

4.2R1 TO R5 ZONES  
(DETACHED DWELLINGS - TYPICAL LOTS)

4.2.1R1 to R5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations.

**Table 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations**  
(0379-2009), (0190-2014), (0181-2018/LPAT Order 2019 February 15), (0111-2019/LPAT Order 2021 March 09), (0018-2021)

| Column A         |                            | B                                                                                                                         | C                               | D                               | E                       | F                    |
|------------------|----------------------------|---------------------------------------------------------------------------------------------------------------------------|---------------------------------|---------------------------------|-------------------------|----------------------|
| Line 1.0         | ZONES                      | R1                                                                                                                        | R2                              | R3                              | R4                      | R5                   |
| PERMITTED USES   |                            |                                                                                                                           |                                 |                                 |                         |                      |
| 2.0              | RESIDENTIAL                |                                                                                                                           |                                 |                                 |                         |                      |
| 2.1              | Detached Dwelling          | ✓ (1)                                                                                                                     | ✓ (1)                           | ✓ (1)                           | ✓ (1)                   | ✓ (1)                |
| ZONE REGULATIONS |                            |                                                                                                                           |                                 |                                 |                         |                      |
| 3.0              | MINIMUM LOT AREA           |                                                                                                                           |                                 |                                 |                         |                      |
| 3.1              | Interior lot               | 750 m <sup>2</sup>                                                                                                        | 695 m <sup>2</sup>              | 550 m <sup>2</sup>              | 365 m <sup>2</sup>      | 295 m <sup>2</sup>   |
| 3.2              | Corner lot                 | 835 m <sup>2</sup>                                                                                                        | 810 m <sup>2</sup>              | 720 m <sup>2</sup>              | 500 m <sup>2</sup>      | 415 m <sup>2</sup>   |
| 4.0              | MINIMUM LOT FRONTAGE       |                                                                                                                           |                                 |                                 |                         |                      |
| 4.1              | Interior lot               | 22.5 m                                                                                                                    | 18.0 m                          | 15.0 m                          | 12.0 m                  | 9.75 m               |
| 4.2              | Corner lot                 | 22.5 m                                                                                                                    | 21.0 m                          | 19.5 m                          | 16.5 m                  | 13.5 m               |
| 5.0              | MAXIMUM LOT COVERAGE       | 25%                                                                                                                       | 30%                             | 35%                             | 40%                     | 40%                  |
| 6.0              | MINIMUM FRONT YARD         |                                                                                                                           |                                 |                                 |                         |                      |
| 6.1              | Interior lot               | 9.0 m or 12.0 m where the lot abuts a lot with an existing front yard of 12.0 m or more on the same street <sup>(2)</sup> | 9.0 m <sup>(2)</sup>            | 7.5 m <sup>(2)</sup>            | 6.0 m <sup>(2)</sup>    | 4.5 m <sup>(2)</sup> |
| 6.2              | Corner lot                 | 7.5 m <sup>(2)</sup>                                                                                                      | 7.5 m <sup>(2)</sup>            | 6.0 m <sup>(2)</sup>            | 6.0 m <sup>(2)</sup>    | 4.5 m <sup>(2)</sup> |
| 6.3              | Garage face - interior lot | Equal to the front yard                                                                                                   | Equal to the front yard         | Equal to the front yard         | Equal to the front yard | 6.0 m                |
| 6.4              | Garage face - corner lot   | Equal to the front yard                                                                                                   | Equal to the front yard         | Equal to the front yard         | Equal to the front yard | 6.0 m                |
| 7.0              | MINIMUM EXTERIOR SIDE YARD | 7.5 m <sup>(2)</sup>                                                                                                      | 7.5 m <sup>(2)</sup>            | 6.0 m <sup>(2)</sup>            | 4.5 m <sup>(2)</sup>    | 4.5 m <sup>(2)</sup> |
| 7.1              | Garage face                | Equal to the exterior side yard                                                                                           | Equal to the exterior side yard | Equal to the exterior side yard | 6.0 m <sup>(2)</sup>    | 6.0 m <sup>(2)</sup> |

Table 4.2.1 continued on next page

| Column A                                 |                                                                                                                                                                                                                                                                                                                                                                                | B                                                                              | C                                                                                                          | D                                                                                                          | E                        | F                                                                               |
|------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|--------------------------|---------------------------------------------------------------------------------|
| Line 1.0                                 | ZONES                                                                                                                                                                                                                                                                                                                                                                          | R1                                                                             | R2                                                                                                         | R3                                                                                                         | R4                       | R5                                                                              |
| Table 4.2.1 continued from previous page |                                                                                                                                                                                                                                                                                                                                                                                |                                                                                |                                                                                                            |                                                                                                            |                          |                                                                                 |
| 8.0                                      | MINIMUM INTERIOR SIDE YARD                                                                                                                                                                                                                                                                                                                                                     |                                                                                |                                                                                                            |                                                                                                            |                          |                                                                                 |
| 8.1                                      | Interior lot                                                                                                                                                                                                                                                                                                                                                                   | 1.8 m on one side of the <b>lot</b> and 4.2 m on the other side <sup>(2)</sup> | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b> <sup>(2)</sup> | 1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b> <sup>(2)</sup> | 1.2 m <sup>(2)</sup>     | 1.2 m on one side of the <b>lot</b> and 0.61 m on the other side <sup>(2)</sup> |
| 8.2                                      | Corner lot                                                                                                                                                                                                                                                                                                                                                                     | 3.0 m <sup>(2)</sup>                                                           | 3.0 m <sup>(2)</sup>                                                                                       | 1.2 m + 0.61 m for each additional <b>storey</b> above one <b>storey</b> <sup>(2)</sup>                    | 1.2 m <sup>(2)</sup>     | 1.2 m <sup>(2)</sup>                                                            |
| 9.0                                      | MINIMUM REAR YARD                                                                                                                                                                                                                                                                                                                                                              |                                                                                |                                                                                                            |                                                                                                            |                          |                                                                                 |
| 9.1                                      | Interior lot                                                                                                                                                                                                                                                                                                                                                                   | 7.5 m <sup>(2)</sup>                                                           | 7.5 m <sup>(2)</sup>                                                                                       | 7.5 m <sup>(2)</sup>                                                                                       | 7.5 m <sup>(2)</sup>     | 7.5 m <sup>(2)</sup>                                                            |
| 9.2                                      | Corner lot                                                                                                                                                                                                                                                                                                                                                                     | 3.0 m <sup>(2)</sup>                                                           | 3.0 m <sup>(2)</sup>                                                                                       | 3.0 m <sup>(2)</sup>                                                                                       | 7.5 m <sup>(2)</sup>     | 7.5 m <sup>(2)</sup>                                                            |
| 10.0                                     | MAXIMUM HEIGHT                                                                                                                                                                                                                                                                                                                                                                 | 10.7 m                                                                         | 10.7 m                                                                                                     | 10.7 m                                                                                                     | 10.7 m                   | 10.7 m                                                                          |
| 11.0                                     | ENCROACHMENTS, PROJECTIONS AND SETBACKS                                                                                                                                                                                                                                                                                                                                        |                                                                                |                                                                                                            |                                                                                                            |                          |                                                                                 |
| 11.1                                     | Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided                                                                                                                                                                                                                                      | n/a                                                                            | n/a                                                                                                        | n/a                                                                                                        | n/a                      | 2.5 m                                                                           |
| 11.2                                     | Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>                                                                                                                                                                                                                                             | n/a                                                                            | n/a                                                                                                        | n/a                                                                                                        | n/a                      | 5.0 m                                                                           |
| 11.3                                     | For a <b>detached dwelling</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 75% of the width of the <b>garage</b> , measured from the inside face of the garage walls, shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> | n/a                                                                            | n/a                                                                                                        | n/a                                                                                                        | n/a                      | ✓                                                                               |
| 12.0                                     | ATTACHED GARAGE, PARKING AND DRIVEWAY                                                                                                                                                                                                                                                                                                                                          |                                                                                |                                                                                                            |                                                                                                            |                          |                                                                                 |
| 12.1                                     | Attached <b>garage</b>                                                                                                                                                                                                                                                                                                                                                         | Permitted <sup>(3)</sup>                                                       | Permitted <sup>(3)</sup>                                                                                   | Permitted <sup>(3)</sup>                                                                                   | Permitted <sup>(3)</sup> | Required <sup>(3)</sup>                                                         |
| 12.2                                     | Minimum <b>parking spaces</b>                                                                                                                                                                                                                                                                                                                                                  | ✓ <sup>(4)(5)</sup>                                                            | ✓ <sup>(4)(5)</sup>                                                                                        | ✓ <sup>(4)(5)</sup>                                                                                        | ✓ <sup>(4)(5)</sup>      | ✓ <sup>(4)(5)</sup>                                                             |

Table 4.2.1 continued on next page

| Column A                                 |                                                                                       | B                                                                                                                  | C                                                                                                                  | D                                                                                                                  | E                                                                                                                  | F                                                                                                                  |
|------------------------------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|
| Line 1.0                                 | ZONES                                                                                 | R1                                                                                                                 | R2                                                                                                                 | R3                                                                                                                 | R4                                                                                                                 | R5                                                                                                                 |
| Table 4.2.1 continued from previous page |                                                                                       |                                                                                                                    |                                                                                                                    |                                                                                                                    |                                                                                                                    |                                                                                                                    |
| 12.3                                     | Maximum <b>driveway</b> width <sup>(4)</sup>                                          | Width of garage door opening(s) plus 2.0 m up to a maximum of 8.5 m; if no garage door then maximum width of 6.0 m | Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m | Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m | Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m | Width of garage door opening(s) plus 2.0 m up to a maximum of 6.0 m; if no garage door then maximum width of 6.0 m |
| 12.4                                     | Minimum <b>landscaped soft area</b> in the <b>yard</b> containing the <b>driveway</b> | 40% of the <b>front yard</b> and/or <b>exterior side yard</b>                                                      | 40% of the <b>front yard</b> and/or <b>exterior side yard</b>                                                      | 40% of the <b>front yard</b> and/or <b>exterior side yard</b>                                                      | 40% of the <b>front yard</b> and/or <b>exterior side yard</b>                                                      | 30% of the <b>front yard</b> and/or <b>exterior side yard</b>                                                      |
| 13.0                                     | <b>ACCESSORY BUILDINGS AND STRUCTURES</b>                                             | ✓ <sup>(6)</sup>                                                                                                   | ✓ <sup>(6)</sup>                                                                                                   | ✓ <sup>(6)</sup>                                                                                                   | ✓ <sup>(6)</sup>                                                                                                   | ✓ <sup>(6)</sup>                                                                                                   |

- NOTES:
- (1)

See also Subsections 4.1.1, 4.1.16 and 4.1.17 of this By-law.
- (2)

See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (3)

See Subsection 4.1.12 of this By-law.
- (4)

See Subsection 4.1.9 of this By-law.
- (5)

See Part 3 of this By-law.
- (6)

See Subsection 4.1.2 of this By-law.
- (7)

*deleted by 0018-2021.*
- (8)

*(0379-2009), (0181-2018/LPAT Order 2019 February 15), deleted by 0018-2021.*
- (9)

*(0379-2009), (0181-2018/LPAT Order 2019 February 15), deleted by 0018-2021.*



4.2.2 R1 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Regulations, the regulations contained in Subsection 4.2.2 - R1 Infill Exception Regulations shall apply where specified by an R1 Exception Zone.

Table 4.2.2 - R1 Infill Exception Regulations

| Column A |                                                                                                                                                                                         | B                                                                                               |
|----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| Line     |                                                                                                                                                                                         |                                                                                                 |
| 1.0      | MINIMUM INTERIOR SIDE YARD                                                                                                                                                              |                                                                                                 |
| 1.1      | Interior lot                                                                                                                                                                            | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |
| 2.0      | MINIMUM COMBINED WIDTH OF SIDE <b>YARDS</b> :<br>interior lots having a <b>lot frontage</b> equal to or greater than 18.0 m                                                             |                                                                                                 |
| 2.1      | One (1) <b>storey detached dwelling</b>                                                                                                                                                 | 20% of the <b>lot frontage</b>                                                                  |
| 2.2      | Dwelling having more than one (1) <b>storey</b>                                                                                                                                         | 27% of the <b>lot frontage</b>                                                                  |
| 3.0      | MAXIMUM HEIGHT - <b>HIGHEST RIDGE</b> :<br>lots having a <b>lot frontage</b> equal to or greater than 22.5 m<br><br>sloped roof                                                         | 9.5 m                                                                                           |
| 4.0      | MAXIMUM HEIGHT - <b>HIGHEST RIDGE</b> :<br>lots having a <b>lot frontage</b> less than 22.5 m<br><br>sloped roof                                                                        | 9.0 m                                                                                           |
| 5.0      | MAXIMUM HEIGHT:<br><br>flat roof                                                                                                                                                        | 7.5 m                                                                                           |
| 6.0      | MAXIMUM HEIGHT OF EAVES:<br><br>from <b>average grade</b> to lower edge of the eaves                                                                                                    | 6.4 m                                                                                           |
| 7.0      | MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL                                                                                                                                           | 190 m <sup>2</sup> plus<br>0.20 times the <b>lot area</b>                                       |
| 8.0      | <b>GARAGE PROJECTION</b> :<br><br>maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b> (0325-2008), (0308-2011) | 0.0 m                                                                                           |
| 9.0      | MAXIMUM DWELLING UNIT DEPTH                                                                                                                                                             | 20.0 m                                                                                          |
| 10.0     | deleted by 0190-2014                                                                                                                                                                    |                                                                                                 |



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| 4.2.2.1                                                                                                                                                                 | Exception: R1-1                                                          | Map # 02, 07, 08 | By-law: 0226-2022 |
| In a R1-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                          |                  |                   |
| <b>Regulation</b>                                                                                                                                                       |                                                                          |                  |                   |
| 4.2.2.1.1                                                                                                                                                               | The regulations contained in Subsection 4.2.2 of this By-law shall apply |                  |                   |

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| 4.2.2.2                                                                                                                                                                 | Exception: R1-2                                                          | Map # 02, 03, 07, 08, 09 | By-law: |
| In a R1-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                          |                          |         |
| <b>Regulations</b>                                                                                                                                                      |                                                                          |                          |         |
| 4.2.2.2.1                                                                                                                                                               | The regulations contained in Subsection 4.2.2 of this By-law shall apply |                          |         |
| 4.2.2.2.2                                                                                                                                                               | Minimum <b>lot frontage</b>                                              |                          | 30.0 m  |

|                                                                                                                                                                         |                                                                          |          |                      |
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| 4.2.2.3                                                                                                                                                                 | Exception: R1-3                                                          | Map # 08 | By-law:              |
| In a R1-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                          |          |                      |
| <b>Regulations</b>                                                                                                                                                      |                                                                          |          |                      |
| 4.2.2.3.1                                                                                                                                                               | The regulations contained in Subsection 4.2.2 of this By-law shall apply |          |                      |
| 4.2.2.3.2                                                                                                                                                               | Minimum <b>lot area</b>                                                  |          | 1 160 m <sup>2</sup> |
| 4.2.2.3.3                                                                                                                                                               | Minimum <b>lot frontage</b>                                              |          | 24.0 m               |

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| 4.2.2.4                                                                                                                                                                 | Exception: R1-4                          | Map # 10 | By-law:              |
| In a R1-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                          |          |                      |
| <b>Regulations</b>                                                                                                                                                      |                                          |          |                      |
| 4.2.2.4.1                                                                                                                                                               | Minimum <b>lot area</b>                  |          | 2 160 m <sup>2</sup> |
| 4.2.2.4.2                                                                                                                                                               | Minimum <b>lot frontage</b>              |          | 45.0 m               |
| 4.2.2.4.3                                                                                                                                                               | Minimum setback from Clarkson Road North |          | 18.0 m               |

|                                                                                                                                                                         |                                                                                                                               |                                                                                                    |                   |
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| 4.2.2.5                                                                                                                                                                 | Exception: R1-5                                                                                                               | Map # 17                                                                                           | By-law: 0379-2009 |
| In a R1-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                               |                                                                                                    |                   |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                               |                                                                                                    |                   |
| 4.2.2.5.1                                                                                                                                                               | The provisions contained in Subsection 4.1.16 and 4.1.17 of this By-law shall not apply                                       |                                                                                                    |                   |
| 4.2.2.5.2                                                                                                                                                               | Minimum <b>lot area</b> - <b>interior lot</b> fronting on Mississauga Road                                                    | 2 023 m <sup>2</sup>                                                                               |                   |
| 4.2.2.5.3                                                                                                                                                               | Minimum <b>lot area</b> - all other <b>lots</b>                                                                               | 3 035 m <sup>2</sup>                                                                               |                   |
| 4.2.2.5.4                                                                                                                                                               | Minimum <b>lot frontage</b> - <b>interior lot</b> fronting on Mississauga Road                                                | 30.0 m                                                                                             |                   |
| 4.2.2.5.5                                                                                                                                                               | Minimum <b>lot frontage</b> - all other <b>lots</b>                                                                           | 38.0 m                                                                                             |                   |
| 4.2.2.5.6                                                                                                                                                               | Minimum <b>front yard</b> :                                                                                                   |                                                                                                    |                   |
|                                                                                                                                                                         | (1) where a <b>detached dwelling</b> is to be constructed adjacent to a <b>lot</b> with an <b>existing</b> dwelling           | distance equal to the <b>front yard</b> of the <b>existing</b> dwelling on the adjacent <b>lot</b> |                   |
|                                                                                                                                                                         | (2) where a <b>detached dwelling</b> is to be constructed between two (2) <b>lots</b> , each with an <b>existing</b> dwelling | distance equal to the average of the <b>front yards</b> of the two <b>existing</b> dwellings       |                   |
|                                                                                                                                                                         | (3) all other <b>lots</b>                                                                                                     | 12.0 m                                                                                             |                   |
| 4.2.2.5.7                                                                                                                                                               | Minimum <b>interior side yard</b>                                                                                             | 6.0 m                                                                                              |                   |
| 4.2.2.5.8                                                                                                                                                               | Tennis courts or any like recreational facilities shall not be permitted in the <b>front yard</b>                             |                                                                                                    |                   |

|                                                                                                                                                                         |                             |                      |         |
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| 4.2.2.6                                                                                                                                                                 | Exception: R1-6             | Map # 15             | By-law: |
| In a R1-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                             |                      |         |
| <b>Regulations</b>                                                                                                                                                      |                             |                      |         |
| 4.2.2.6.1                                                                                                                                                               | Minimum <b>lot area</b>     | 3 500 m <sup>2</sup> |         |
| 4.2.2.6.2                                                                                                                                                               | Minimum <b>lot frontage</b> | 30.0 m               |         |

|                                                                                                                                                                         |                                       |                      |         |
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| 4.2.2.7                                                                                                                                                                 | Exception: R1-7                       | Map # 10, 15, 24, 55 | By-law: |
| In a R1-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                       |                      |         |
| <b>Regulations</b>                                                                                                                                                      |                                       |                      |         |
| 4.2.2.7.1                                                                                                                                                               | Minimum <b>lot area</b>               | 1 140 m <sup>2</sup> |         |
| 4.2.2.7.2                                                                                                                                                               | Minimum <b>lot frontage</b>           | 30.0 m               |         |
| 4.2.2.7.3                                                                                                                                                               | Minimum setback from Mississauga Road | 9.0 m                |         |



|                                                                                                                                                                         |                             |                      |         |
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| 4.2.2.8                                                                                                                                                                 | Exception: R1-8             | Map # 15, 16         | By-law: |
| In a R1-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                             |                      |         |
| <b>Regulations</b>                                                                                                                                                      |                             |                      |         |
| 4.2.2.8.1                                                                                                                                                               | Minimum <b>lot area</b>     | 1 400 m <sup>2</sup> |         |
| 4.2.2.8.2                                                                                                                                                               | Minimum <b>lot frontage</b> | 30.0 m               |         |

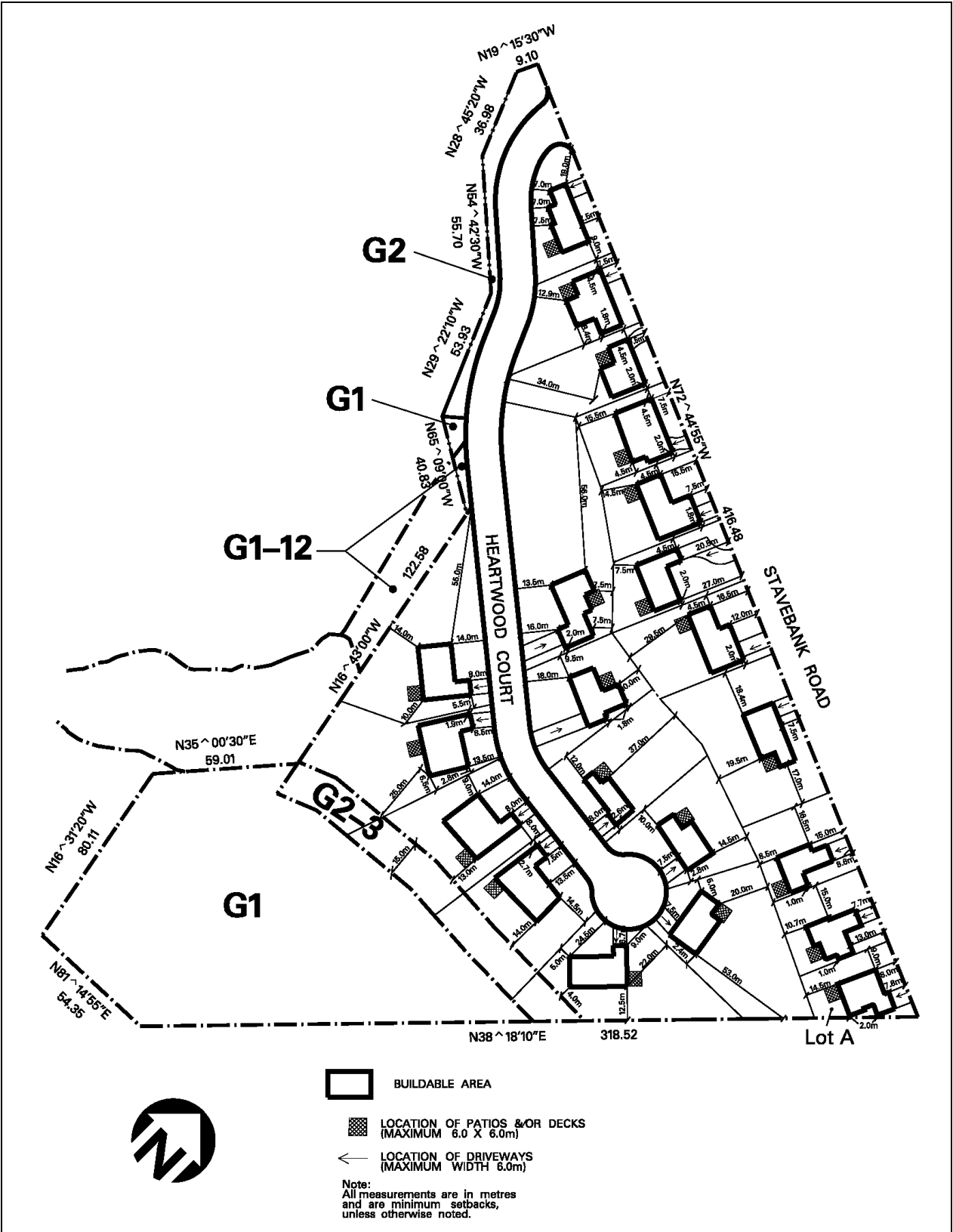
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|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|-------------------------------------------------------------------------------------------------|---------|
| 4.2.2.9                                                                                                                                                                 | Exception: R1-9                          | Map # 16                                                                                        | By-law: |
| In a R1-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                          |                                                                                                 |         |
| <b>Regulations</b>                                                                                                                                                      |                                          |                                                                                                 |         |
| 4.2.2.9.1                                                                                                                                                               | Maximum <b>lot coverage</b>              | 35%                                                                                             |         |
| 4.2.2.9.2                                                                                                                                                               | Minimum <b>front yard - interior lot</b> | 7.5 m                                                                                           |         |
| 4.2.2.9.3                                                                                                                                                               | Minimum <b>front yard - corner lot</b>   | 6.0 m                                                                                           |         |
| 4.2.2.9.4                                                                                                                                                               | Minimum <b>exterior side yard</b>        | 6.0 m                                                                                           |         |
| 4.2.2.9.5                                                                                                                                                               | Minimum <b>interior side yard</b>        | 1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |         |

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| 4.2.2.10                                                                                                                                                                 | Exception: R1-10                                                                           | Map # 24                                                                                        | By-law: |
| In a R1-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                            |                                                                                                 |         |
| <b>Regulations</b>                                                                                                                                                       |                                                                                            |                                                                                                 |         |
| 4.2.2.10.1                                                                                                                                                               | Minimum <b>lot area</b>                                                                    | 803 m <sup>2</sup>                                                                              |         |
| 4.2.2.10.2                                                                                                                                                               | Minimum <b>lot frontage</b>                                                                | 18.1 m                                                                                          |         |
| 4.2.2.10.3                                                                                                                                                               | Minimum <b>interior side yard - interior lot</b>                                           | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |         |
| 4.2.2.10.4                                                                                                                                                               | Maximum <b>height - highest ridge: sloped roof</b>                                         | 9.5 m                                                                                           |         |
| 4.2.2.10.5                                                                                                                                                               | Maximum <b>height: flat roof</b>                                                           | 9.5 m                                                                                           |         |
| 4.2.2.10.6                                                                                                                                                               | Minimum number of <b>parking spaces per dwelling unit</b>                                  | 2                                                                                               |         |
| 4.2.2.10.7                                                                                                                                                               | Maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>                | 0.0 m                                                                                           |         |
| 4.2.2.10.8                                                                                                                                                               | Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls | 5.5 m                                                                                           |         |
| 4.2.2.10.9                                                                                                                                                               | Maximum <b>driveway</b> width per <b>lot</b>                                               | 5.5 m                                                                                           |         |

|                                                                                                                                                                          |                                                                                                   |                                                |                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|------------------------------------------------|-------------------|
| 4.2.2.11                                                                                                                                                                 | Exception: R1-11                                                                                  | Map # 31                                       | By-law: 0308-2011 |
| In a R1-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                   |                                                |                   |
| <b>Regulations</b>                                                                                                                                                       |                                                                                                   |                                                |                   |
| 4.2.2.11.1                                                                                                                                                               | Maximum <b>lot coverage</b>                                                                       | 35%                                            |                   |
| 4.2.2.11.2                                                                                                                                                               | Minimum <b>front yard</b>                                                                         | 6.5 m                                          |                   |
| 4.2.2.11.3                                                                                                                                                               | Minimum <b>exterior side yard</b>                                                                 | 4.5 m                                          |                   |
| 4.2.2.11.4                                                                                                                                                               | Minimum <b>interior side yard - interior lot</b>                                                  | 1.2 m on one side and 0.61 m on the other side |                   |
| 4.2.2.11.5                                                                                                                                                               | Minimum <b>interior side yard - corner lot</b>                                                    | 1.2 m                                          |                   |
| 4.2.2.11.6                                                                                                                                                               | Minimum setback to the <b>rear lot line</b> , where lands contain or abut a G2-3 or G2-4(12) zone | 29.0 m                                         |                   |

|                                                                                                                                                                          |                           |           |         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|-----------|---------|
| 4.2.2.12                                                                                                                                                                 | Exception: R1-12          | Map # 38W | By-law: |
| In a R1-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                           |           |         |
| <b>Regulation</b>                                                                                                                                                        |                           |           |         |
| 4.2.2.12.1                                                                                                                                                               | Minimum <b>front yard</b> | 7.5 m     |         |

|                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |          |                              |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|------------------------------|
| 4.2.2.13                                                                                                                                                                 | Exception: R1-13                                                                                                                                                                                                                                                                                                                                                                                                                                          | Map # 15 | By-law: 0325-2008, 0208-2022 |
| In a R1-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |          |                              |
| <b>Regulations</b>                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |          |                              |
| 4.2.2.13.1                                                                                                                                                               | Minimum <b>lot area</b>                                                                                                                                                                                                                                                                                                                                                                                                                                   |          | 1 200 m <sup>2</sup>         |
| 4.2.2.13.2                                                                                                                                                               | Minimum <b>lot area</b> - Lot 'A' identified on Schedule R1-13 of this Exception                                                                                                                                                                                                                                                                                                                                                                          |          | 995 m <sup>2</sup>           |
| 4.2.2.13.3                                                                                                                                                               | Minimum <b>lot frontage</b>                                                                                                                                                                                                                                                                                                                                                                                                                               |          | 23.5 m                       |
| 4.2.2.13.4                                                                                                                                                               | The areas outside the <b>buildable areas</b> and <b>driveway</b> locations identified on Schedule R1-13 of this Exception are tree preservation areas and shall only be used for conservation purposes and no <b>buildings</b> or <b>structures, swimming pools</b> , tennis courts or any like recreational facilities shall be permitted outside the <b>buildable areas</b> , except for fences along the <b>lot lines</b> , patios and/or <b>decks</b> |          |                              |
| 4.2.2.13.5                                                                                                                                                               | All site development plans shall comply with Schedule R1-13 of this Exception                                                                                                                                                                                                                                                                                                                                                                             |          |                              |



Schedule R1-13  
Map 15

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**Part 4 - Residential Zones**

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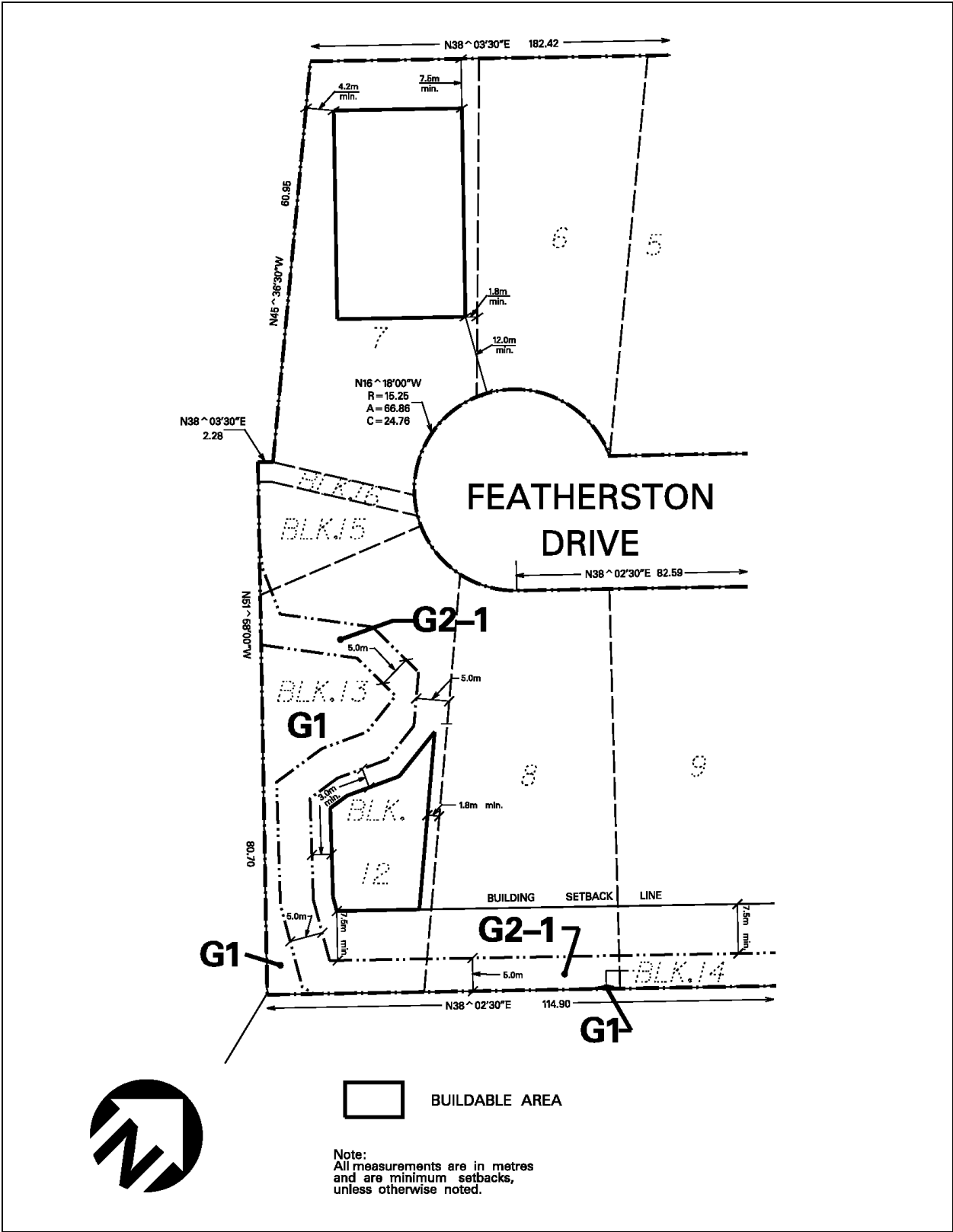
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| 4.2.2.14                                                                                                                                                                | Exception: R1-14                                                                                                                                                   | Map # 31                                                                                        | By-law: 0308-2011 |
| In a R1-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                                                                    |                                                                                                 |                   |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                                                                    |                                                                                                 |                   |
| 4.2.2.14.1                                                                                                                                                              | Maximum <b>lot coverage</b>                                                                                                                                        | 35%                                                                                             |                   |
| 4.2.2.14.2                                                                                                                                                              | Minimum <b>front yard</b>                                                                                                                                          | 6.5 m                                                                                           |                   |
| 4.2.2.14.3                                                                                                                                                              | Minimum <b>interior side yard</b>                                                                                                                                  | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |                   |
| 4.2.2.14.4                                                                                                                                                              | Minimum setback to the <b>rear lot line</b>                                                                                                                        | 30.0 m                                                                                          |                   |
| 4.2.2.14.5                                                                                                                                                              | Notwithstanding Sentence 4.2.2.14.4, minimum setback to the <b>rear lot line</b> of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> | 15.0 m                                                                                          |                   |

|                                                                                                                                                                         |                                                                                                                               |                                                                                                 |         |
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| 4.2.2.15                                                                                                                                                                | Exception: R1-15                                                                                                              | Map # 38W                                                                                       | By-law: |
| In a R1-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                               |                                                                                                 |         |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                               |                                                                                                 |         |
| 4.2.2.15.1                                                                                                                                                              | Maximum <b>lot coverage - detached dwelling</b> not exceeding one (1) <b>storey</b>                                           | 40%                                                                                             |         |
| 4.2.2.15.2                                                                                                                                                              | Maximum <b>lot coverage - detached dwelling</b> more than one (1) <b>storey</b>                                               | 35%                                                                                             |         |
| 4.2.2.15.3                                                                                                                                                              | Minimum <b>front yard</b>                                                                                                     | 7.5 m                                                                                           |         |
| 4.2.2.15.4                                                                                                                                                              | Minimum <b>interior side yard - interior lot</b>                                                                              | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |         |
| 4.2.2.15.5                                                                                                                                                              | Minimum <b>rear yard</b>                                                                                                      | 30.0 m                                                                                          |         |
| 4.2.2.15.6                                                                                                                                                              | Minimum setback to the <b>rear lot line</b> of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> | 15.0 m                                                                                          |         |

|                                                                                                                                                                         |                                                                                     |                                                                                                 |         |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|---------|
| 4.2.2.16                                                                                                                                                                | Exception: R1-16                                                                    | Map # 39E                                                                                       | By-law: |
| In a R1-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                     |                                                                                                 |         |
| <b>Regulations</b>                                                                                                                                                      |                                                                                     |                                                                                                 |         |
| 4.2.2.16.1                                                                                                                                                              | Maximum <b>lot coverage - detached dwelling</b> not exceeding one (1) <b>storey</b> | 40%                                                                                             |         |
| 4.2.2.16.2                                                                                                                                                              | Maximum <b>lot coverage - detached dwelling</b> more than one (1) <b>storey</b>     | 35%                                                                                             |         |
| 4.2.2.16.3                                                                                                                                                              | Minimum <b>front yard</b>                                                           | 7.5 m                                                                                           |         |
| 4.2.2.16.4                                                                                                                                                              | Minimum <b>interior side yard - interior lot</b>                                    | 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |         |

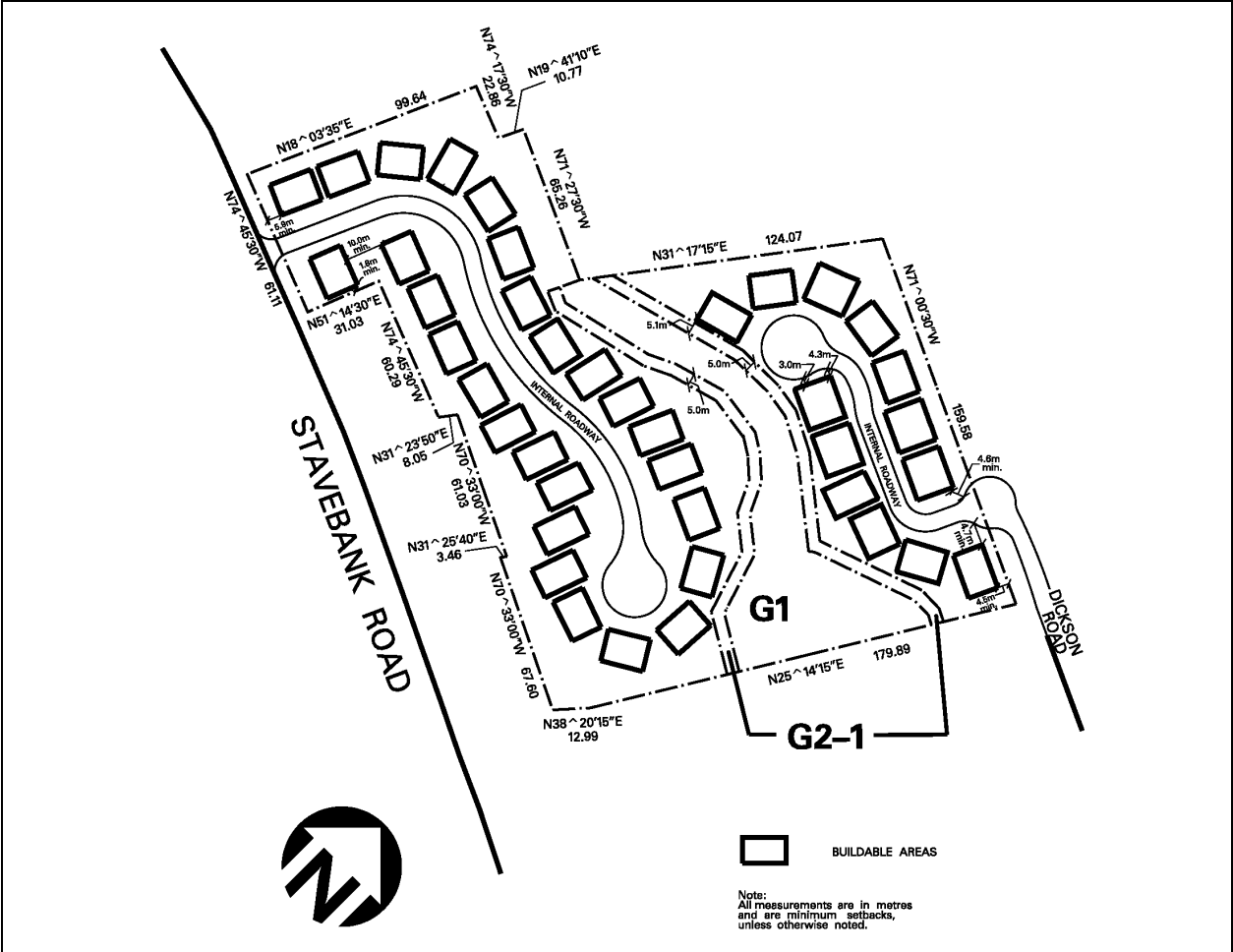
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| 4.2.2.17                                                                                                                                                                 | Exception: R1-17                                                                                                        | Map # 56                                                                                                                                                                                                                                                                                               | By-law: |
| In a R1-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                         |                                                                                                                                                                                                                                                                                                        |         |
| Additional Permitted Use                                                                                                                                                 |                                                                                                                         |                                                                                                                                                                                                                                                                                                        |         |
| 4.2.2.17.1                                                                                                                                                               | (1)                                                                                                                     | Veterinary Clinic                                                                                                                                                                                                                                                                                      |         |
| Regulations                                                                                                                                                              |                                                                                                                         |                                                                                                                                                                                                                                                                                                        |         |
| 4.2.2.17.2                                                                                                                                                               | A veterinary clinic shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                                                                                                                                                                                                                                                                                                        |         |
|                                                                                                                                                                          | (1)                                                                                                                     | minimum depth of a <b>landscaped buffer</b> measured from the <b>lot line</b> abutting Britannia Road West                                                                                                                                                                                             | 4.5 m   |
|                                                                                                                                                                          | (2)                                                                                                                     | "Veterinary Clinic" means a <b>building, structure</b> or part thereof, where domesticated animals, excluding livestock, are given medical and/or surgical treatment, grooming or care by a veterinarian licensed by the Province of Ontario. Indoor overnight boarding of animals shall be permitted. |         |

|                                                                                                                                                                          |                                                                               |          |                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|----------|-----------------------------------------------------------------------------------------------------------------------------------------|
| 4.2.2.18                                                                                                                                                                 | Exception: R1-18                                                              | Map # 24 | By-law:                                                                                                                                 |
| In a R1-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                               |          |                                                                                                                                         |
| Regulations                                                                                                                                                              |                                                                               |          |                                                                                                                                         |
| 4.2.2.18.1                                                                                                                                                               | Minimum <b>lot area - interior lot</b>                                        |          | 1 200 m <sup>2</sup>                                                                                                                    |
| 4.2.2.18.2                                                                                                                                                               | Minimum <b>lot frontage - interior lot</b>                                    |          | 22.8 m                                                                                                                                  |
| 4.2.2.18.3                                                                                                                                                               | Maximum <b>lot coverage</b>                                                   |          | 285 m <sup>2</sup>                                                                                                                      |
| 4.2.2.18.4                                                                                                                                                               | Minimum <b>front yard - interior lot</b>                                      |          | 12.0 m                                                                                                                                  |
| 4.2.2.18.5                                                                                                                                                               | Minimum <b>interior side yard - interior lot</b>                              |          | 4.2 m on one side and 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> on the other side |
| 4.2.2.18.6                                                                                                                                                               | Minimum <b>rear yard - interior lot</b> that abuts an R2 zone                 |          | 7.5 m                                                                                                                                   |
| 4.2.2.18.7                                                                                                                                                               | Minimum <b>rear yard - all other interior lots</b>                            |          | 12.5 m                                                                                                                                  |
| 4.2.2.18.8                                                                                                                                                               | Maximum <b>height - highest ridge: sloped roof</b>                            |          | 9.5 m                                                                                                                                   |
| 4.2.2.18.9                                                                                                                                                               | All site development plans shall comply with Schedule R1-18 of this Exception |          |                                                                                                                                         |



Schedule R1-18  
Map 24

|                                                                                                                                                                         |                                                                                                                                                                                                                                                                          |                        |                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|----------------------------------------------------------------|
| 4.2.2.19                                                                                                                                                                | Exception: R1-19                                                                                                                                                                                                                                                         | Map # 15               | By-law: 0181-2018/LPAT<br>Order 2019 February 15,<br>0208-2022 |
| In a R1-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                                                                                                                                                                          |                        |                                                                |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                                                                                                                                                                          |                        |                                                                |
| 4.2.2.19.1                                                                                                                                                              | Maximum number of <b>dwelling units</b> on all lands zoned R1-19                                                                                                                                                                                                         | 40                     |                                                                |
| 4.2.2.19.2                                                                                                                                                              | Minimum <b>landscaped area</b>                                                                                                                                                                                                                                           | 45% of <b>lot area</b> |                                                                |
| 4.2.2.19.3                                                                                                                                                              | Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>                                                                                                                                                                                               | 445 m <sup>2</sup>     |                                                                |
| 4.2.2.19.4                                                                                                                                                              | Minimum setback to a <b>condominium road</b>                                                                                                                                                                                                                             | 4.5 m                  |                                                                |
| 4.2.2.19.5                                                                                                                                                              | Minimum setback of a <b>garage face</b> to a <b>condominium road</b>                                                                                                                                                                                                     | 6.0 m                  |                                                                |
| 4.2.2.19.6                                                                                                                                                              | Minimum distance between <b>buildings</b>                                                                                                                                                                                                                                | 3.0 m                  |                                                                |
| 4.2.2.19.7                                                                                                                                                              | Minimum setback of all <b>buildings</b> and <b>structures</b> to any <b>lot line</b> or lands zoned G1                                                                                                                                                                   | 7.5 m                  |                                                                |
| 4.2.2.19.8                                                                                                                                                              | Maximum <b>height - highest ridge:</b><br><b>sloped roof</b>                                                                                                                                                                                                             | 11.5 m                 |                                                                |
| 4.2.2.19.9                                                                                                                                                              | Maximum <b>height:</b><br><b>flat roof</b>                                                                                                                                                                                                                               | 7.5 m                  |                                                                |
| 4.2.2.19.10                                                                                                                                                             | <b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>                                                                                                                                                              |                        |                                                                |
| 4.2.2.19.11                                                                                                                                                             | Maximum projection of a <b>porch</b> or <b>deck</b> outside the <b>buildable area</b> identified on Schedule R1-19 of this Exception, provided that the minimum distance between any <b>building</b> or <b>structure</b> shall be 3.0 m                                  | 2.5 m                  |                                                                |
| 4.2.2.19.12                                                                                                                                                             | Maximum projection of a bay window, with or without a foundation or <b>chimney</b> outside the <b>buildable area</b> identified on Schedule R1-19 of this Exception, provided that the minimum distance between any <b>buildings</b> or <b>structures</b> shall be 3.0 m | 1.5 m                  |                                                                |
| 4.2.2.19.13                                                                                                                                                             | Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>                                                                                                                                                                                                         | 4                      |                                                                |
| 4.2.2.19.14                                                                                                                                                             | All site development plans shall comply with Schedule R1-19 of this Exception                                                                                                                                                                                            |                        |                                                                |



Schedule R1-19  
Map 15



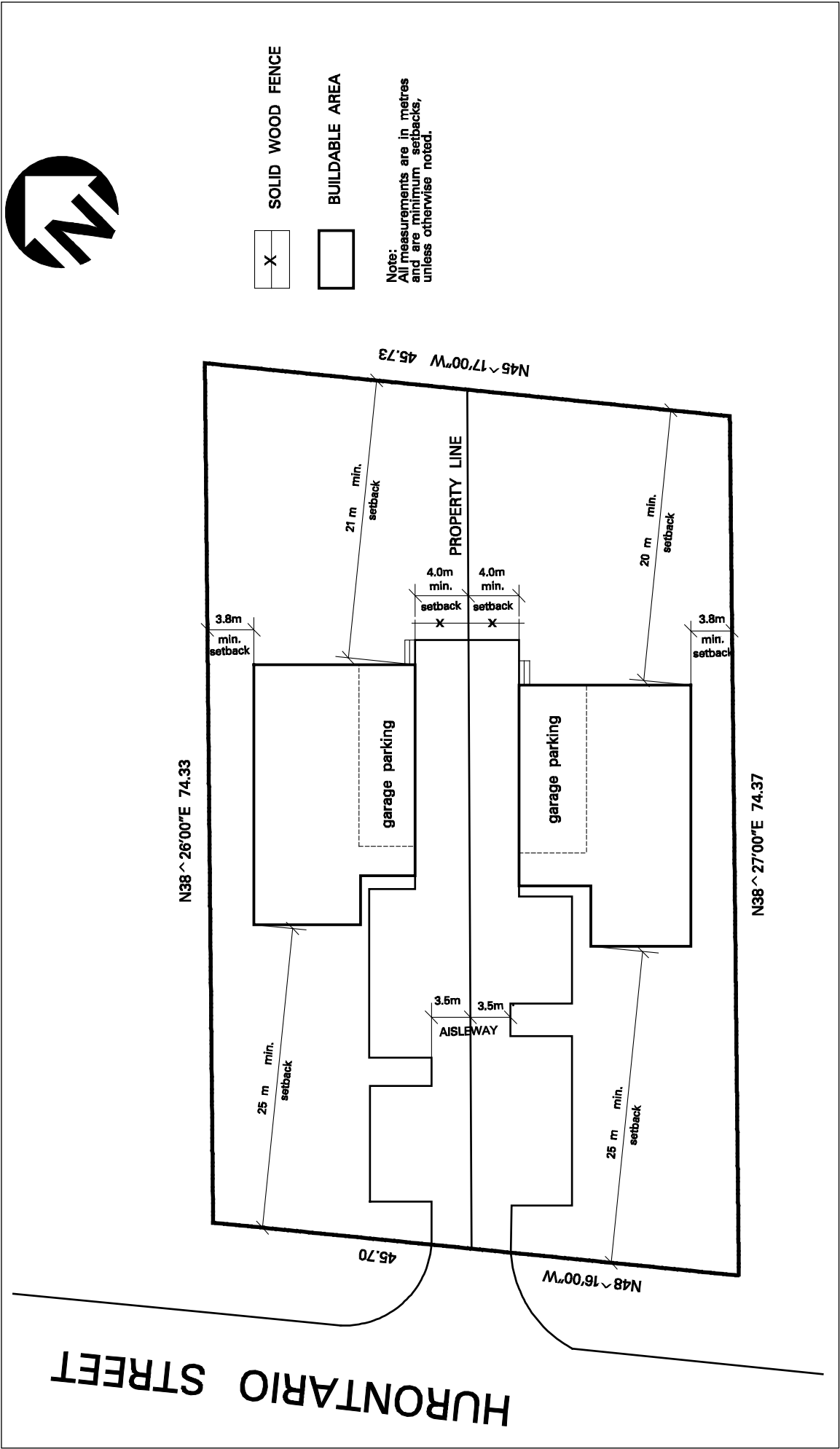
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| 4.2.2.20                                                                                                                                  | Exception: R1-20                                                                                                                                                                                                                                                                                             | Map # 07 | By-law: 0054-2009,<br>0171-2015/OMB Order<br>2016 April 04, 0193-2016/<br>OMB Order 2017 May 30 |
| In a R1-20 zone the applicable regulations shall be as specified for a R1 zone except that the following<br>uses/regulations shall apply: |                                                                                                                                                                                                                                                                                                              |          |                                                                                                 |
| Permitted Use                                                                                                                             |                                                                                                                                                                                                                                                                                                              |          |                                                                                                 |
| 4.2.2.20.1                                                                                                                                | Lands zoned R1-20 shall only be used for the following:<br><br>(1) <b>Detached Dwelling</b> or<br>(2) <b>Office</b> or<br>(3) <b>Office</b> with one (1) <b>dwelling unit</b><br>(4)     Outdoor <b>swimming pool</b> accessory to an <b>office</b> or an<br><b>office</b> with one (1) <b>dwelling unit</b> |          |                                                                                                 |
| Regulations                                                                                                                               |                                                                                                                                                                                                                                                                                                              |          |                                                                                                 |
| 4.2.2.20.2                                                                                                                                | Minimum <b>lot frontage - interior lot</b>                                                                                                                                                                                                                                                                   | 30.0 m   |                                                                                                 |
| 4.2.2.20.3                                                                                                                                | Maximum <b>gross floor area - non-residential</b>                                                                                                                                                                                                                                                            | 383 m²   |                                                                                                 |
| 4.2.2.20.4                                                                                                                                | Maximum <b>driveway</b> width for an <b>office</b> or an <b>office</b> with one (1)<br><b>dwelling unit</b>                                                                                                                                                                                                  | 13.0 m   |                                                                                                 |
| 4.2.2.20.5                                                                                                                                | Minimum depth of a <b>landscaped buffer</b> adjacent to Hurontario<br>Street                                                                                                                                                                                                                                 | 7.5 m    |                                                                                                 |
| 4.2.2.20.6                                                                                                                                | Maximum <b>height - highest ridge</b> of a <b>detached dwelling</b> :<br><b>sloped roof</b>                                                                                                                                                                                                                  | 9.5 m    |                                                                                                 |
| 4.2.2.20.7                                                                                                                                | Maximum <b>height</b> of a <b>detached dwelling</b> :<br><b>flat roof</b>                                                                                                                                                                                                                                    | 7.5 m    |                                                                                                 |
| 4.2.2.20.8                                                                                                                                | Maximum height of eaves of a <b>detached dwelling</b> :<br>from <b>average grade</b> to lower edge of eaves                                                                                                                                                                                                  | 6.4 m    |                                                                                                 |
| 4.2.2.20.9                                                                                                                                | Maximum <b>dwelling unit depth</b>                                                                                                                                                                                                                                                                           | 20.0 m   |                                                                                                 |
| 4.2.2.20.10                                                                                                                               | Maximum number of <b>accessory buildings</b> and <b>structures</b> for an<br><b>office</b> or an <b>office</b> with one (1) <b>dwelling unit</b>                                                                                                                                                             | 2        |                                                                                                 |
| 4.2.2.20.11                                                                                                                               | Maximum number of <b>tandem parking spaces</b>                                                                                                                                                                                                                                                               | 4        |                                                                                                 |
| 4.2.2.20.12                                                                                                                               | An <b>aisle</b> adjacent to <b>tandem parking spaces</b> shall not be<br>required                                                                                                                                                                                                                            |          |                                                                                                 |
| 4.2.2.20.13                                                                                                                               | <b>Parking areas</b> may be constructed of a permeable type of<br>material                                                                                                                                                                                                                                   |          |                                                                                                 |
| 4.2.2.20.14                                                                                                                               | An outdoor <b>swimming pool</b> permitted in Clause 4.2.2.20.1(4)<br>shall comply with the provisions contained in Sentences 4.1.4.1.1<br>and 4.1.4.1.2 of this By-law                                                                                                                                       |          |                                                                                                 |

|                                                                                                                                        |                                                                                                         |          |                                                                                       |
|----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|----------|---------------------------------------------------------------------------------------|
| 4.2.2.21                                                                                                                               | Exception: R1-21                                                                                        | Map # 07 | By-law: 0171-2015/OMB Order 2016 April 04, 0212-2015, 0193-2016/OMB Order 2017 May 30 |
| In a R1-21 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply: |                                                                                                         |          |                                                                                       |
| <b>Permitted Uses</b>                                                                                                                  |                                                                                                         |          |                                                                                       |
| 4.2.2.21.1                                                                                                                             | Lands zoned R1-21 shall only be used for the following:                                                 |          |                                                                                       |
|                                                                                                                                        | (1) <b>Detached Dwelling</b> or<br>(2) <b>Office</b><br>(3) <b>Medical Office - Restricted</b>          |          |                                                                                       |
| <b>Regulation</b>                                                                                                                      |                                                                                                         |          |                                                                                       |
| 4.2.2.21.2                                                                                                                             | Maximum total <b>gross floor area - non-residential</b>                                                 |          | 130 m <sup>2</sup>                                                                    |
| 4.2.2.21.3                                                                                                                             | Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>                        |          | 9.5 m                                                                                 |
| 4.2.2.21.4                                                                                                                             | Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>                                          |          | 7.5 m                                                                                 |
| 4.2.2.21.5                                                                                                                             | Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves |          | 6.4 m                                                                                 |
| 4.2.2.21.6                                                                                                                             | Maximum <b>dwelling unit depth</b>                                                                      |          | 20.0 m                                                                                |
| 4.2.2.21.7                                                                                                                             | <i>deleted by 0212-2015</i>                                                                             |          |                                                                                       |

|                                                                                                                                                      |                                                                                                                                                                                 |                   |                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|----------------------------------------------------------------------------|
| 4.2.2.22                                                                                                                                             | Exception: R1-22                                                                                                                                                                | Map # 07          | By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30 |
| <p>In a R1-22 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply:</p> |                                                                                                                                                                                 |                   |                                                                            |
| <b>Permitted Uses</b>                                                                                                                                |                                                                                                                                                                                 |                   |                                                                            |
| 4.2.2.22.1                                                                                                                                           | Lands zoned R1-22 shall only be used for the following:                                                                                                                         |                   |                                                                            |
|                                                                                                                                                      | <p>(1) <b>Detached Dwelling</b> or</p> <p>(2) Dental Laboratory or</p> <p>(3) <b>Office</b> and/or <b>Medical Office - Restricted</b></p>                                       |                   |                                                                            |
| <b>Regulations</b>                                                                                                                                   |                                                                                                                                                                                 |                   |                                                                            |
| 4.2.2.22.2                                                                                                                                           | Minimum <b>lot frontage</b>                                                                                                                                                     | 20.0 m            |                                                                            |
| 4.2.2.21.3                                                                                                                                           | Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>                                                                                                | 9.5 m             |                                                                            |
| 4.2.2.22.4                                                                                                                                           | Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>                                                                                                                  | 7.5 m             |                                                                            |
| 4.2.2.21.5                                                                                                                                           | Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves                                                                         | 6.4 m             |                                                                            |
| 4.2.2.21.6                                                                                                                                           | Maximum <b>dwelling unit depth</b>                                                                                                                                              | 20.0 m            |                                                                            |
| 4.2.2.22.7                                                                                                                                           | A dental laboratory, <b>office</b> and a <b>medical office - restricted</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                   |                                                                            |
|                                                                                                                                                      | (1) minimum <b>lot frontage - interior lot</b>                                                                                                                                  | 20.0 m            |                                                                            |
|                                                                                                                                                      | (2) maximum total <b>gross floor area - non-residential</b>                                                                                                                     | 80 m <sup>2</sup> |                                                                            |
|                                                                                                                                                      | (3) minimum <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> used for a dental laboratory                                                 | 3.2               |                                                                            |

|                                                                                                                                               |                                                         |                                    |                    |
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| 4.2.2.23                                                                                                                                      | Exception: R1-23                                        | Map # 07                           | By-law:            |
| In a R1-23 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                         |                                    |                    |
| <b>Permitted Uses</b>                                                                                                                         |                                                         |                                    |                    |
| 4.2.2.23.1                                                                                                                                    | Lands zoned R1-23 shall only be used for the following: |                                    |                    |
|                                                                                                                                               | (1)                                                     | <b>Office</b>                      |                    |
|                                                                                                                                               | (2)                                                     | <b>Medical Office - Restricted</b> |                    |
| <b>Regulations</b>                                                                                                                            |                                                         |                                    |                    |
| 4.2.2.23.2                                                                                                                                    | Minimum <b>lot frontage - interior lot</b>              |                                    | 30.0 m             |
| 4.2.2.23.3                                                                                                                                    | Maximum total <b>gross floor area - non-residential</b> |                                    | 585 m <sup>2</sup> |

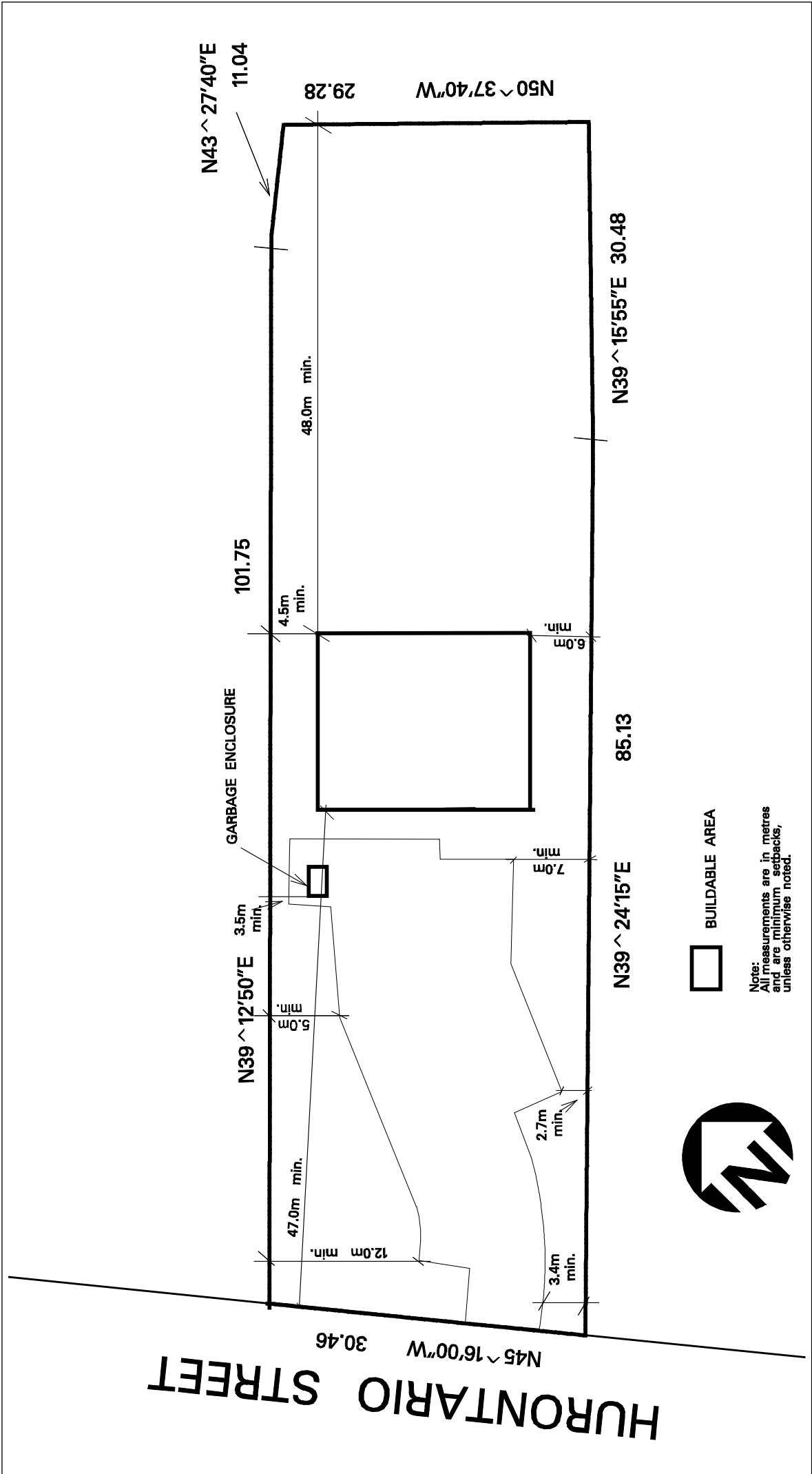
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| 4.2.2.24                                                                                                                                      | Exception: R1-24                                                                                          | Map # 07                           | By-law:                                                                                                                       |
| In a R1-24 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                           |                                    |                                                                                                                               |
| <b>Permitted Uses</b>                                                                                                                         |                                                                                                           |                                    |                                                                                                                               |
| 4.2.2.24.1                                                                                                                                    | Lands zoned R1-24 shall only be used for the following:                                                   |                                    |                                                                                                                               |
|                                                                                                                                               | (1)                                                                                                       | <b>Office</b>                      |                                                                                                                               |
|                                                                                                                                               | (2)                                                                                                       | <b>Medical Office - Restricted</b> |                                                                                                                               |
| <b>Regulations</b>                                                                                                                            |                                                                                                           |                                    |                                                                                                                               |
| 4.2.2.24.2                                                                                                                                    | Maximum <b>gross floor area - non-residential</b>                                                         |                                    | 418 m <sup>2</sup>                                                                                                            |
| 4.2.2.24.3                                                                                                                                    | An <b>office</b> and <b>medical office - restricted</b> shall not be permitted below <b>average grade</b> |                                    |                                                                                                                               |
| 4.2.2.24.4                                                                                                                                    | Minimum number of <b>parking spaces</b> for a <b>medical office - restricted</b>                          |                                    | The greater of 5.0 spaces per practitioner, or<br>6.5 spaces per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> |
| 4.2.2.24.5                                                                                                                                    | No <b>outdoor storage</b> shall be permitted                                                              |                                    |                                                                                                                               |
| 4.2.2.24.6                                                                                                                                    | All site development plans shall comply with Schedule R1-24 of this Exception                             |                                    |                                                                                                                               |



Schedule R1-24  
Map 07

|                                                                                                                                                                          |                                                                                     |          |         |
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| 4.2.2.25                                                                                                                                                                 | Exception: R1-25                                                                    | Map # 15 | By-law: |
| In a R1-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                     |          |         |
| <b>Regulations</b>                                                                                                                                                       |                                                                                     |          |         |
| 4.2.2.25.1                                                                                                                                                               | The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply |          |         |
| 4.2.2.25.2                                                                                                                                                               | Minimum setback of all <b>buildings</b> and <b>structures</b> to G1 and G1-12 zones |          | 10.0 m  |
| 4.2.2.25.3                                                                                                                                                               | Access shall be permitted from lands zoned G1-12                                    |          |         |

|                                                                                                                                               |                                                                                                                                                                                                         |                                                                                                                                                        |                   |
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| 4.2.2.26                                                                                                                                      | Exception: R1-26                                                                                                                                                                                        | Map # 07                                                                                                                                               | By-law: 0208-2022 |
| In a R1-26 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                                                                                                         |                                                                                                                                                        |                   |
| <b>Permitted Uses</b>                                                                                                                         |                                                                                                                                                                                                         |                                                                                                                                                        |                   |
| 4.2.2.26.1                                                                                                                                    | Lands zoned R1-26 shall only be used for the following:                                                                                                                                                 |                                                                                                                                                        |                   |
|                                                                                                                                               | (1)                                                                                                                                                                                                     | <b>Office</b>                                                                                                                                          |                   |
|                                                                                                                                               | (2)                                                                                                                                                                                                     | <b>Medical Office - Restricted</b>                                                                                                                     |                   |
| <b>Use Not Permitted</b>                                                                                                                      |                                                                                                                                                                                                         |                                                                                                                                                        |                   |
| 4.2.2.26.2                                                                                                                                    | (1)                                                                                                                                                                                                     | <b>Office</b> and/or <b>medical office - restricted</b> that requires more than 23 <b>parking spaces</b>                                               |                   |
| <b>Regulations</b>                                                                                                                            |                                                                                                                                                                                                         |                                                                                                                                                        |                   |
| 4.2.2.26.3                                                                                                                                    | Minimum <b>landscaped area</b>                                                                                                                                                                          | 65% of <b>lot area</b>                                                                                                                                 |                   |
| 4.2.2.26.4                                                                                                                                    | Maximum <b>gross floor area - non-residential</b>                                                                                                                                                       | 552 m <sup>2</sup>                                                                                                                                     |                   |
| 4.2.2.26.5                                                                                                                                    | The use of any part of the <b>building</b> below <b>established grade</b> shall be restricted to the following:                                                                                         |                                                                                                                                                        |                   |
|                                                                                                                                               | (1)                                                                                                                                                                                                     | climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the <b>building</b> ; |                   |
|                                                                                                                                               | (2)                                                                                                                                                                                                     | areas of stairwells, washrooms or elevators;                                                                                                           |                   |
|                                                                                                                                               | (3)                                                                                                                                                                                                     | collection or storage of disposable or recyclable waste generated within the <b>building</b> ;                                                         |                   |
|                                                                                                                                               | (4)                                                                                                                                                                                                     | storage incidental to permitted uses in the <b>building</b> ;                                                                                          |                   |
|                                                                                                                                               | (5)                                                                                                                                                                                                     | lunch rooms, lounges or washrooms for the personal needs of occupants of the <b>building</b> .                                                         |                   |
| 4.2.2.26.6                                                                                                                                    | Maximum <b>height - highest ridge: sloped roof</b>                                                                                                                                                      | 11.6 m                                                                                                                                                 |                   |
| 4.2.2.26.7                                                                                                                                    | Maximum encroachment of a <b>porch</b> outside the <b>buildable area</b> identified on Schedule R1-26 of this Exception, into the required <b>front yard</b>                                            | 1.7 m                                                                                                                                                  |                   |
| 4.2.2.26.8                                                                                                                                    | Maximum encroachment of an uncovered ramp for handicapped access outside the <b>buildable area</b> identified on Schedule R1-26 of this Exception into the required northerly <b>interior side yard</b> | 3.0 m                                                                                                                                                  |                   |
| 4.2.2.26.9                                                                                                                                    | Maximum number of <b>parking spaces</b>                                                                                                                                                                 | 23                                                                                                                                                     |                   |
| 4.2.2.26.10                                                                                                                                   | All site development plans shall comply with Schedule R1-26 of this Exception                                                                                                                           |                                                                                                                                                        |                   |



Schedule R1-26  
Map 07

|                                                                                                                                                                          |                                                  |          |                                                                                                    |
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| 4.2.2.27                                                                                                                                                                 | Exception: R1-27                                 | Map # 17 | By-law:                                                                                            |
| In a R1-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                  |          |                                                                                                    |
| <b>Regulation</b>                                                                                                                                                        |                                                  |          |                                                                                                    |
| 4.2.2.27.1                                                                                                                                                               | Minimum <b>interior side yard - interior lot</b> |          | 1.8 m plus 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> |

|                                                                                                                                                |                                                                                                                                                                                                                 |           |         |
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| 4.2.2.28                                                                                                                                       | Exception: R1-28                                                                                                                                                                                                | Map # 38E | By-law: |
| In a R1-28 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                                                                                                 |           |         |
| <b>Permitted Uses</b>                                                                                                                          |                                                                                                                                                                                                                 |           |         |
| 4.2.2.28.1                                                                                                                                     | Lands zoned R1-28 shall only be used for the following:                                                                                                                                                         |           |         |
|                                                                                                                                                | (1) <b>Place of Religious Assembly</b>                                                                                                                                                                          |           |         |
|                                                                                                                                                | (2) <b>Accessory uses to a place of religious assembly</b>                                                                                                                                                      |           |         |
| <b>Regulations</b>                                                                                                                             |                                                                                                                                                                                                                 |           |         |
| 4.2.2.28.2                                                                                                                                     | The regulations of Line 2.2 contained in Table 2.1.9.3 of this By-law shall not apply                                                                                                                           |           |         |
| 4.2.2.28.3                                                                                                                                     | Minimum <b>interior side yard - interior lot</b>                                                                                                                                                                |           | 12.0 m  |
| 4.2.2.28.4                                                                                                                                     | Maximum <b>height</b>                                                                                                                                                                                           |           | 13.5 m  |
| 4.2.2.28.5                                                                                                                                     | <b>Accessory uses to a place of religious assembly</b> shall only include administrative <b>offices</b> associated with a <b>place of religious assembly</b> , a <b>day care</b> and a private community centre |           |         |

|                                                                                                                                                                          |                                            |                |                      |
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| 4.2.2.29                                                                                                                                                                 | Exception: R1-29                           | Map # 38W, 45E | By-law:              |
| In a R1-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                            |                |                      |
| <b>Regulations</b>                                                                                                                                                       |                                            |                |                      |
| 4.2.2.29.1                                                                                                                                                               | Minimum <b>lot area - interior lot</b>     |                | 2 000 m <sup>2</sup> |
| 4.2.2.29.2                                                                                                                                                               | Minimum <b>lot frontage - interior lot</b> |                | 19.0 m               |

|                                                                                                                                                |                                                                                                                                                                      |                                                               |         |
|------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|---------|
| 4.2.2.30                                                                                                                                       | Exception: R1-30                                                                                                                                                     | Map # 38W                                                     | By-law: |
| In a R1-30 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                                                      |                                                               |         |
| <b>Permitted Uses</b>                                                                                                                          |                                                                                                                                                                      |                                                               |         |
| 4.2.2.30.1                                                                                                                                     | Lands zoned R1-30 shall only be used for the following:                                                                                                              |                                                               |         |
|                                                                                                                                                | (1)                                                                                                                                                                  | <b>Place of Religious Assembly</b>                            |         |
|                                                                                                                                                | (2)                                                                                                                                                                  | <b>Accessory uses</b> to a <b>place of religious assembly</b> |         |
| <b>Regulations</b>                                                                                                                             |                                                                                                                                                                      |                                                               |         |
| 4.2.2.30.2                                                                                                                                     | Maximum <b>gross floor area - non-residential</b>                                                                                                                    | 1 430 m <sup>2</sup>                                          |         |
| 4.2.2.30.3                                                                                                                                     | Minimum <b>front yard - interior lot</b>                                                                                                                             | 27.0 m                                                        |         |
| 4.2.2.30.4                                                                                                                                     | Minimum <b>interior side yard - interior lot</b>                                                                                                                     | 49.0 m on one side and 22.0 m on the other side               |         |
| 4.2.2.30.5                                                                                                                                     | Minimum <b>rear yard - interior lot</b>                                                                                                                              | 85.0 m                                                        |         |
| 4.2.2.30.6                                                                                                                                     | Maximum <b>height</b> including any steeple or spire                                                                                                                 | 12.2 m                                                        |         |
| 4.2.2.30.7                                                                                                                                     | Minimum number of <b>parking spaces</b>                                                                                                                              | 198                                                           |         |
| 4.2.2.30.8                                                                                                                                     | A <b>basement</b> shall not be permitted under the nave or parish hall                                                                                               |                                                               |         |
| 4.2.2.30.9                                                                                                                                     | Maximum seating within the nave, based on a seat width of 0.51 m per person and 0.914 m between the back of each seat and the back of the seat immediately behind it | 690 persons                                                   |         |
| 4.2.2.30.10                                                                                                                                    | The interior wall separating the nave and the parish hall shall be of solid block construction, with no doorway, windows or openings of any kind                     |                                                               |         |
| 4.2.2.30.11                                                                                                                                    | <b>Accessory uses</b> to a <b>place of religious assembly</b> shall only include a parish hall, rectory and <b>office</b> , but shall not include a <b>day care</b>  |                                                               |         |
| 4.2.2.30.12                                                                                                                                    | All site development plans shall comply with Schedule R1-30 of this Exception                                                                                        |                                                               |         |





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| 4.2.2.31                                                                                                                                       | Exception: R1-31                                                                                                                         | Map # 37E                                                                                                                  | By-law: |
| In a R1-31 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                          |                                                                                                                            |         |
| <b>Permitted Use</b>                                                                                                                           |                                                                                                                                          |                                                                                                                            |         |
| 4.2.2.31.1                                                                                                                                     | Lands zoned R1-31 shall only be used for the following:                                                                                  |                                                                                                                            |         |
|                                                                                                                                                | (1)                                                                                                                                      | <b>Detached Dwelling</b> or                                                                                                |         |
|                                                                                                                                                | (2)                                                                                                                                      | <b>Medical Office - Restricted</b>                                                                                         |         |
| <b>Regulations</b>                                                                                                                             |                                                                                                                                          |                                                                                                                            |         |
| 4.2.2.31.2                                                                                                                                     | A <b>medical office - restricted</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                                                                                                                            |         |
|                                                                                                                                                | (1)                                                                                                                                      | maximum number of <b>physicians, dentists, drugless practitioners</b> or <b>health professionals</b> permitted to practise | 2       |
|                                                                                                                                                | (2)                                                                                                                                      | minimum <b>lot frontage</b>                                                                                                | 60.0 m  |
|                                                                                                                                                | (3)                                                                                                                                      | minimum <b>front yard</b>                                                                                                  | 20.0 m  |
|                                                                                                                                                | (4)                                                                                                                                      | minimum <b>interior side yard</b>                                                                                          | 13.0 m  |
|                                                                                                                                                | (5)                                                                                                                                      | minimum <b>parking spaces</b> per professional/practitioner                                                                | 5       |

|                                                                                                                                                                          |                                                                                                                                                               |                                     |                                                                     |
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| 4.2.2.32                                                                                                                                                                 | Exception: R1-32                                                                                                                                              | Map # 44W, 45E, 52W, 53E            | By-law: 0308-2011, 0192-2014, 0181-2018/LPAT Order 2019 February 15 |
| In a R1-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                                               |                                     |                                                                     |
| <b>Regulations</b>                                                                                                                                                       |                                                                                                                                                               |                                     |                                                                     |
| 4.2.2.32.1                                                                                                                                                               | The regulations of Sentence 3.1.1.7.1 of this By-law shall not apply                                                                                          |                                     |                                                                     |
| 4.2.2.32.2                                                                                                                                                               | Minimum <b>lot area</b>                                                                                                                                       |                                     | 1 050 m <sup>2</sup>                                                |
| 4.2.2.32.3                                                                                                                                                               | Minimum combined width of side <b>yards</b> :                                                                                                                 |                                     |                                                                     |
|                                                                                                                                                                          | (1)                                                                                                                                                           | one <b>storey detached dwelling</b> | 20% of the <b>lot frontage</b>                                      |
|                                                                                                                                                                          | (2)                                                                                                                                                           | two <b>storey detached dwelling</b> | 27% of the <b>lot frontage</b>                                      |
| 4.2.2.32.4                                                                                                                                                               | A <b>flat roof</b> shall not be permitted                                                                                                                     |                                     |                                                                     |
| 4.2.2.32.5                                                                                                                                                               | Maximum <b>height - highest ridge: sloped roof</b>                                                                                                            |                                     | 7.5 m                                                               |
| 4.2.2.32.6                                                                                                                                                               | Maximum <b>gross floor area - infill residential</b>                                                                                                          |                                     | 160 m <sup>2</sup> plus 0.10 times the <b>lot area</b>              |
| 4.2.2.32.7                                                                                                                                                               | An attached <b>garage</b> shall not be permitted                                                                                                              |                                     |                                                                     |
| 4.2.2.32.8                                                                                                                                                               | Maximum <b>floor area</b> of a detached <b>garage</b>                                                                                                         |                                     | 50 m <sup>2</sup>                                                   |
| 4.2.2.32.9                                                                                                                                                               | Maximum projection of the <b>garage face</b> of a detached <b>garage</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> |                                     | 0.0 m                                                               |
| 4.2.2.32.10                                                                                                                                                              | Maximum <b>driveway</b> width                                                                                                                                 |                                     | 3.0 m                                                               |

|                                                                                                                                                |                                                         |                                    |         |
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| 4.2.2.33                                                                                                                                       | Exception: R1-33                                        | Map # 03                           | By-law: |
| In a R1-33 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                         |                                    |         |
| <b>Permitted Uses</b>                                                                                                                          |                                                         |                                    |         |
| 4.2.2.33.1                                                                                                                                     | Lands zoned R1-33 shall only be used for the following: |                                    |         |
|                                                                                                                                                | (1)                                                     | <b>Detached Dwelling</b> or        |         |
|                                                                                                                                                | (2)                                                     | <b>Office</b>                      |         |
|                                                                                                                                                | (3)                                                     | <b>Medical Office - Restricted</b> |         |

|                                                                                                                                                                          |                             |                      |         |
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| 4.2.2.34                                                                                                                                                                 | Exception: R1-34            | Map # 18             | By-law: |
| In a R1-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                             |                      |         |
| <b>Regulations</b>                                                                                                                                                       |                             |                      |         |
| 4.2.2.34.1                                                                                                                                                               | Minimum <b>lot area</b>     | 1 575 m <sup>2</sup> |         |
| 4.2.2.34.2                                                                                                                                                               | Minimum <b>lot frontage</b> | 30.0 m               |         |

|                                                                                                                                                |                                                                                                                                        |                                                                         |                            |
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| 4.2.2.35                                                                                                                                       | Exception: R1-35                                                                                                                       | Map # 38W                                                               | By-law: 0174-2017          |
| In a R1-35 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                        |                                                                         |                            |
| <b>Permitted Use</b>                                                                                                                           |                                                                                                                                        |                                                                         |                            |
| 4.2.2.35.1                                                                                                                                     | Lands zoned R1-35 shall only be used for the following:                                                                                |                                                                         |                            |
|                                                                                                                                                | (1)                                                                                                                                    | <b>Long-Term Care Building</b>                                          |                            |
| <b>Regulations</b>                                                                                                                             |                                                                                                                                        |                                                                         |                            |
| 4.2.2.35.2                                                                                                                                     | A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that: |                                                                         |                            |
|                                                                                                                                                | (1)                                                                                                                                    | the provisions contained in Article 4.1.15.1 of this By-law shall apply |                            |
|                                                                                                                                                | (2)                                                                                                                                    | maximum <b>lot coverage</b>                                             | 30%                        |
|                                                                                                                                                | (3)                                                                                                                                    | minimum <b>landscaped area</b>                                          | 30% of the <b>lot area</b> |
|                                                                                                                                                | (4)                                                                                                                                    | minimum <b>front yard</b>                                               | 7.5 m                      |
|                                                                                                                                                | (5)                                                                                                                                    | minimum <b>exterior side yard</b>                                       | 7.5 m                      |
|                                                                                                                                                | (6)                                                                                                                                    | minimum <b>interior side yard</b>                                       | 6.0 m                      |
|                                                                                                                                                | (7)                                                                                                                                    | minimum <b>rear yard</b>                                                | 7.5 m                      |
|                                                                                                                                                | (8)                                                                                                                                    | maximum <b>height - highest ridge: sloped roof</b>                      | 12.2 m                     |

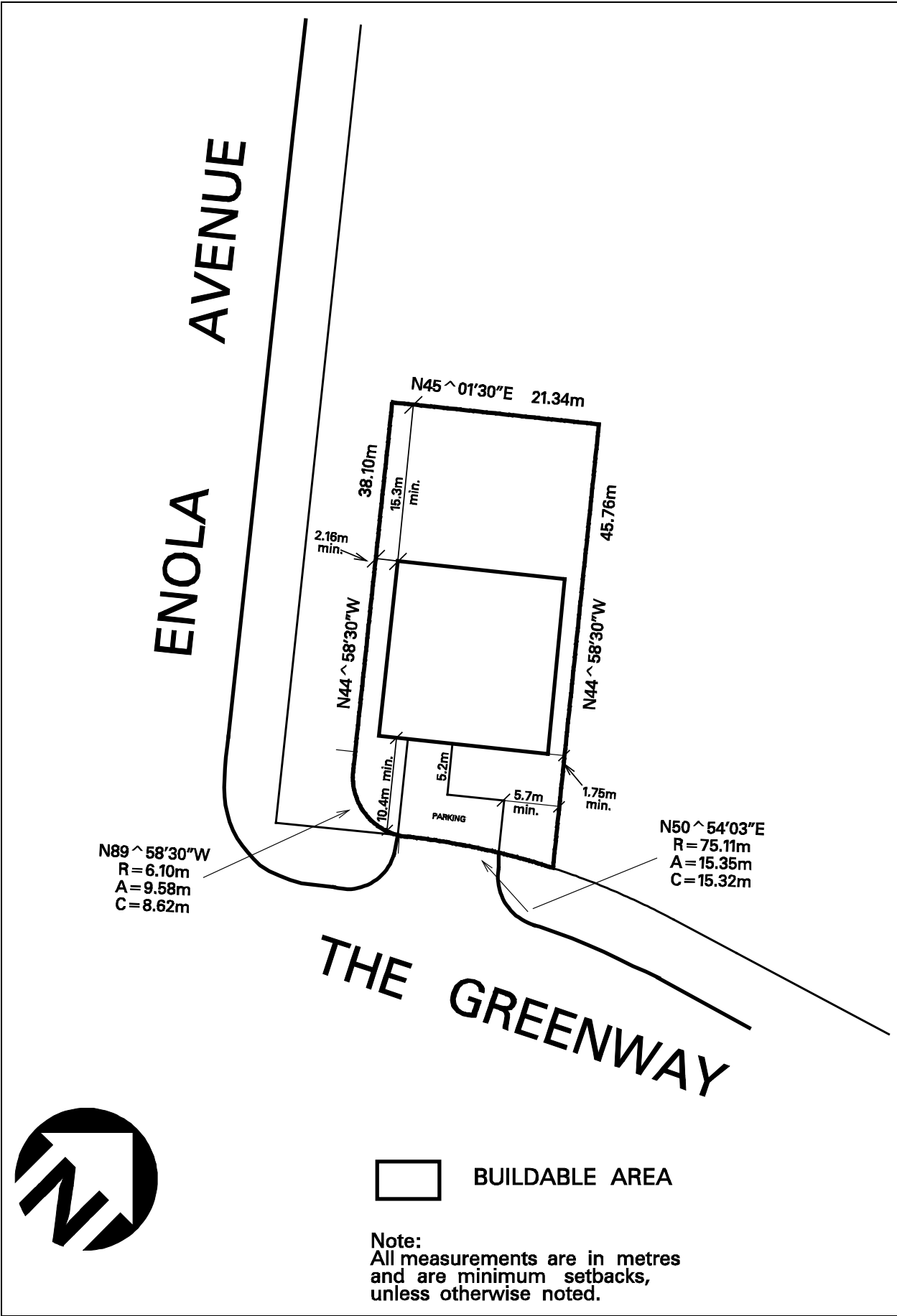
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| 4.2.2.36                                                                                                                               | Exception: R1-36                                                                                                            | Map # 03             | By-law: 0308-2011,<br>0174-2017 |
| In a R1-36 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply: |                                                                                                                             |                      |                                 |
| Permitted Use                                                                                                                          |                                                                                                                             |                      |                                 |
| 4.2.2.36.1                                                                                                                             | Lands zoned R1-36 shall only be used for the following:                                                                     |                      |                                 |
|                                                                                                                                        | (1) Retirement Building                                                                                                     |                      |                                 |
| Regulations                                                                                                                            |                                                                                                                             |                      |                                 |
| 4.2.2.36.2                                                                                                                             | A retirement building shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that: |                      |                                 |
|                                                                                                                                        | (1) the provisions contained in Article 4.1.15.1 of this By-law shall apply                                                 |                      |                                 |
|                                                                                                                                        | (2) maximum height                                                                                                          | 10.7 m and 3 storeys |                                 |

|                                                                                                                                        |                                                                                                                                                    |          |                     |
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| 4.2.2.37                                                                                                                               | Exception: R1-37                                                                                                                                   | Map # 07 | By-law:             |
| In a R1-37 zone the applicable regulations shall be as specified for a R1 zone except that the following uses/regulations shall apply: |                                                                                                                                                    |          |                     |
| Permitted Uses                                                                                                                         |                                                                                                                                                    |          |                     |
| 4.2.2.37.1                                                                                                                             | Lands zoned R1-37 shall only be used for the following:                                                                                            |          |                     |
|                                                                                                                                        | (1) Office                                                                                                                                         |          |                     |
|                                                                                                                                        | (2) Medical Office - Restricted                                                                                                                    |          |                     |
| Regulations                                                                                                                            |                                                                                                                                                    |          |                     |
| 4.2.2.37.2                                                                                                                             | Maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise                                       |          | 1                   |
| 4.2.2.37.3                                                                                                                             | Maximum lot coverage                                                                                                                               |          | 25%                 |
| 4.2.2.37.4                                                                                                                             | Minimum landscaped area                                                                                                                            |          | 40% of the lot area |
| 4.2.2.37.5                                                                                                                             | Maximum total gross floor area - non-residential                                                                                                   |          | 420 m²              |
| 4.2.2.37.6                                                                                                                             | Maximum gross floor area - non-residential used for a medical office - restricted                                                                  |          | 138 m²              |
| 4.2.2.37.7                                                                                                                             | The use of any part of the building below grade shall be restricted to the following:                                                              |          |                     |
|                                                                                                                                        | (1) climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the building; |          |                     |
|                                                                                                                                        | (2) areas of stairwells, washrooms or elevators;                                                                                                   |          |                     |
|                                                                                                                                        | (3) collection or storage of disposable or recyclable waste generated within the building;                                                         |          |                     |
|                                                                                                                                        | (4) storage incidental to permitted uses in the building;                                                                                          |          |                     |
|                                                                                                                                        | (5) lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building.                                                     |          |                     |
| 4.2.2.37.8                                                                                                                             | Maximum height - highest ridge: sloped roof                                                                                                        |          | 10.7 m              |
| 4.2.2.37.9                                                                                                                             | Maximum height: flat roof                                                                                                                          |          | 7.5 m               |
| 4.2.2.37.10                                                                                                                            | Minimum required parking spaces per 100 m² gross floor area - non- residential used for a dental office                                            |          | 4.3                 |

Exception R1-37 continued on next page

|                                                     |                                                                                                         |          |         |
|-----------------------------------------------------|---------------------------------------------------------------------------------------------------------|----------|---------|
| 4.2.2.37                                            | Exception: R1-37                                                                                        | Map # 07 | By-law: |
| <b>Exception R1-37 continued from previous page</b> |                                                                                                         |          |         |
| 4.2.2.37.11                                         | Maximum number of <b>parking spaces</b>                                                                 |          | 14      |
| 4.2.2.37.12                                         | Maximum number of <b>tandem parking spaces</b>                                                          |          | 4       |
| 4.2.2.37.13                                         | Maximum encroachment of an uncovered ramp for handicapped access into required <b>yards</b> as follows: |          |         |
|                                                     | (1) northerly side <b>yard</b>                                                                          |          | 1.0 m   |
|                                                     | (2) <b>front yard</b>                                                                                   |          | 8.0 m   |

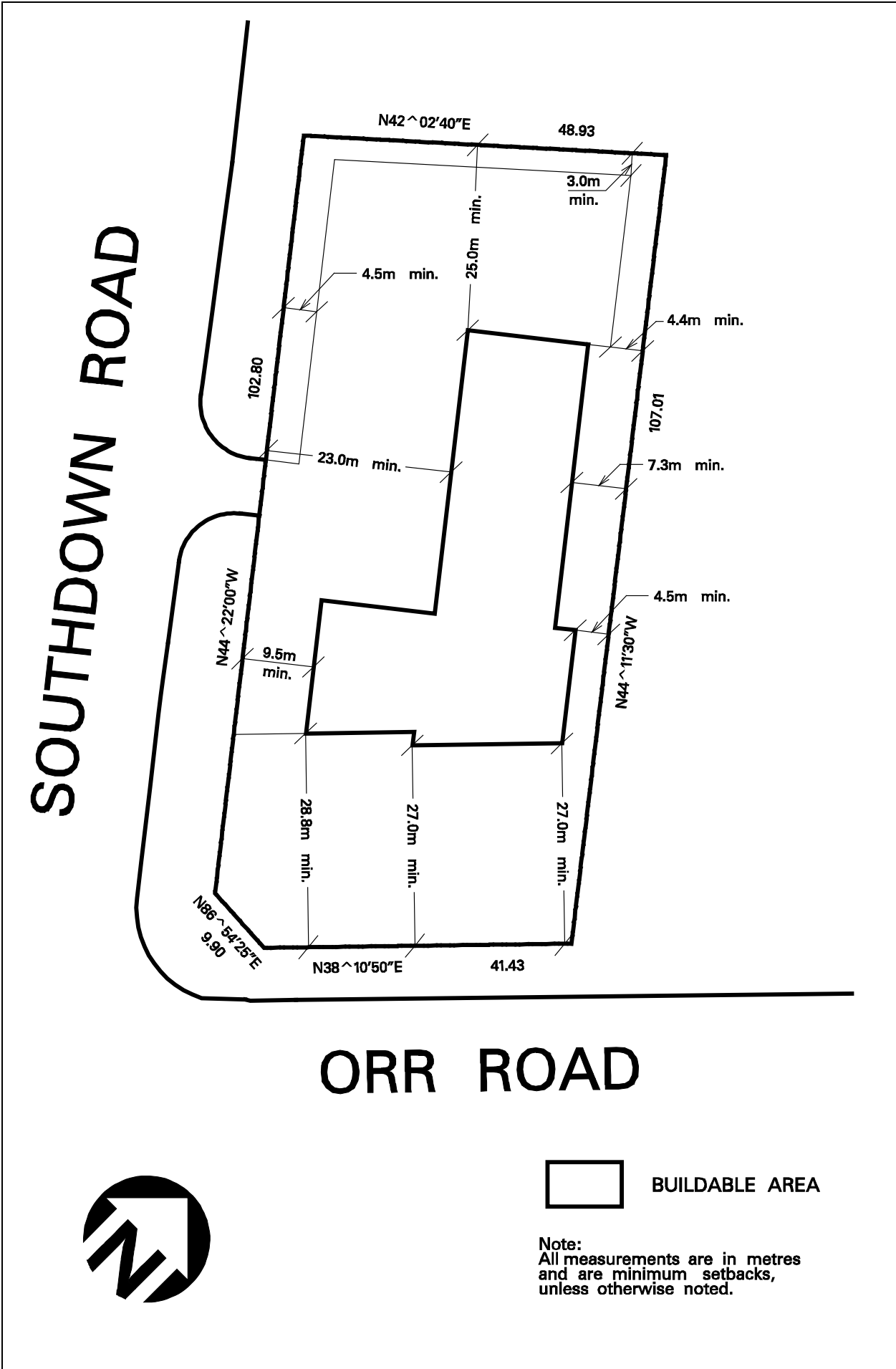
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| 4.2.2.38                                                                                                                                                                | Exception: R1-38                                                                                                                 | Map # 07                                                                      | By-law: 0171-2015/OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0174-2017 |
| In a R1-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                                  |                                                                               |                                                                                       |
| <b>Additional Permitted Use</b>                                                                                                                                         |                                                                                                                                  |                                                                               |                                                                                       |
| 4.2.2.38.1                                                                                                                                                              | (1)                                                                                                                              | <b>Retirement Building</b>                                                    |                                                                                       |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                                  |                                                                               |                                                                                       |
| 4.2.2.38.2                                                                                                                                                              | Maximum <b>height - highest ridge</b> of a <b>detached dwelling: sloped roof</b>                                                 |                                                                               | 9.5 m                                                                                 |
| 4.2.2.38.3                                                                                                                                                              | Maximum <b>height</b> of a <b>detached dwelling: flat roof</b>                                                                   |                                                                               | 7.5 m                                                                                 |
| 4.2.2.38.4                                                                                                                                                              | Maximum height of eaves of a <b>detached dwelling: from average grade</b> to lower edge of eaves                                 |                                                                               | 6.4 m                                                                                 |
| 4.2.2.38.5                                                                                                                                                              | Maximum <b>dwelling unit depth</b>                                                                                               |                                                                               | 20.0 m                                                                                |
| 4.2.2.38.6                                                                                                                                                              | A <b>retirement building</b> shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                                                                               |                                                                                       |
|                                                                                                                                                                         | (1)                                                                                                                              | maximum <b>gross floor area - apartment zone</b>                              | 417 m <sup>2</sup>                                                                    |
|                                                                                                                                                                         | (2)                                                                                                                              | maximum number of <b>retirement dwelling units</b>                            | 14                                                                                    |
|                                                                                                                                                                         | (3)                                                                                                                              | maximum <b>height - highest ridge: sloped roof</b>                            | 10.7 m                                                                                |
|                                                                                                                                                                         | (4)                                                                                                                              | minimum number of resident <b>parking spaces per retirement dwelling unit</b> | 0.15                                                                                  |
|                                                                                                                                                                         | (5)                                                                                                                              | minimum number of visitor <b>parking spaces per retirement dwelling unit</b>  | 0.15                                                                                  |
|                                                                                                                                                                         | (6)                                                                                                                              | maximum number of <b>tandem parking spaces</b>                                | 3                                                                                     |
|                                                                                                                                                                         | (7)                                                                                                                              | all site development plans shall comply with Schedule R1-38 of this Exception |                                                                                       |



Schedule R1-38  
Map 07

|                                                                                                                                                |                                                                                                                                        |          |                              |
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| 4.2.2.39                                                                                                                                       | Exception: R1-39                                                                                                                       | Map # 11 | By-law: 0174-2017, 0092-2021 |
| In a R1-39 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                        |          |                              |
| <b>Permitted Use</b>                                                                                                                           |                                                                                                                                        |          |                              |
| 4.2.2.39.1                                                                                                                                     | Lands zoned R1-39 shall only be used for the following:                                                                                |          |                              |
|                                                                                                                                                | (1) <b>Long-Term Care Building</b>                                                                                                     |          |                              |
| <b>Regulation</b>                                                                                                                              |                                                                                                                                        |          |                              |
| 4.2.2.39.2                                                                                                                                     | A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that: |          |                              |
|                                                                                                                                                | (1) the provisions contained in Article 4.1.15.1 of this By-law shall apply                                                            |          |                              |

|                                                                                                                                                 |                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                      |                      |
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| 4.2.2.40                                                                                                                                        | Exception: R1-40                                                                                                                                                                                 | Map # 03                                                                                                                                                                                                                                                                                                             | By-law: 0174-2017    |
| In a R1 -40 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                      |                      |
| <b>Permitted Uses</b>                                                                                                                           |                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                      |                      |
| 4.2.2.40.1                                                                                                                                      | Lands zoned R1-40 shall only be used for the following:                                                                                                                                          |                                                                                                                                                                                                                                                                                                                      |                      |
|                                                                                                                                                 | (1)                                                                                                                                                                                              | Supportive Housing Dwelling                                                                                                                                                                                                                                                                                          |                      |
|                                                                                                                                                 | (2)                                                                                                                                                                                              | <b>Office</b> accessory to a supportive housing dwelling                                                                                                                                                                                                                                                             |                      |
| <b>Regulations</b>                                                                                                                              |                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                      |                      |
| 4.2.2.40.2                                                                                                                                      | A supportive housing dwelling and <b>office</b> accessory to a supportive housing dwelling shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that: |                                                                                                                                                                                                                                                                                                                      |                      |
|                                                                                                                                                 | (1)                                                                                                                                                                                              | maximum number of bedrooms                                                                                                                                                                                                                                                                                           | 14                   |
|                                                                                                                                                 | (2)                                                                                                                                                                                              | maximum total <b>gross floor area - apartment zone</b> and <b>gross floor area - non-residential</b>                                                                                                                                                                                                                 | 2 100 m <sup>2</sup> |
|                                                                                                                                                 | (3)                                                                                                                                                                                              | maximum <b>gross floor area - non-residential</b> of <b>office</b>                                                                                                                                                                                                                                                   | 560 m <sup>2</sup>   |
|                                                                                                                                                 | (4)                                                                                                                                                                                              | maximum <b>height</b>                                                                                                                                                                                                                                                                                                | 10.7 m               |
|                                                                                                                                                 | (5)                                                                                                                                                                                              | minimum number of <b>parking spaces</b>                                                                                                                                                                                                                                                                              | 38                   |
|                                                                                                                                                 | (6)                                                                                                                                                                                              | "Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations |                      |
|                                                                                                                                                 | (7)                                                                                                                                                                                              | all site development plans shall comply with Schedule R1-40 of this Exception                                                                                                                                                                                                                                        |                      |

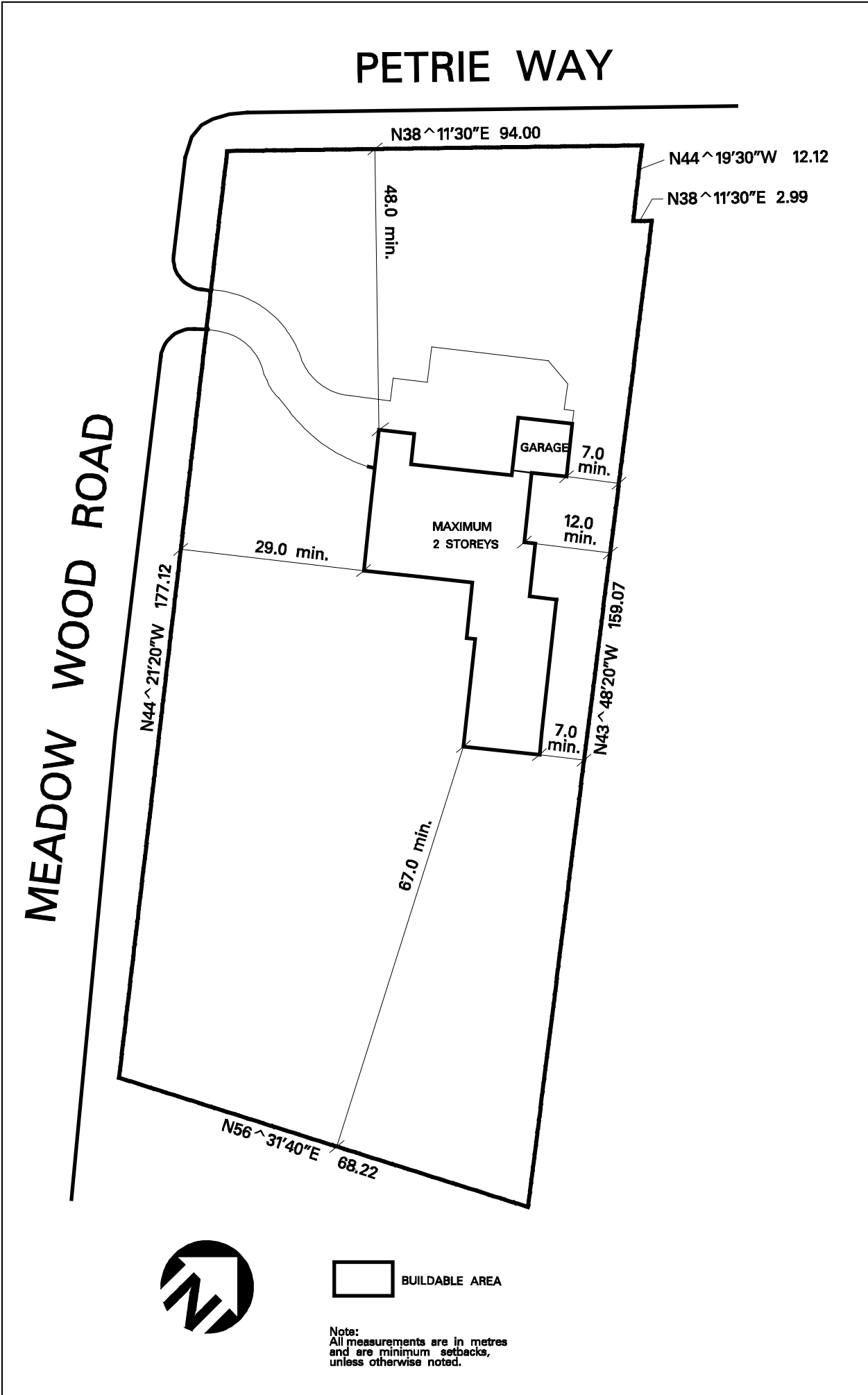


Schedule R1-40  
Map 03



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| 4.2.2.41                                                                                                                                       | Exception: R1-41                                                                                                                       | Map # 52W                                                                                                                                      | By-law: 0174-2017,<br>0112-2019 |
| In a R1-41 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                        |                                                                                                                                                |                                 |
| Permitted Use                                                                                                                                  |                                                                                                                                        |                                                                                                                                                |                                 |
| 4.2.2.41.1                                                                                                                                     | Lands zoned R1-41 shall only be used for the following:                                                                                |                                                                                                                                                |                                 |
|                                                                                                                                                | (1) <b>Long-Term Care Building</b>                                                                                                     |                                                                                                                                                |                                 |
| Regulations                                                                                                                                    |                                                                                                                                        |                                                                                                                                                |                                 |
| 4.2.2.41.2                                                                                                                                     | A <b>long-term care building</b> shall comply with the RA1 zone regulations contained in Subsection 4.15.1 of this By-law except that: |                                                                                                                                                |                                 |
|                                                                                                                                                | (1)      the provisions contained in Article 4.1.15.1 of this By-law shall apply                                                       |                                                                                                                                                |                                 |
|                                                                                                                                                | (2)                                                                                                                                    | maximum number of beds                                                                                                                         | 140                             |
|                                                                                                                                                | (3)                                                                                                                                    | maximum <b>lot coverage</b>                                                                                                                    | 22%                             |
|                                                                                                                                                | (4)                                                                                                                                    | minimum <b>landscaped area</b>                                                                                                                 | 55% of <b>lot area</b>          |
|                                                                                                                                                | (5)                                                                                                                                    | maximum <b>gross floor area - apartment zone</b>                                                                                               | 4 181 m <sup>2</sup>            |
|                                                                                                                                                | (6)                                                                                                                                    | minimum <b>front yard - corner lot</b>                                                                                                         | 26.0 m                          |
|                                                                                                                                                | (7)                                                                                                                                    | minimum <b>exterior side yard</b>                                                                                                              | 30.0 m                          |
|                                                                                                                                                | (8)                                                                                                                                    | minimum <b>interior side yard - corner lot</b>                                                                                                 | 7.5 m                           |
|                                                                                                                                                | (9)                                                                                                                                    | minimum <b>rear yard - corner lot</b>                                                                                                          | 7.5 m                           |
|                                                                                                                                                | (10)                                                                                                                                   | maximum <b>height</b>                                                                                                                          | 2 <b>storeys</b>                |
|                                                                                                                                                | (11)                                                                                                                                   | minimum number of <b>parking spaces</b> per bed                                                                                                | 0.34                            |
|                                                                                                                                                | (12)                                                                                                                                   | minimum setback of a <b>parking area</b> to the <b>street</b>                                                                                  | 7.5 m                           |
|                                                                                                                                                | (13)                                                                                                                                   | minimum setback of a <b>parking area</b> to any other <b>lot line</b>                                                                          | 1.5 m                           |
|                                                                                                                                                | (14)                                                                                                                                   | minimum setback of a <b>parking area</b> to a wall of a dwelling that does not have a window or any other opening into a <b>habitable room</b> | 1.5 m                           |
|                                                                                                                                                | (15)                                                                                                                                   | minimum setback of parking to any other wall of a dwelling                                                                                     | 6.0 m                           |
|                                                                                                                                                | (16)                                                                                                                                   | a maximum of one gazebo is permitted accessory to a <b>long-term care dwelling</b>                                                             |                                 |
|                                                                                                                                                | (17)                                                                                                                                   | maximum area of a gazebo                                                                                                                       | 49 m <sup>2</sup>               |
|                                                                                                                                                | (18)                                                                                                                                   | minimum setback of a gazebo to any <b>lot line</b>                                                                                             | 8.0 m                           |
|                                                                                                                                                | (19)                                                                                                                                   | maximum <b>height</b> of a gazebo                                                                                                              | 6.5 m                           |
| 4.2.2.41.3                                                                                                                                     | "Gazebo" means an unenclosed <b>structure</b> with a roof                                                                              |                                                                                                                                                |                                 |

|                                                                                                                                                |                                                                                                                                   |                                                                                                                                                                                                                                                                                                                      |         |
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| 4.2.2.42                                                                                                                                       | Exception: R1-42                                                                                                                  | Map # 03                                                                                                                                                                                                                                                                                                             | By-law: |
| In a R1-42 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                   |                                                                                                                                                                                                                                                                                                                      |         |
| <b>Permitted Use</b>                                                                                                                           |                                                                                                                                   |                                                                                                                                                                                                                                                                                                                      |         |
| 4.2.2.42.1                                                                                                                                     | Lands zoned R1-42 shall only be used for the following:                                                                           |                                                                                                                                                                                                                                                                                                                      |         |
|                                                                                                                                                | (1) Supportive Housing Dwelling                                                                                                   |                                                                                                                                                                                                                                                                                                                      |         |
| <b>Regulations</b>                                                                                                                             |                                                                                                                                   |                                                                                                                                                                                                                                                                                                                      |         |
| 4.2.2.42.2                                                                                                                                     | A supportive housing dwelling shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                                                                                                                                                                                                                                                                                                                      |         |
|                                                                                                                                                | (1)                                                                                                                               | maximum number of self-contained apartment <b>dwelling units</b> used to accommodate a maximum of eight (8) adults and sixteen (16) children requiring specialized or group care                                                                                                                                     | 8       |
|                                                                                                                                                | (2)                                                                                                                               | maximum total <b>gross floor area</b> used for an apartment <b>dwelling unit</b> for staff and an <b>office</b>                                                                                                                                                                                                      | 580 m²  |
|                                                                                                                                                | (3)                                                                                                                               | minimum number of <b>parking spaces</b> required                                                                                                                                                                                                                                                                     | 10      |
|                                                                                                                                                | (4)                                                                                                                               | "Supportive Housing Dwelling" means a <b>building</b> or part thereof which is licensed, approved or supervised by the Province under the Supportive Housing Program: Family Violence Initiative, approved under the <i>Ministry of Community and Social Services Act</i> , R.S.O. 1990, c.M.20, and its regulations |         |
|                                                                                                                                                | (5)                                                                                                                               | all site development plans shall comply with Schedule R1-42 of this Exception                                                                                                                                                                                                                                        |         |



Schedule R1-42  
Map 03

|                                                                                                                                                |                  |           |         |
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| 4.2.2.43                                                                                                                                       | Exception: R1-43 | Map # 38E | By-law: |
| In a R1-43 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                  |           |         |
| <b>Permitted Use</b>                                                                                                                           |                  |           |         |
| 4.2.2.43.1      Lands zoned R1-43 shall only be used for the following:                                                                        |                  |           |         |
| (1) <b>Detached Dwelling</b> or                                                                                                                |                  |           |         |
| (2) <b>Medical Office - Restricted</b>                                                                                                         |                  |           |         |

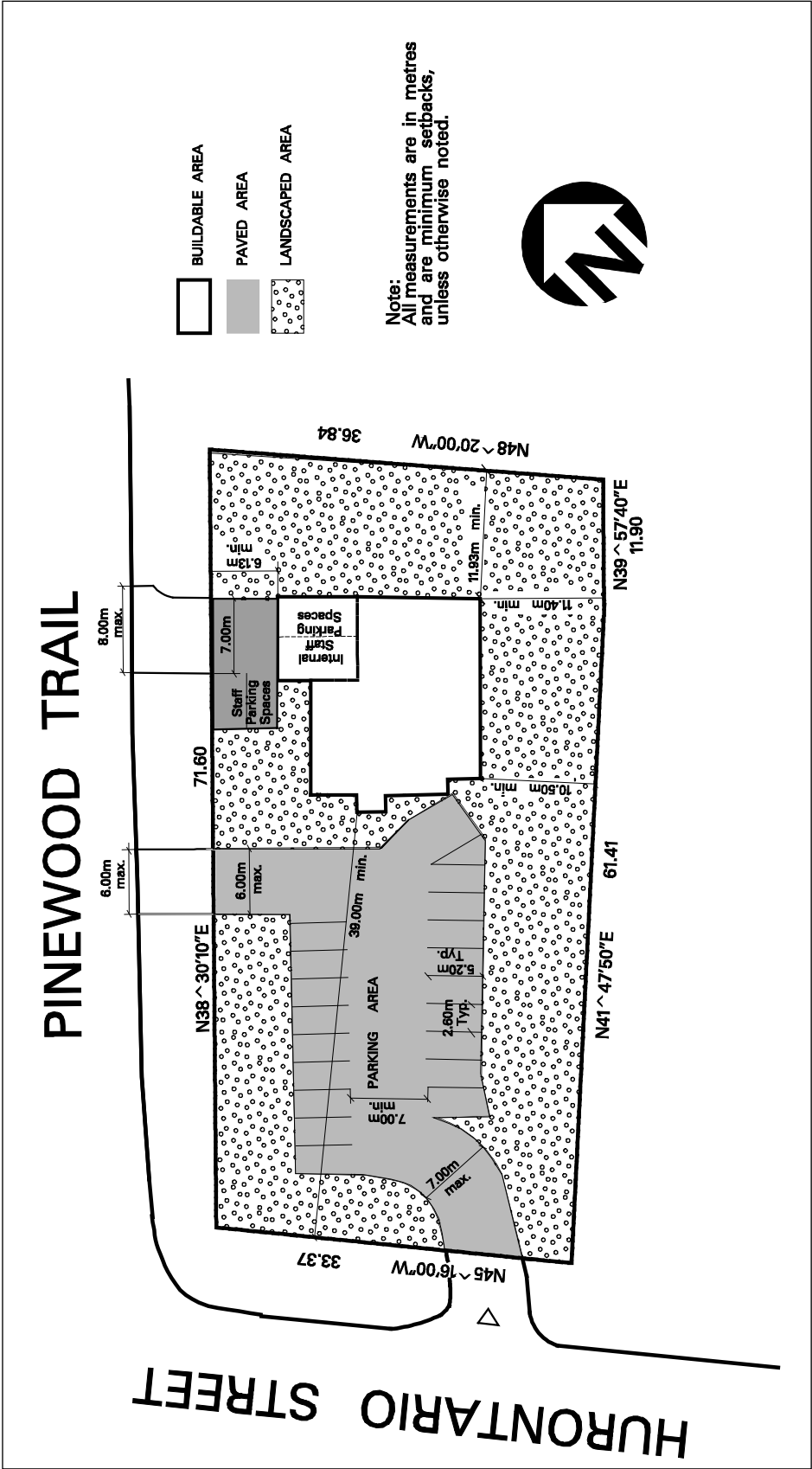
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| 4.2.2.44                                                                                                                                       | Exception: R1-44 | Map # 38W | By-law: |
| In a R1-44 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                  |           |         |
| <b>Permitted Use</b>                                                                                                                           |                  |           |         |
| 4.2.2.44.1      Lands zoned R1-44 shall only be used for the following:                                                                        |                  |           |         |
| (1) <b>Detached Dwelling</b> or                                                                                                                |                  |           |         |
| (2) <b>Private Club</b>                                                                                                                        |                  |           |         |

|                                                                                                                                                                          |                                   |          |         |
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| 4.2.2.45                                                                                                                                                                 | Exception: R1-45                  | Map # 17 | By-law: |
| In a R1-45 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                   |          |         |
| <b>Regulation</b>                                                                                                                                                        |                                   |          |         |
| 4.2.2.45.1                                                                                                                                                               | Minimum <b>exterior side yard</b> |          | 6.4 m   |

|                                                                                                                                                |                                                                                                                                               |                                                                                                                                                                              |                   |
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| 4.2.2.46                                                                                                                                       | Exception: R1-46                                                                                                                              | Map # 07                                                                                                                                                                     | By-law: 0208-2022 |
| In a R1-46 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                                               |                                                                                                                                                                              |                   |
| Permitted Uses                                                                                                                                 |                                                                                                                                               |                                                                                                                                                                              |                   |
| 4.2.2.46.1                                                                                                                                     | Lands zoned R1-46 shall only be used for the following:                                                                                       |                                                                                                                                                                              |                   |
|                                                                                                                                                | (1)                                                                                                                                           | Office                                                                                                                                                                       |                   |
|                                                                                                                                                | (2)                                                                                                                                           | Medical Office - Restricted                                                                                                                                                  |                   |
| Use Not Permitted                                                                                                                              |                                                                                                                                               |                                                                                                                                                                              |                   |
| 4.2.2.46.2                                                                                                                                     | (1)                                                                                                                                           | Office and/or medical office - restricted that requires more than 23 parking spaces                                                                                          |                   |
| Regulations                                                                                                                                    |                                                                                                                                               |                                                                                                                                                                              |                   |
| 4.2.2.46.3                                                                                                                                     | An office and medical office - restricted shall comply with the R1 zone regulations contained in Subsection 4.2.1 of this By-law except that: |                                                                                                                                                                              |                   |
|                                                                                                                                                | (1)                                                                                                                                           | maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practice at any one time                                                 | 5                 |
|                                                                                                                                                | (2)                                                                                                                                           | maximum gross floor area                                                                                                                                                     | 350 m²            |
|                                                                                                                                                | (3)                                                                                                                                           | maximum lot coverage                                                                                                                                                         | 13%               |
|                                                                                                                                                | (4)                                                                                                                                           | minimum landscaped area                                                                                                                                                      | 50% of lot area   |
|                                                                                                                                                | (5)                                                                                                                                           | the use of any part of the building below established grade shall be restricted to the following:                                                                            |                   |
|                                                                                                                                                | (5.1)                                                                                                                                         | lunch rooms, lounges or fitness rooms for the personal needs of occupants of the building;                                                                                   |                   |
|                                                                                                                                                | (5.2)                                                                                                                                         | storage incidental to permitted uses in the building;                                                                                                                        |                   |
|                                                                                                                                                | (5.3)                                                                                                                                         | stairwells;                                                                                                                                                                  |                   |
|                                                                                                                                                | (5.4)                                                                                                                                         | mechanical equipment related to heating, ventilation, and air conditioning of the building;                                                                                  |                   |
|                                                                                                                                                | (5.5)                                                                                                                                         | communication devices, the electrical distribution panel, and accessory equipment;                                                                                           |                   |
|                                                                                                                                                | (5.6)                                                                                                                                         | storage of disposable or recyclable waste generated within the building.                                                                                                     |                   |
|                                                                                                                                                | (6)                                                                                                                                           | maximum height - highest ridge: sloped roof                                                                                                                                  | 7.5 m             |
|                                                                                                                                                | (7)                                                                                                                                           | maximum projection of a porch outside the buildable area identified on Schedule R1-46 of this Exception                                                                      | 1.8 m             |
|                                                                                                                                                | (8)                                                                                                                                           | maximum number of parking spaces                                                                                                                                             | 23                |
|                                                                                                                                                | (9)                                                                                                                                           | the parking area identified on Schedule R1-46 of this Exception for clients and visitors shall have full access to Pinewood Trail and restricted access to Hurontario Street |                   |
|                                                                                                                                                | (10)                                                                                                                                          | the four parking spaces identified on Schedule R1-46 of this Exception that have access from the easterly driveway on Pinewood Trail shall be reserved for use by staff only |                   |
|                                                                                                                                                | (11)                                                                                                                                          | a ramp for disabled persons may project outside the buildable area identified on Schedule R1-46 of this Exception                                                            |                   |

Exception R1-46 continued on next page

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| 4.2.2.46                                     | Exception: R1-46 | Map # 07                                                                                                                                                                                                        | By-law: 0208-2022 |
| Exception R1-46 continued from previous page |                  |                                                                                                                                                                                                                 |                   |
| 4.2.2.46.3<br>(continued)                    | (12)             | minimum aisle width for the two parking spaces in the garage                                                                                                                                                    | 6.13 m            |
|                                              | (13)             | "Gross Floor Area" means the sum of the areas of each storey measured between the exterior of the faces of the exterior walls excluding the garage and any part of the building located below established grade |                   |
|                                              | (14)             | all site development plans shall comply with Schedule R1-46 of this Exception                                                                                                                                   |                   |



Schedule R1-46  
Map 07

|                                                                                                                                                |                                                         |                                          |                                                |
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| 4.2.2.47                                                                                                                                       | Exception: R1-47                                        | Map # 56                                 | By-law: <i>deleted by 0389-2009, 0146-2012</i> |
| In a R1-47 zone the applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                         |                                          |                                                |
| <b>Permitted Uses</b>                                                                                                                          |                                                         |                                          |                                                |
| 4.2.2.47.1                                                                                                                                     | Lands zoned R1-47 shall only be used for the following: |                                          |                                                |
|                                                                                                                                                | (1)                                                     | The <b>existing</b> heritage dwelling    |                                                |
|                                                                                                                                                | (2)                                                     | The <b>existing</b> heritage outbuilding |                                                |

|                                                                                                                                                                          |                  |                                                                                          |                   |
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| 4.2.2.48                                                                                                                                                                 | Exception: R1-48 | Map # 17                                                                                 | By-law: 0174-2017 |
| In a R1-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                  |                                                                                          |                   |
| <b>Additional Permitted Uses</b>                                                                                                                                         |                  |                                                                                          |                   |
| 4.2.2.48.1                                                                                                                                                               | (1)              | <b>Retirement building</b> legally <b>existing</b> on the date of passing of this By-law |                   |
|                                                                                                                                                                          | (2)              | Convent legally <b>existing</b> on the date of passing of this By-law                    |                   |

|                                                                                                                                                                          |                                                                                                                  |           |                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|-----------|-------------------|
| 4.2.2.49                                                                                                                                                                 | Exception: R1-49                                                                                                 | Map # 53E | By-law: 0180-2021 |
| In a R1-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                                                                  |           |                   |
| <b>Regulations</b>                                                                                                                                                       |                                                                                                                  |           |                   |
| 4.2.2.49.1                                                                                                                                                               | The regulations of Sentence 3.1.1.7.1 contained in Article 3.1.1.7 of this By-law shall not apply                |           |                   |
| 4.2.2.49.2                                                                                                                                                               | A <b>detached dwelling</b> shall comply with the R3 zone provisions contained in Subsection 4.2.1 of this By-law |           |                   |

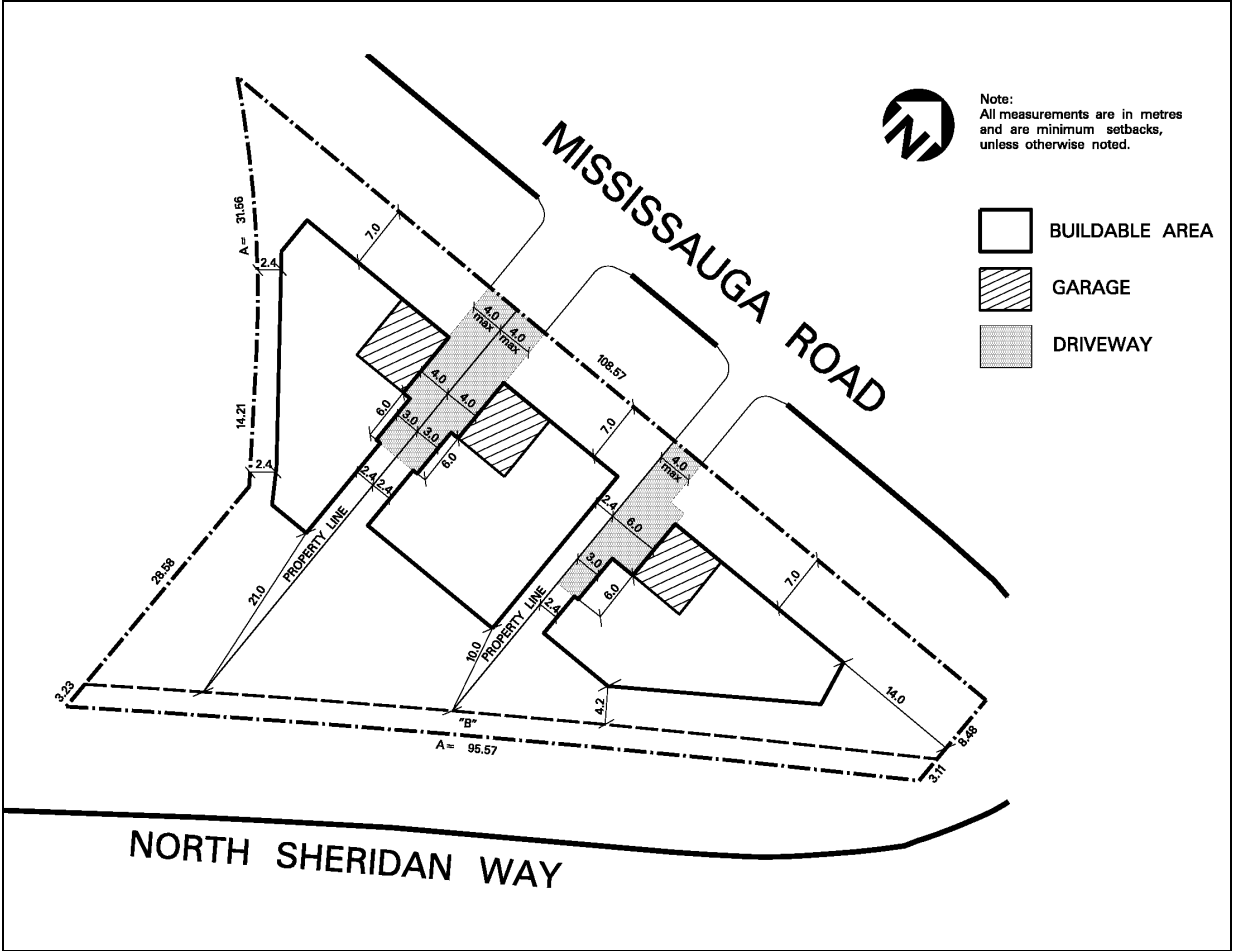
|                                                                                                                                                               |                         |           |                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------|--------------------|
| 4.2.2.50                                                                                                                                                      | Exception: R1-50        | Map # 53E | By-law: 0192-2014  |
| In a R1-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1-32 zone except that the following regulation shall apply: |                         |           |                    |
| <b>Regulation</b>                                                                                                                                             |                         |           |                    |
| 4.2.2.50.1                                                                                                                                                    | Minimum <b>lot area</b> |           | 900 m <sup>2</sup> |

|                                                                                                                                                                          |                                                                              |              |                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|--------------|--------------------------------------------------------------------------------------|
| 4.2.2.51                                                                                                                                                                 | Exception: R1-51                                                             | Map # 05, 07 | By-law: 0171-2015/<br>OMB Order 2016 April 04,<br>0193-2016/OMB Order<br>2017 May 30 |
| In a R1-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                                                              |              |                                                                                      |
| <b>Regulations</b>                                                                                                                                                       |                                                                              |              |                                                                                      |
| 4.2.2.51.1                                                                                                                                                               | Maximum <b>height - highest ridge:<br/>sloped roof</b>                       | 9.5 m        |                                                                                      |
| 4.2.2.51.2                                                                                                                                                               | Maximum <b>height:<br/>flat roof</b>                                         | 7.5 m        |                                                                                      |
| 4.2.2.51.3                                                                                                                                                               | Maximum height of eaves:<br>from <b>average grade</b> to lower edge of eaves | 6.4 m        |                                                                                      |
| 4.2.2.51.4                                                                                                                                                               | Maximum <b>dwelling unit depth</b>                                           | 20.0 m       |                                                                                      |

|                                                                                                                                                                          |                                          |                                                                                                     |                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------------------------------------------------------|-------------------------------------|
| 4.2.2.52                                                                                                                                                                 | Exception: R1-52                         | Map # 16                                                                                            | By-law: OMB Order<br>2015 August 11 |
| In a R1-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses</b> /regulations shall apply: |                                          |                                                                                                     |                                     |
| <b>Regulations</b>                                                                                                                                                       |                                          |                                                                                                     |                                     |
| 4.2.2.52.1                                                                                                                                                               | Minimum <b>lot frontage</b>              | 20.0 m                                                                                              |                                     |
| 4.2.2.52.2                                                                                                                                                               | Maximum <b>lot coverage</b>              | 35%                                                                                                 |                                     |
| 4.2.2.52.3                                                                                                                                                               | Minimum <b>front yard - interior lot</b> | 9.0 m                                                                                               |                                     |
| 4.2.2.52.4                                                                                                                                                               | Minimum <b>interior side yard</b>        | 1.2 m + 0.61 m for<br>each additional <b>storey</b><br>or portion thereof<br>above 2 <b>storeys</b> |                                     |



|                                                                                                                                                                         |                                                                                                                                                                               |                      |                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|---------------------------------|
| 4.2.2.53                                                                                                                                                                | Exception: R1-53                                                                                                                                                              | Map # 16             | By-law: 0181-2016,<br>0208-2022 |
| In a R1-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R1 zone except that the following <b>uses/regulations</b> shall apply: |                                                                                                                                                                               |                      |                                 |
| <b>Regulations</b>                                                                                                                                                      |                                                                                                                                                                               |                      |                                 |
| 4.2.2.53.1                                                                                                                                                              | Minimum <b>lot area</b>                                                                                                                                                       | 1 000 m <sup>2</sup> |                                 |
| 4.2.2.53.2                                                                                                                                                              | Minimum <b>lot frontage - interior lot</b>                                                                                                                                    | 23.0 m               |                                 |
| 4.2.2.53.3                                                                                                                                                              | Minimum <b>lot frontage - corner lot</b>                                                                                                                                      | 45.0 m               |                                 |
| 4.2.2.53.4                                                                                                                                                              | Maximum <b>lot coverage</b>                                                                                                                                                   | 35%                  |                                 |
| 4.2.2.53.5                                                                                                                                                              | The <b>lot line</b> abutting Mississauga Road shall be deemed to be the <b>front lot line</b>                                                                                 |                      |                                 |
| 4.2.2.53.6                                                                                                                                                              | Maximum <b>height - highest ridge: sloped roof</b>                                                                                                                            | 10.4 m               |                                 |
| 4.2.2.53.7                                                                                                                                                              | Maximum height of eaves:<br>from <b>average grade</b> to lower edge of the eaves                                                                                              | 7.5 m                |                                 |
| 4.2.2.53.8                                                                                                                                                              | <b>Driveways</b> and <b>parking areas</b> shall be constructed of a <b>pervious material</b>                                                                                  |                      |                                 |
| 4.2.2.53.9                                                                                                                                                              | <b>Accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> may be located outside the <b>buildable area</b> and shall only be located in the <b>rear yard</b> |                      |                                 |
| 4.2.2.53.10                                                                                                                                                             | All site development plans shall comply with Schedule R1-53 of this Exception                                                                                                 |                      |                                 |



Schedule R1-53  
Map 16

