelling			n
4.2.3.31.17		rst floor front wall or exterio r g from the garage face , where ided		n
4.2.3.31.18	Maximum garage width: measured from the inside fa	ace of the garage side walls	8.0 1	n
4.2.3.31.19	All site development plans Schedules R2-31(1) and R2			

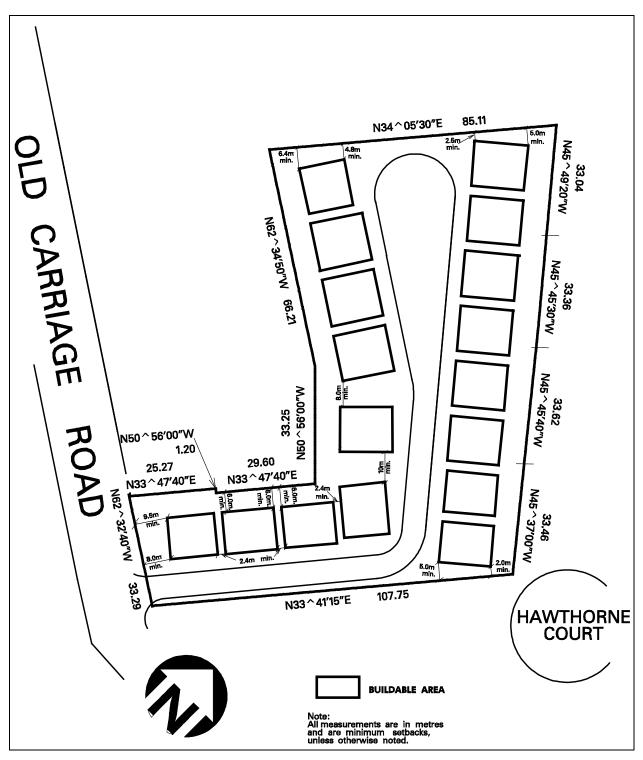


Schedule R2-31(1) Maps 08 and 09



Schedule R2-31(2) Map 09

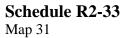
4.2.3.32	Exception: R2-32	Map # 16	-	81-2018/LPAT February 15,
	ne the permitted uses and appli ving uses /regulations shall appl		hall be as specified for	a R2 zone except
Regulations				
4.2.3.32.1	Maximum number of dwelli	ng units on all land	ls zoned R2-32	17
4.2.3.32.2	Maximum gross floor area	- residential per de	etached dwelling	275 m ²
4.2.3.32.3	Maximum gross floor area second storey of a detached		itted on the	75 m ²
4.2.3.32.4	Minimum setback to a conde	ominium road		4.5 m
4.2.3.32.5	Minimum setback to any lot	line		7.5 m
4.2.3.32.6	Minimum detached dwellin	g separation		3.0 m
4.2.3.32.7	Maximum height - highest i sloped roof	ridge:		8.0 m
4.3.2.32.8	Maximum height : flat roof			4.5 m
4.3.2.32.9	Height of all buildings and a established grade	s tructures shall be	measured from	
4.3.2.32.10	Maximum projection of a po identified on Schedule R2-32		ildable area	2.0 m
4.3.2.32.11	Maximum projection of a de identified on Schedule R2-32 wall of a detached dwelling	2 of this Exception,		3.8 m
4.3.2.32.12	Maximum projection of wind or without a foundation, such pilasters, corbels, and awning identified on Schedule R2-32	n as, but not limited gs outside the buil e	l to, chimneys ,	0.6 m
4.3.2.32.13	Minimum setback to garage	face from a condo	minium road	6.0 m
4.3.2.32.14	Minimum number of parkin	g spaces per dwell	ing unit	4
4.3.2.32.15	All site development plans sl this Exception	hall comply with S	chedule R2-32 of	



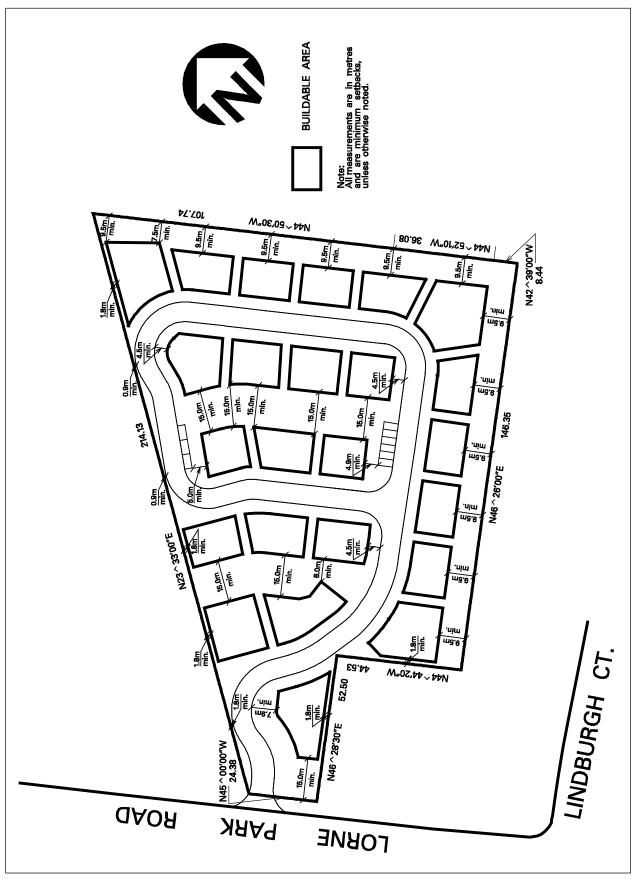
Schedule R2-32 Map 16

4.2.3.33	Exception: R2-33	-	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15, 0208-2022
	one the permitted uses and appli wing uses /regulations shall appl		pecified for a R2 zone except
Regulations			
4.2.3.33.1	Maximum number of dwelli	ng units on all lands zoned R	2-33 14
4.2.3.33.2	Maximum coverage of a det buildable area identified on	ached dwelling within each Schedule R2-33 of this Excep	288 m ²
4.2.3.33.3	Maximum gross floor area	residential per detached dw	velling 372 m^2
4.2.3.33.4	Minimum setback to a cond	ominium road	4.5 m
4.2.3.33.5	Minimum detached dwellin	g separation	3.0 m
4.2.3.33.6		detached dwelling and the C chedule R2-33 of this Excepti	
4.2.3.33.7		detached dwelling and the S chedule R2-33 of this Except	
4.2.3.33.8	Minimum setback from a ga	rage face to a condominium	road 6.0 m
4.2.3.33.9	Maximum height - highest i sloped roof	idge:	9.5 m
4.2.3.33.10	Height of all buildings and a established grade	structures shall be measured	from
4.2.3.33.11	Minimum number of parkin	g spaces per dwelling unit	4
4.2.3.33.12	Minimum number of visitor parking spaces		10
4.2.3.33.13	Maximum driveway width		8.5 m
4.2.3.33.14	All site development plans sl of this Exception	nall comply with Schedule R2	2-33
Holding Pro	vision		
	part of the lands zoned H-R2 Map 31 of Schedule B conta	be removed from the whole or -33 by further amendment to ined in Part 13 of this By-law of the following requirements:	, as
	 of Mississauga Plant additional visitor para abutting Folkway Dr (2) arrangements being of Mississauga Plant the Community Serve the Mullett Creek was linkage to the north applicant to bear the including all associa that the applicant has the City, including the 	made to the satisfaction of the ning and Building Department ices Department for a pathwa attershed to allow for pedestria and south of the site with the responsibility for construction	t for ds c City t and y in n n, n, nts of



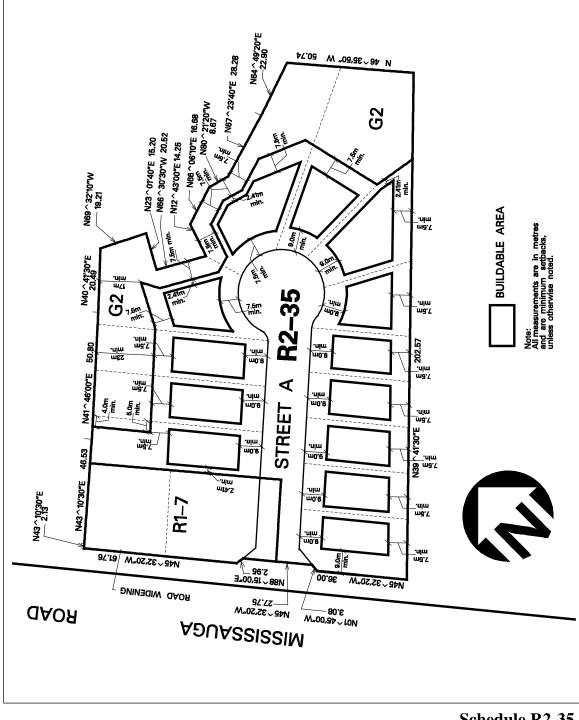


4.2.3.34	Exception: R2-34	Map # 09		81-2018/LPAT February 15,
	one the permitted uses and wing uses /regulations shal		all be as specified for	a R2 zone except
Regulations				
4.2.3.34.1	Maximum number of d	welling units on all lands	s zoned R2-34	24
4.2.3.34.2		a detached dwelling with ed on Schedule R2-34 of		195 m ²
4.2.3.34.3	Maximum gross floor	area - residential per det	ached dwelling	260 m ²
4.2.3.34.4	Maximum gross floor area - residential, permitted on the second storey of a detached dwelling			65 m ²
4.2.3.34.5	Minimum setback to a condominium road			4.5 m
4.2.3.34.6	Minimum detached dv	velling separation		3.6 m
4.2.3.34.7	Minimum setback from	n a garage face to a cond	ominium road	6.0 m
4.2.3.34.8	Maximum height - hig sloped roof	hest ridge:		7.5 m
4.2.3.34.9	Height of all buildings established grade	s and structures shall be a	measured from	
4.2.3.34.10	Minimum number of parking spaces per dwelling unit			4
4.2.3.34.11	Maximum driveway width			8.5 m
4.2.3.34.12	Minimum number of vi	isitor parking spaces		9
4.2.3.34.13	All site development pl of this Exception	ans shall comply with Sch	hedule R2-34	



Schedule R2-34 Map 09

4.2.3.35	Exception: R2-35	Map # 24	By-law: 0208-2022
	one the permitted uses and a wing uses /regulations shall		all be as specified for a R2 zone except
Regulations			
4.2.3.35.1	Minimum lot area		730 m^2
4.2.3.35.2	Minimum lot frontage		18.3 m
4.2.3.35.3	Minimum interior side	yard	1.8 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.35.4	Accessory buildings an rear yard	d structures shall only b	be located in a
4.2.3.35.5	Porches and decks shall identified on Schedule F		able area
4.2.3.35.6	All site development pla of this Exception	ns shall comply with Sc	hedule R2-35



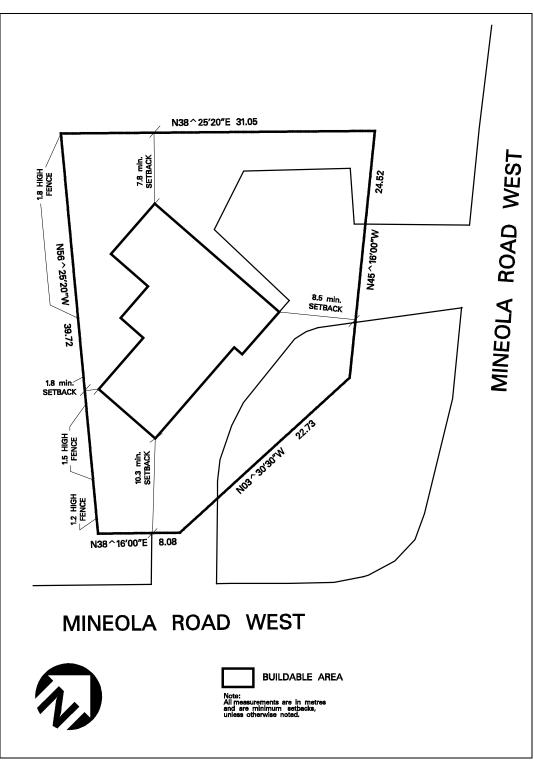
Schedule R2-35 Map 24

4.2.3.36	Exception: R2-36	Map # 31	By-law:
L DO OC			
	ne the permitted uses and app ving uses /regulations shall app		as specified for a R2 zone except
Regulations			
4.2.3.36.1	Minimum lot area - interio	or lot	600 m ²
4.2.3.36.2	Minimum lot area - corner	: lot	700 m^2
4.2.3.36.3	Maximum lot coverage		43%
4.2.3.36.4	Minimum front yard	6.5 m	
4.2.3.36.5	Minimum exterior side ya	rd	4.5 m
4.2.3.36.6	Minimum interior side yaı	rd - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.3.36.7	Minimum interior side yar	rd - corner lot	1.2 m

4.2.3.37	Exception: R2-37	Map # 31	By-law:			
	In a R2-37 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.37.1	Minimum interior side yar	rd - detached dwelling	2.4 m			
4.2.3.37.2	Minimum interior side yard - attached garage 1.8 m					
4.2.3.37.3	Minimum rear yard - inter	rior lot	16.0 m			
4.2.3.37.4	Minimum setback of all bu swimming pools to the rea	8	1 16.0 m			

4.2.3.38	Exception: R2-38	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30	
	one the applicable regulations shall apply:	ons shall be as specified f	For a R2 zone except that the following	
Permitted U	Jses			
4.2.3.38.1	Lands zoned R2-38 sha	all only be used for the fo	llowing:	
	 (1) Detached Dwo (2) Office (3) Medical Offic 	C		
Regulations	8			
4.2.3.38.2	Minimum lot frontage	Minimum lot frontage - interior lot		
4.2.3.38.3	Maximum height - hig sloped roof	dwelling : 9.5 m		
4.2.3.38.4	Maximum height of a flat roof	detached dwelling:	7.5 m	
4.2.3.38.5	Maximum height of ea from average grade to	ves of a detached dwelli lower edge of eaves	ng : 6.4 m	
4.2.3.38.6	Maximum dwelling ur	nit depth	20.0 m	
4.2.3.38.7		office - restricted shall c ntained in Subsection 4.2		
	(1) minimum lot f	rontage - interior lot	22.5 m	
	(2) maximum gro	ss floor area - non-reside	ential 131 m^2	

4.2.3.39	Exception: R2-39	Map # 08	By-law:		
In a R2-39 zone uses/regulation		shall be as specified for a R2 z	one except that the following		
Permitted Use	S				
4.2.3.39.1	Lands zoned R2-39 shall or	nly be used for the following:			
	 Detached Dwelling or Office Medical Office - Restricted 				
Regulations					
4.2.3.39.2	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) maximum gross flo) maximum gross floor area - non-residential 195 m ²			
	(2) all site developmen Schedule R2-39 of	t plans shall comply with this Exception			

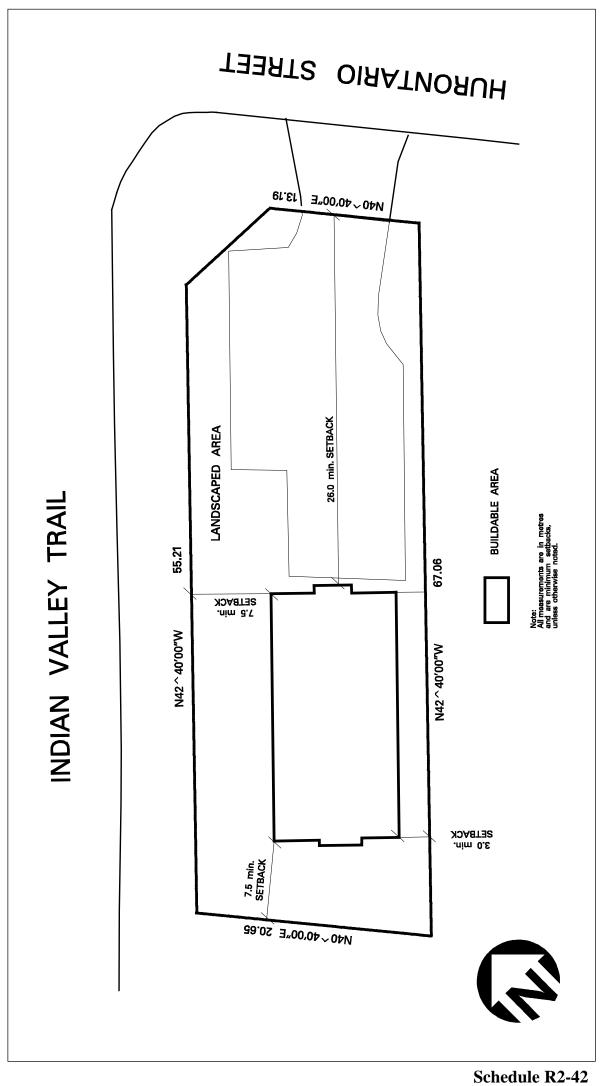


Schedule R2-39 Map 08

4.2.3.40	Exception: R2-40	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
	one the applicable regulati ons shall apply:	ons shall be as specified for a	a R2 zone except that the following
Permitted U	Ises		
4.2.3.40.1	Lands zoned R2-40 sha	all only be used for the follow	wing:
	 (1) Detached Dwe (2) Office (3) Medical Office 	C	
Regulations			
4.2.3.40.2	Minimum lot frontage	e - interior lot	30.0 m
4.2.3.40.3	Maximum height - hi g sloped roof	velling: 9.5 m	
4.2.3.40.4	Maximum height of a flat roof	7.5 m	
4.2.3.40.5	Maximum height of eaves of a detached dwelling : 6. from average grade to lower edge of eaves		
4.2.3.40.6	Maximum dwelling u	nit depth	20.0 m
4.2.3.40.7	7 An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot f	frontage - interior lot	30.0 m
	(2) maximum gro	ss floor area - non-resident	ial 465 m^2
	(3) maximum nun tandem parki	nber of parking spaces that 1 ng spaces	may be 2

4.2.3.41	Exception: R2-41	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30		
	one the applicable regulations shall apply:	ons shall be as specified for	or a R2 zone except that the following		
Permitted U	Jses				
4.2.3.41.1	Lands zoned R2-41 sha	all only be used for the fol	llowing:		
	 Detached Dwo Office Medical Office 	C			
Regulations					
4.2.3.41.2	Minimum lot frontage	- interior lot	30.0 m		
4.2.3.41.3	Maximum height - hig sloped roof	Maximum height - highest ridge of a detached dwelling : 9.5 m sloped roof			
4.2.3.41.4	Maximum height of a flat roof	detached dwelling:	7.5 m		
4.2.3.41.5	÷	Maximum height of eaves of a detached dwelling : 6.4 m from average grade to lower edge of eaves			
4.2.3.41.6	Maximum dwelling un	it depth	20.0 m		
4.2.3.41.7	An office and medical office -restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot f	rontage - interior lot	30.0 m		
	(2) maximum gros	ss floor area - non-reside	ential 225 m^2		
	(3) maximum num tandem parki	ber of parking spaces than ng spaces	at may be 2		
	(4) minimum aisle	width	4.0 m		

4.2.3.42	Exception: R2-42	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30			
	one the applicable regu	lations shall be as specified f	for a R2 zone except that the following			
Permitted U	ses					
4.2.3.42.1	Lands zoned R2-42	shall only be used for the fol	llowing:			
	(2) Office	(2) Office				
Regulations						
4.2.3.42.2	Minimum lot front	age - corner lot	20.0 m			
4.2.3.42.3	Maximum height - highest ridge of a detached dwelling : 9. sloped roof					
4.2.3.42.4	Maximum height o flat roof	f a detached dwelling :	7.5 m			
4.2.3.42.5	e e	Maximum height of eaves of a detached dwelling : 6.4 m from average grade to lower edge of eaves				
4.2.3.42.6	Maximum dwellin g	g unit depth	20.0 m			
4.2.3.42.7		An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum l	ot frontage - corner lot	20.0 m			
	(2) maximum	gross floor area - non-reside	ential 420 m^2			
		number of parking spaces th rking spaces	at may be 4			
		elopment plans shall comply 2-42 of this Exception	with			



Map 08

4.2.3.43	Exception: R2-43	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
	one the applicable regulati ons shall apply:	ons shall be as specified f	for a R2 zone except that the following
Permitted U	Jses		
4.2.3.43.1	Lands zoned R2-43 sha	all only be used for the fo	llowing:
	 (1) Detached Dwo (2) Office (3) Medical Office 	U	
Regulations			
4.2.3.43.2	Minimum lot frontage	30.0 m	
4.2.3.43.3	Maximum height - hig sloped roof	dwelling : 9.5 m	
4.2.3.43.4	Maximum height of a flat roof	detached dwelling:	7.5 m
4.2.3.43.5	Maximum height of ea from average grade to	ves of a detached dwelli n lower edge of eaves	ng : 6.4 m
4.2.3.43.6	Maximum dwelling u	nit depth	20.0 m
4.2.3.43.7		office - restricted shall c ntained in Subsection 4.2	
	(1) minimum lot f	rontage - interior lot	30.0 m
	(2) maximum gro	ss floor area - non-reside	ential 180 m^2

4.2.3.44	Exception: R2-44	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30		
In a R2-44 zon uses /regulation		s shall be as specified for	a R2 zone except that the following		
Permitted Use	es				
4.2.3.44.1	Lands zoned R2-44 shall	only be used for the follo	wing:		
	 Detached Dwelling or Office Medical Office - Restricted 				
Regulations					
4.2.3.44.2	Minimum lot frontage - i	nterior lot	30.0 m		
4.2.3.44.3	Maximum height - highe sloped roof	velling: 9.5 m			
4.2.3.44.4	Maximum height of a detached dwelling: 7.5 m flat roof				
4.2.3.44.5	Maximum height of eaves of a detached dwelling : 6.4 m from average grade to lower edge of eaves				
4.2.3.44.6	Maximum dwelling unit	depth	20.0 m		
4.2.3.44.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:				
	(1) minimum lot from	ntage - interior lot	30.0 m		
	(2) maximum total g	ross floor area - non-res	idential 420 m ²		
	(3) minimum rear ya restricted	ard for an office and med	ical office - 12.0 m		

4.2.3.45	Excep	otion: R2-45	Map # 44W	By-law:		
In a R2-45 zc uses /regulation			ons shall be as specified f	or a R2 zone except that th	he following	
Permitted U	ses					
4.2.3.45.1	Lands zoned R2-45 shall only be used for the following:					
	 (1) (2) (3) (4) (5) 	Detached Dwe Restaurant Office Medical Office Day Care				
Regulations						
4.2.3.45.2	shall	comply with the R	Addical office - restricted 2 zone regulations conta By-law except that:	-		
	(1)	a restaurant, office and medical office - restricted shall be contained within the existing detached dwelling , being the Brown-Vooro house, and its existing accessory structure				
	(2)	a day care shal	l only be permitted withi ling, being the Brown-Ve			
	(3)	notwithstanding Exception, the g existing at the t	g Clauses 4.2.3.45.2(1) at gross floor area - non-re- time of passing of this By maximum of 3 m^2	nd (2) of this e sidential		
4.2.3.45.3	•	equipment access yard	ory to a day care may be	e located in a		

4.2.3.46	Except	ion: R2-46	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15
In a R2-46 zon uses /regulation		, v	hall be as specified for a R2 z	zone except that the following
Permitted Use	S			
4.2.3.46.1	Lands	zoned R2-46 shall or	ly be used for the following:	
	(1) (2) (3)	Detached Dwelling Office Medical Office - R	-	
Regulations				
4.2.3.46.2		e regulations contain	ce - restricted shall comply we die din Subsection 4.2.1 of this	
	(1)	maximum gross flo	oor area - non-residential	200 m ²
	(2)	minimum front ya	rd - interior lot	7.0 m
	(3)	minimum interior	side yard - interior lot	2.5 m
	(4)	minimum rear yar	d - interior lot	61.8 m
	(5)		of parking spaces per 100 m ² non-residential used for an o	

4.2.3.47	Excep	otion: R2-47	Map # 08	By-law:		
In a R2-47 zo uses /regulati			shall be as specified for a R2	zone except that the following		
Permitted U	ses					
4.2.3.47.1	Lands	zoned R2-47 shall o	nly be used for the following:			
	(1) (2) (3) (4)	Veterinary clinic Office in a detach	Detached Dwelling or Veterinary clinic in a detached dwelling Office in a detached dwelling Medical office - restricted in a detached dwelling			
Regulations						
4.2.3.47.2	combi with t	ination thereof withir	e, medical office - restricted on a detached dwelling shall constant contained in Subsection 4.2	omply		
	(1)	·	c, office, medical office - rest hereof, shall be contained with dwelling			
	(2)	minimum lot fron	tage - interior lot	30.0 m		
	(3)	maximum total gr	oss floor area	460 m ²		
	(4)		oor area - non-residential us office, medical office - restri hereof			
	(5)	minimum front ya	ard - interior lot	9.0 m		
	(6)	minimum interior	side yard - interior lot	3.5 m		
	(7)	minimum rear ya i	rd - interior lot	7.5 m		
	(8)	maximum height · sloped roof	- highest ridge:	9.5 m		
	(9)	maximum height : flat roof		7.5 m		
	(10)	maximum height o from average gra	of eaves: de to lower edge of the eaves	6.4 m		
	(11)	parking shall only	be permitted in the front yar	d		
	(12)	minimum setback	of the parking to the front lot	4.5 m		
	(13)	maximum number	of parking spaces	10		

4.2.3.48	Exception: R2-48	Map # 31	By-law:			
	In a R2-48 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.48.1	Minimum lot area - inter i	or lot	610 m ²			
4.2.3.48.2	Minimum lot area - corne	er lot	760 m^2			
4.2.3.48.3	Minimum lot frontage - in	Minimum lot frontage - interior lot that abuts a G1 zone				
4.2.3.48.4	Minimum lot frontage - c	orner lot that abuts a G1	zone 20.0 m			
4.2.3.48.5	Minimum front yard		7.5 m			
4.2.3.48.6	Minimum exterior side ya	ard	6.0 m			
4.2.3.48.7	Minimum interior side ya	rd	1.2 m + 0.61 m fo each additional stor or portion thereof above one storey			

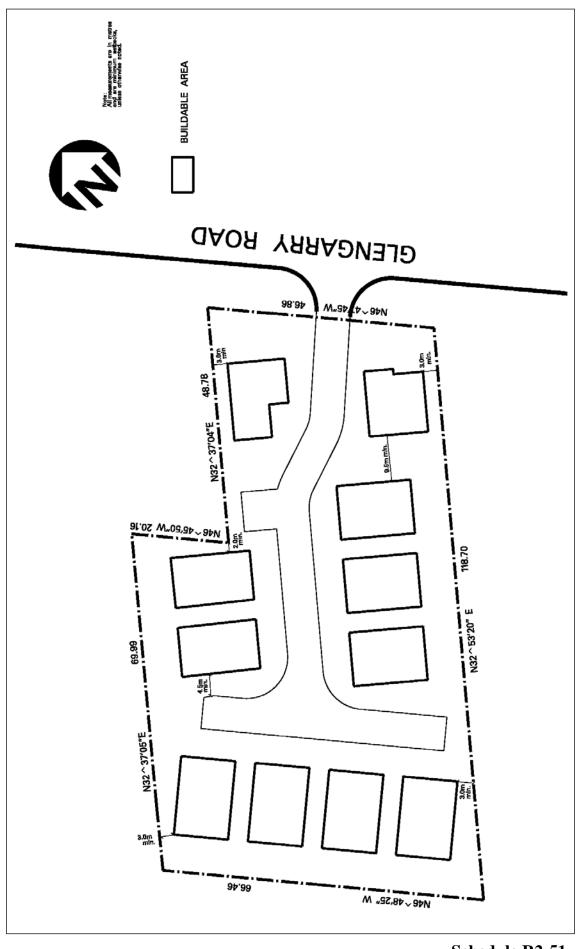
4.2.3.49	Exception: R2-49	Map # 25	By-law:			
In a R2-49 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:						
Regulations	Regulations					
4.2.3.49.1	4.2.3.49.1 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply					
4.2.3.49.2	Access to all lots shall be via a common frontage on Council Ring Road					

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
	one the permitted uses and a wing uses /regulations shall		as specified for a R2 zone except
Regulations			
4.2.3.50.1	Maximum lot coverage		25%
4.2.3.50.2	Maximum gross floor a	rea - infill residential	150 m ² plus 0.2 times the lot area
4.2.3.50.3	Minimum front yard		7.5 m
4.2.3.50.4	Minimum interior side	yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.50.5	Minimum setback to ga	rage face - interior lot	7.5 m
4.2.3.50.6	Maximum height - higł sloped roof	nest ridge:	9.0 m
4.2.3.50.7	Maximum height : flat roof		7.5 m
4.2.3.50.8	Maximum height of eav from average grade to a		6.4 m

Exception R2-50 continued on next page

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15	
Exception R2-	50 continued from previous	s page		
4.2.3.50.9	Garage projection:2.0 mmaximum projection of the garage beyond the front wall or2.0 mexterior side wall of the first storey2.0 m			
4.2.3.50.10	Maximum dwelling unit de	20.0 m		

4.2.3.51	Exception: R2-51	Map # 16		206-2008, /LPAT Order uary 15, 0208-2022
	ne the permitted uses and app ving uses /regulations shall app		be as specified fo	r a R2 zone except
Regulations				
4.2.3.51.1	Maximum number of dwe	lling units on all lands zo	oned R2-51	11
4.2.3.51.2	Maximum gross floor are	a - residential per detacl	ned dwelling	297 m ²
4.2.3.51.3	Minimum interior side ya Schedule R2-51 of this Ex		ified on	7.5 m
4.2.3.51.4	Minimum setback of a det condominium road or sid on Schedule R2-51 of this	ewalk unless otherwise ic	lentified	3.3 m
4.2.3.51.5	Minimum setback from a	garage face to a condomi	inium road	6.0 m
4.2.3.51.6	Minimum detached dwell identified on Schedule R2-		erwise	4.0 m
4.2.3.51.7	Maximum projection of a buildable area identified			1.8 m
4.2.3.51.8	Maximum projection of a identified on Schedule R2-		le area	1.8 m
4.2.3.51.9	Maximum projection of ar chimney , pilaster or corbe on Schedule R2-51 of this	l outside the buildable an		0.6 m
4.2.3.51.10	Height of all buildings an established grade	d structures shall be mea	asured from	
4.2.3.51.11	All site development plans of this Exception	shall comply with Sched	ule R2-51	



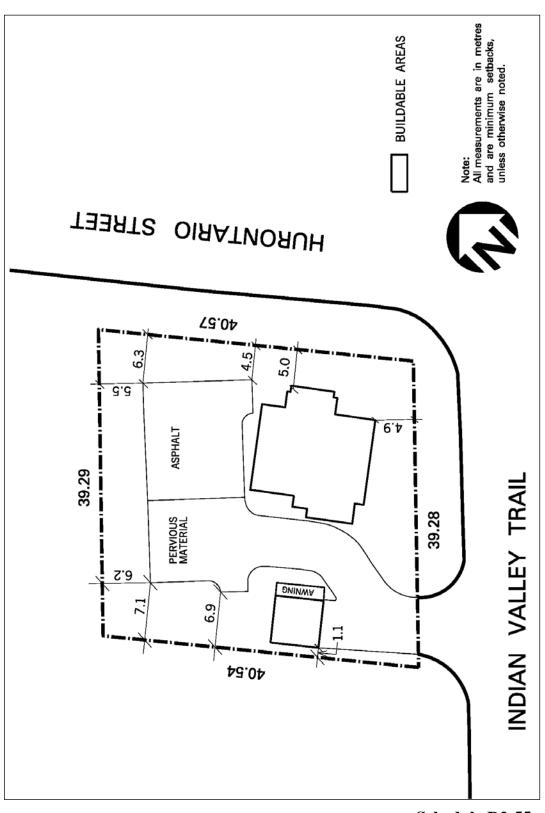
Schedule R2-51 Map 16

4.2.3.52	Exception: R2-52	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09
	ne the applicable regulations shall apply:	ons shall be as specified for a R2 z	one except that the following
Permitted Us	ses		
4.2.3.52.1	Lands zoned R2-52 sha	all only be used for the following:	
	 (1) Detached Dw (2) Office with or 	elling or ne dwelling unit	
Use Not Perr	nitted		
4.2.3.52.2	(1) <i>deleted</i>		
Regulations			
4.2.3.52.3	Minimum lot frontage	- interior lot	30.0 m
4.2.3.52.4	Maximum gross floor	area	467 m ²
4.2.3.52.5	Maximum gross floor	area - non-residential	365 m ²
4.2.3.52.6	Minimum interior side	e yard - interior lot	1.2 m + 0.61 m for each additional storey , or portion thereof above one storey
4.2.3.52.7	Minimum depth of a la lot line that is a street	ndscaped buffer measured from a line	a 7.5 m

4.2.3.53	Exception: R2-53	Map # 44W	By-law: 0199-2010, 0308-2011			
	In a R2-53 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:					
Regulations						
4.2.3.53.1	Minimum lot area - interio	660 m ²				
4.2.3.53.2	Minimum lot area - corner	: lot	730 m ²			
4.2.3.53.3	Minimum exterior side ya	rd	7.0 m			
4.2.3.53.4	Maximum projection of the front wall or exterior side	garage beyond any portion o wall of the first storey	f the 0.0 m			

4.2.3.54	Exception: R2-54	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
	ne the permitted uses and a ving uses /regulations shall a		s specified for a R2 zone except
Regulations			
4.2.3.54.1	Maximum lot coverage		30%
4.2.3.54.2	Maximum gross floor ar	rea - infill residential	190 m ² plus 0.2 times the lot area
4.2.3.54.3	Minimum front yard		7.5 m
4.2.3.54.4	Minimum interior side y	vard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.54.5	Minimum setback to gar	age face - interior lot	7.5 m
4.2.3.54.6	Maximum height - high sloped roof	est ridge:	9.0 m
4.2.3.54.7	Maximum height : flat roof		7.5 m
4.2.3.54.8	Maximum height of eave from average grade to le		6.4 m
4.2.3.54.9	Garage projection: maximum projection of t exterior side wall of the	he garage beyond the front wa first storey	2.0 m
4.2.3.54.10	Maximum dwelling unit	depth	20.0 m

4.2.3.55	Exception: R2-55	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30	
	one the applicable regulation on shall apply:	ons shall be as specified for a	R2 zone except that the following	
Permitted U	Jse			
4.2.3.55.1	Lands zoned R2-55 sha	Il only be used for the follow:	ing:	
		elling or e (1) dwelling unit or e - restricted with one (1) dw	elling unit	
Regulations				
4.2.3.55.2	Minimum lot frontage	- corner lot	35.0 m	
4.2.3.55.3	Minimum centre line se	Minimum centre line setback from Hurontario Street		
4.2.3.55.4	Maximum height - hig sloped roof	elling: 9.5 m		
4.2.3.55.5	Maximum height of a d flat roof	detached dwelling:	7.5 m	
4.2.3.55.6	Maximum height of ea from average grade to	ves of a detached dwelling : lower edge of eaves	6.4 m	
4.2.3.55.7	Maximum dwelling un	it depth	20.0 m	
4.2.3.55.8		office - restricted shall comp ntained in Subsection 4.2.1 of		
	(1) maximum gro	ss floor area - non-residentia	al 175 m^2	
	(2) maximum lot	coverage	15%	
	(3) maximum num tandem parki	iber of parking spaces that m ng spaces	hay be 2	
4.2.3.55.9	All site development pl this Exception	ans shall comply with Schedu	lle R2-55 of	



Schedule R2-55 Map 08