

Lakeview Local Area Plan

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LAKEVIEW

1.0 How to Read the Lakeview Local Area Plan

Mississauga Official Plan (“the Plan”) consists of a principal document and a series of local area plans, provided under separate cover. This is the Lakeview Local Area Plan (“Area Plan”) and provides policies for lands located in southeast Mississauga as shown in Figure 1. It includes lands identified in the City Structure as a Neighbourhood Character Area.

There are some instances where the policies and schedules of the principal document do not address all circumstances particular to Lakeview. In these cases, this Area Plan elaborates on, or provides exceptions to, the policies or schedules of the principal document.

This Area Plan must be read in conjunction with the principal document. Parts one to four, the schedules, and the appendices of the principal document are applicable to the Lakeview area unless modified by this Area Plan. For example, the policies of this Area Plan must be read in conjunction with the environmental, multi-modal, urban form and land use policies of parts two and three of the principal document. In the event of a conflict, the policies of this Area Plan take precedence.

For the purpose of this Area Plan, when Lakeview is referenced, it includes lands within the Lakeview Neighbourhood Character Areas.

Appendices attached to this Area Plan have been included for information purposes.

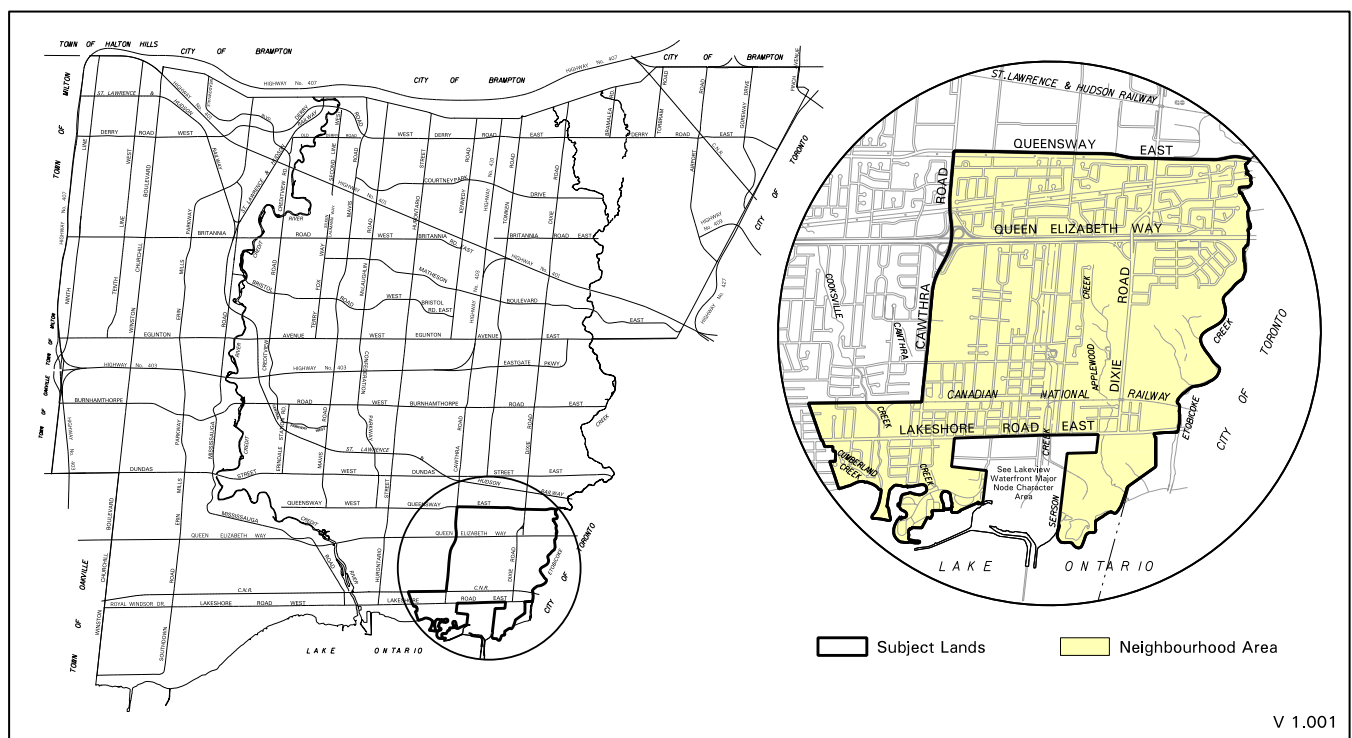


Figure 1: Lakeview is located in the southeast corner of Mississauga and includes areas identified in the City Structure as a Neighbourhood Character Area.

Included in the appendices is the Lakeview Built Form Standards (Appendix I) which will be used during the review of development applications. This document demonstrates how the urban form policies can be achieved.

The Built Form Standards document is not considered part of this Area Plan. However, selected content has been incorporated and represents policy.

The Executive Summary from the Lakeshore Road Transportation Review Study (Appendix II) has been to provide additional information on how the Lakeshore Road **corridor** within the Lakeview and Port Credit Character Areas can accommodate alternative modes of transportation.

2.0 Historical Context

In the early 1800s, the Lakeview community consisted of large family owned farms. The Cawthra, Cavan, Haig, Ogden, Halliday, and Shaw families all owned land in the area. Many of the street names today bear the family names of the farmers and land owners in the area. The Cawthra-Elliot Estate remains a significant heritage site in the City of Mississauga.

Lake Shore Road first opened in 1804, and in 1917 it was the first concrete road in Ontario, and one of the longest cement roads between two cities in the

world. By 1944, the road became what we know it as today: Lakeshore Road. Historically, commercial development has occurred on Lakeshore Road and primarily in a strip form along the **corridor**.

Lakeview has a history of significant industrial and military presence. The Long Branch Rifle Ranges, located at the terminus of Dixie Road, on the south side of Lakeshore Road East were used as an active site for militia training and a Cadet program used by the Department of National Defence during World War I. Remnants of the bunkers today remain on the site.

In 1935, the Department of Defence purchased the site at Lakeshore Road East and Dixie Road, and Small Arms Limited, a munitions factory, opened in 1940. The company manufactured armaments, munitions and materials through the Second World War until 1974. This site is commonly known today as the Arsenal Lands. The Small Arms Inspection Building was saved from being demolished in 2009 by a community group in Lakeview.

Some early subdivisions within the Lakeview area date to the Second World War time period. War-time houses were built to alleviate the housing shortage for workers at the munitions factory and for returning veterans.

The many heritage sites provide a glance of Lakeview's past as a village community: the Lakeview Golf and Country Club (1907), Adamson



Figure 2: Heritage sites such as the Cawthra-Elliot Estate (left photo) and Lakeview Park School (right photo) provide a glance of Lakeview's past when it was once a village community.

Figure 3:
LAKEVIEW AREA STATISTICS

	North Residential Neighbourhood Precinct	Central Residential Neighbourhood Precinct	South Residential Neighbourhood, Lakeshore Corridor	Total Lakeview
Land Area ¹ (ha)	261	489	397	1,147
Population ²	5,230	8,320	9,200	22,750
Employment ³	580	1,790	1,430	3,800

¹ Land area is a gross figure and includes everything within the defined boundary such as rivers, roads, and all other land uses.

² Population is adapted from Hemson Consulting, Growth Forecast, 2008. Population figures are based on the 2011 mid-year forecast and include a 4.2% undercount from Statistics Canada.

³ Employment figures include a work from home assumption of 31 jobs in 1,000 population, adapted from Hemson Consultants, Growth Forecast, 2008. Employment figures also include an adjustment factor for non-reporting businesses adapted from City of Mississauga, Mississauga Employment Survey, 2011. Note: Numbers have been rounded

Estate (1919), Pallett-McMaster House (1911), Lakeview Park School (1923), Cawthra-Elliot Estate (1926), and a 1950s contempo gas station.

By 1950, Lakeview had transformed from a rural area into a suburban landscape with land used for industrial, residential, commercial and public spaces. New subdivisions were being built such as Orchard Heights and Applewood Acres. New businesses and industries, such as what is now Dixie Outlet Mall were established as a result of the increasing population. In 1958, the Lakeview Generating Station was erected on the Long Branch Rifle Ranges land providing electricity for the people of Ontario for 43 years before being decommissioned in 2005.

For decades, Lakeview has provided water and wastewater servicing for Mississauga and the surrounding municipalities. The Lakeview Water Treatment Plant was constructed in 1952, and the Lakeview Wastewater Treatment Plant (later renamed, G.E. Booth Wastewater Treatment Facility) opened in 1961. To date, both plants continue to play an important role in providing regional servicing needs.

3.0 Current Context

Lakeview is made up of stable residential neighbourhoods characterized by detached and semi-detached housing. Many homes built in the 1950s and 1960s are being renovated today or replaced largely with new detached housing, and some assembly for townhouses is occurring. Townhouses are found in pockets throughout Lakeview between Lakeshore Road East and the Queen Elizabeth Way. Apartment buildings are located mainly near the Canadian National Railway tracks at Cawthra Road, on Dixie Road, and several are built along Lakeshore Road East. There are a few multi-unit residential dwellings in Lakeview, including duplex, triplex and quadruplex.

The area is served by commercial facilities concentrated along Lakeshore Road East. However, it is fragmented by other uses such as motor vehicle repair garages and motor vehicle sales and service. The area along Lakeshore Road East to the east of Cawthra Road is in its early stages of revitalization to mainstreet retail, with newly built and proposed mixed use buildings. Neighbourhoods to the north are served by commercial facilities located along the Queen Elizabeth Way, namely Dixie Outlet Mall and Applewood Village Plaza.

The G.E. Booth Wastewater Treatment Facility, situated south of Lakeshore Road East, occupies a large portion of the Lake Ontario **shoreline**. A major utility use in the area is the Lakeview Water Treatment Facility which is bordered by several parks including A.E. Crookes Park, Lakefront Promenade Park, and Douglas Kennedy Park.

The open space system predominately consists of golf courses, natural areas, creeks, trails, and parks along the Lake Ontario waterfront. These lands are culturally and recreationally significant and connect to Mississauga's parks system.

The waterfront is one of the distinctive elements of Lakeview, and physical and visual accessibility to the waterfront is integral to the community.

Cultural and heritage resources include heritage buildings, cultural landscapes associated with the scenic parks and golf courses, Lakeview's industrial past, former residential estates, and the Dixie Road Scenic Route.

The road network consists of the following east-west road connections: Queen Elizabeth Way, Lakeshore Road East, Queensway East, North and South Service Road, and Atwater Avenue. The north-south road connections are: Cawthra Road, Dixie Road, Ogden Avenue, Stanfield Road, and Haig Boulevard. For classification and rights-of-way, refer to the Road Classification tables found in Chapter 8 of Mississauga Official Plan.

Population, employment, and land area statistics of the Lakeview area are summarized in Figure 3. For the purpose of this Area Plan, Lakeview is arranged by Precinct: North Residential Neighbourhood, Central Residential Neighbourhood, South Residential Neighbourhood, and Lakeshore Corridor, as shown on Map 1: Lakeview Local Area Plan Precincts and Sub-Areas.

4.0 Collaboration

This Area Plan incorporates public input provided through extensive consultation, including stakeholder interviews, visioning sessions, placemaking workshops, youth outreach exercises and an open house.

The results of the visioning process are contained in the report, "Lakeview and Port Credit Directions Report" (Directions Report). The Directions Report includes a range of policy recommendations that have informed the preparation of this Area Plan.

Preparation included the formation of a Local Advisory Panel which provided a forum for the discussion of planning and related issues.

The Lakeview Waterfront Connection Project led by the Credit Valley Conservation and the Region of Peel, and supported by the City and the Toronto and Region Conservation Authority, is planning and designing a connection to the City of Toronto. The project goal is to enhance the aquatic and terrestrial wildlife habitat and provide opportunities for public access to the waterfront.

Mississauga will ensure that consultation with the public and stakeholders on further initiatives and implementation pertaining to this Area Plan will continue.



Figure 4: Public engagement, such as the placemaking exercise held at the Lakeview Golf Course provides valuable input into the planning process.

5.0 Vision

The Vision for Lakeview is a connection of neighbourhoods with views to the lake and public access to the shores and waters of Lake Ontario. The neighbourhoods of Lakeview will be connected through a network of parks and open spaces.

Neighbourhoods in Lakeview are stable and offer a variety of housing choices. It is recognized that some change will occur, and development should provide appropriate transition to the existing stable areas, and protect the existing character and heritage features.

The Vision and policies of this Area Plan advance the goals of the Strategic Plan, including:

- Move – directing growth to support transit;
- Belong – providing a range of housing options;
- Connect – developing walkable connected neighbourhood;
- Prosper – encourage employment uses; and
- Green – promote conservation, restoration, and enhancement of the natural environment.

5.1 Guiding Principles

The Vision for Lakeview is based on the following six guiding principles that provide local context and supplements the Guiding Principles of the principal document:

5.1.1 Reconnect Lakeview to the waterfront by protecting view *corridors* to the lake and along the shoreline, providing a mix of uses and public access to the waterfront.

5.1.2 Strengthen distinct neighbourhoods by preserving heritage features, protecting established stable neighbourhoods and ensuring appropriate built form transitions for development.

5.1.3 Support complete communities through compact, mixed use development and a pedestrian oriented mainstreet that offers a range of culture, residential and employment opportunities.

5.1.4 Promote community health by encouraging public transit, cycling, walking, and the active use of parks, open spaces, and community facilities.

5.1.5 Support social well-being by providing facilities and services for a diverse population of all ages and cultures, promoting public spaces as places for social interaction, and encouraging public participation.

5.1.6 Achieve leadership in sustainability by supporting development that is energy efficient and environmentally responsible, and to support the economic health, social equity and cultural vitality of Lakeview.



Figure 5: The Lakeview Vision is based on six principles.

5.2 Community Concept

The focus of the policies in this Area Plan is to strengthen and revitalize the Lakeshore corridor for mainstreet commercial development, to preserve the character of the existing residential areas while allowing for modest infilling, and to enhance the transportation system.

This Area Plan recognizes that areas of the community are unique and serve a different purpose. The elements that make up Lakeview's community concept consist of the following:

- Green System;

- Neighbourhoods; and

- **Corridors.**

For the purpose of this Area Plan, Lakeview is considered to be composed of precincts which are further divided into sub-areas that are identified on Map 1: Lakeview Local Area Plan Precincts and Sub-Areas. They contain a variety of land use designations and may include specific urban form guidelines for the sub-area.

5.2.1 Green System

The Green System consists of an interconnected open space network including, parks, golf courses, creeks, hydro corridors, school yards, and the Lake Ontario shoreline, which are all key features in the identity of the area and provide places for recreation and social interaction.

Implications of development on the Green System are an important consideration in the review of any development application. The Green System overlaps the Neighbourhood and **Corridor** elements.

5.2.2 Neighbourhoods

Infill and redevelopment in Neighbourhoods will be facilitated and be encouraged in a manner consistent with existing land uses in the surrounding area. Neighbourhoods are considered to be primarily stable residential areas that may include a commercial centre to serve the surrounding area.

The North Residential Neighbourhood Precinct consists of two smaller neighbourhoods or sub-areas – Applewood Acres and Sherway West. These areas consist predominantly of detached housing, with several schools serving the area.

The Central Residential Neighbourhood Precinct contains large open space areas, including two golf courses and a woodlands area. The three sub-areas that make up this precinct are Cawthra Village,



Figure 6: Neighbourhoods are non-intensification areas with limited growth. Development in Neighbourhoods should fit into the existing character, respecting the existing low density and one to two storey building heights in Lakeview.

Serson Terrace, and Orchard Heights. Housing is comprised of mostly detached dwellings on deep lots, and a small number of semi-detached homes and apartment buildings. This area also contains some newer subdivisions with townhouse condominium dwellings.

The South Residential Neighbourhood Precinct, composed of the sub-areas of Lakeview West, Lakeview Village, Creekside and Lakeside, contain a mix of different forms of housing including detached, semi-detached, duplexes, triplexes, quadruplexes, and townhouses. There are also apartment clusters in this area.

5.2.3 Corridors

The principal document identifies Lakeshore Road East, Cawthra Road, and Dixie Road as **corridors**. These **corridors** link together the neighbourhoods of Lakeview. **Corridors** that run through the Neighbourhood Character Area should develop with mixed uses oriented towards the **corridor**.

Lakeshore Road East is an important **corridor** in the future development of Lakeview. This area will be strengthened by concentrating additional commercial, residential and community uses, and by improving transportation connections with the surrounding neighbourhoods.

This Area Plan identifies Lakeshore Road East (also referred to as the Lakeshore Corridor), as the Lakeshore Corridor Precinct. Although Lakeshore Corridor is a non-intensification area, the Area Plan has identified sites along the **corridor** which are appropriate for intensification.

Maintaining Lakeshore Road East as a four lane roadway during peak travel times is a transportation priority. At the same time, Lakeshore Road East is a constrained **corridor** that requires a context sensitive design approach. Traffic calming measures should be considered, where possible. Trade-offs will be required to accommodate the envisioned multi-modal function of the **corridor** to provide transportation choices including walking, cycling, auto/truck traffic, and transit.

6.0 Direct Growth

Intensification is the development of a property, site or area at a higher intensity than what currently exists. Intensification should be consistent with the planned function for the area as reflected by the City Structure and urban hierarchy of the Plan.

The amount of intensification will vary in accordance with the policies of this Area Plan. In Lakeview, some growth is directed to the following areas: modest infilling in neighbourhoods, and the redevelopment of some sites along Lakeshore Road East, and other larger commercial sites. The specific manner in which development will be accommodated is further explained in subsequent sections of this Area Plan.

6.1 Neighbourhood Character Areas

Neighbourhoods are stable areas, primarily residential in nature, and not expected to experience significant change. Where **corridors** traverse through Neighbourhoods, intensification may occur along **corridors** where appropriate.

6.1.1 Intensification will be through modest infilling, redevelopment along the **corridors**, or on commercial sites.

6.1.2 Neighbourhoods are encouraged to provide a variety of housing forms to meet the needs of a range of household types.

6.1.3 Intensification will be sensitive to the existing character of the residential areas and the planned context.

6.1.4 Redevelopment of employment uses along the railway tracks will be reviewed in a comprehensive manner and address among other things, transition to the residential areas and to the existing business employment.

6.2 Lakeshore Road Corridor

The principal document identifies Lakeshore Road East through Lakeview as a **Higher Order Transit Corridor**. This **corridor** will accommodate multi-modal transportation facilities and a mix of commercial, office, residential and cultural uses.

The Lakeshore Corridor crosses through the Neighbourhood Character Areas. It generally includes the properties that front onto Lakeshore Road East.

Development in the Lakeshore Corridor Precinct should have regard for the character of the Neighbourhoods, providing appropriate transitions in height, built form, and density.

6.2.1 Intensification will occur through infilling or redevelopment.

6.2.2 Intensification will be sensitive to the existing and planned context of the **corridor** and adjacent residential uses.



Figure 7: The Lakeshore Corridor has redevelopment potential. Development that provides a continuous street frontage, enhances the **streetscape** through landscaping, and promotes an active pedestrian environment will be encouraged.

6.2.3 Intensification will address matters such as:

- a. contribution to a complete community;
- b. contribution to the mainstreet character;
- c. respecting heritage; and
- d. protecting views to the waterfront.

7.0 Value the Environment

Reconnection to the waterfront and environmental sustainability are guiding principles of this Area Plan. The Green System is an important element in the Community Concept; it is located within a variety of land use designations in Lakeview.

Schedule 1a of the principal document identifies elements of the Green System:

- Natural Heritage System;
- **Natural Hazard Lands**, and
- Parks and Open Space.

Schedule 3 of the principal document identifies the Natural System, which includes Significant Natural Areas and Natural Green Spaces and **Natural Hazard Lands**. Schedule 4 identifies Parks and Open Spaces.

In Lakeview, the Natural Heritage System includes the Cawthra Woods, which is one of a few large forested areas remaining in Mississauga. It is identified as a Provincially **Significant Wetland**, a Regional Area of Natural and Scientific Interest (ANSI) and an **Environmentally Significant Area (ESA)**. The area contains a diversity of plant species and is known as a migratory stopover.

The **Natural Hazard Lands** are associated with features such as Lake Ontario Shoreline and five **watercourses**: Etobicoke Creek, Applewood Creek, Serson Creek, Cawthra Creek and Cooksville Creek.

City parks and open spaces, such as golf courses, are places for social interaction, art intervention, and recreation. Waterfront Parks, which serve a city and regional wide function, are also an important



Figure 8: Trees provide many benefits to the community including improving air quality, protecting our water, conserving energy, and providing aesthetic benefits.

component of the Parks and Open Space System. Lakeview contains seven waterfront parks: Park 358 (not yet named) on the Arsenal property, Lakeview Park, Douglas Kennedy Park, Lakefront Promenade, A.E. Crookes Park, R.K. McMillan Park, and Adamson Estate.

Trees are invaluable and are essential to our quality of life. Protecting and enhancing the urban forest will leave a legacy for future generations.

Hydro corridors can provide linear connections through neighbourhoods. In Lakeview, there are three hydro corridors. The “Queensway Corridor” is generally adjacent to the Queensway East, the “Applewood Junction Corridor” extends diagonally, north of the Queen Elizabeth Way, and the “Lakeview/Haig Junction Corridor” extends from the former Lakeview Generating Station north to the Queen Elizabeth Way.

The City will be undertaking flood evaluation studies for Little Etobicoke Creek, Serson Creek and Applewood Creek. The intent of these future studies is to review opportunities to help mitigate flooding, where possible.

7.1 Green System

7.1.1 Mississauga will give priority to actions that protect, enhance, and restore the Green System in Lakeview.

7.1.2 Opportunities to create an interconnected network of open spaces, including parks, trails, and bicycle facilities, with linkages to the surrounding areas will be encouraged.

7.1.3 Within the waterfront parks system, the protection, preservation, and restoration of existing natural systems will be prioritized and balanced to direct and guide the planning of existing and future waterfront activities.

7.1.4 Through the processing of development applications, lands may be acquired to provide for a continuous Waterfront Trail along the water's edge.

7.1.5 The development of Park 358 (not yet named) on the Arsenal property and the management of R.K. McMillan Park will include naturalization techniques, where appropriate and connectivity with the future Lakeview Waterfront Connection Project.

7.2 Urban Forest

7.2.1 Trees provide important environmental benefits and contribute to the character of the area. The City should seek opportunities for restoring and enhancing canopy cover on public lands, and promoting tree plantings on private lands.

7.2.2 The City may require **streetscape** improvements along **corridors** to expand and enhance the urban forest canopy along the public right-of-ways.

7.2.3 Improvements to the tree canopy along Lakeshore Road East will be a priority when undertaking **streetscape** improvements.

7.3 Living Green

7.3.1 Mississauga will encourage partnerships and stewardships in order to improve the health of the Green System.

7.3.2 The City will support initiatives that promote environmental sustainability, integrity and conservation and incorporate sustainable development practices in accordance with the City's Green Development Strategy and the Water Quality Control Strategy.

8.0 Complete Communities

Lakeview contains many of the attributes associated with complete communities, including among other things:

- recreational facilities such as community facilities, parks, beaches, and golf courses;
- schools as central places in the community, for academic, social and community, service, and family support;
- a range of housing options with a mixture of housing forms and densities, including rental housing;
- cultural resources such as heritage buildings and landscapes which help retain a connection to the past; and
- a significant waterfront area providing a high level of public accessibility.

The policies are intended to protect and enhance the attributes of a complete community for Lakeview.

Lakeview is a community with a growing aging population. As seniors enter retirement, there will be changing residential needs, and providing housing choices for seniors, along with other additional community facilities and services such as community centres, libraries and medical offices, will help meet some of the needs for daily living.

The Lakeshore Corridor will provide a mix of uses and services to residents in the adjacent neighbourhoods.



Figure 9: Lakeview has few seniors' facilities and housing, and as an increasing number enter retirement there will be a demand for more.

8.1 Housing

8.1.1 Preservation of existing affordable housing will be a priority. Where development applications are proposing the removal of existing affordable housing, the replacement of these units will be encouraged on site or within the community.

8.1.2 The Lakeshore Corridor is encouraged to develop using a range of housing choices in terms of type, tenure and price.

8.1.3 Mississauga will encourage the provision of affordable housing, including rental housing and seniors' housing within the Lakeshore Corridor.

8.2 Cultural Heritage

Lakeview contains a number of important cultural heritage resources including properties identified or recognized on the City's Heritage Register as being Designated or Listed. The Heritage Register further classifies the sites as a cultural feature or a cultural landscape:

- Cultural features such as the Water Tower on the Arsenal Lands, Bowstring Bridge over the Etobicoke Creek, and Lakefront Promenade provide scenic views and are significant features and landmarks; and
- Cultural landscapes such as the Lakeview Golf Course, Cawthra Estate, and Adamson Estate

are associated with the natural environment or are significant historical resources.

8.2.1 Cultural heritage sites are places that have the opportunity to provide attractive **streetscape**. **Streetscape** improvements are encouraged to accentuate the site through landscaping, signage, lighting, benches, public art, interpretive signs, or other means.

8.2.2 The City will explore through a Community Improvement Plan, incentives to protect, preserve, and reuse cultural heritage sites in Lakeview.

8.2.3 Development adjacent to heritage sites will integrate and enhance the character of the cultural heritage resource.

8.3 Community and Cultural Infrastructure

8.3.1 The Lakeshore Corridor is the preferred locations for community and cultural infrastructure and public art.

8.3.2 Community infrastructure is encouraged to have integrated uses, combining uses such as a library, neighbourhood gallery space, and a café. To promote social interaction within the community, the provision of meeting rooms should be considered, such as a library with multi-functional meeting space.



Figure 10: Entryways are emphasized with distinctive design and landscaping.

8.3.3 Mississauga will encourage partnerships and collaboration with the local community, professional artists, arts organizations and creative enterprises to further develop the cultural aspects in Lakeview, including community beautification projects, the adaptive reuse of buildings as a community or cultural heritage resource.

8.4 Distinct Identity and the Waterfront

Lakeview has a long and important history as a waterfront community; the waterfront has created a distinct identity for Lakeview. Lakeview has opportunities to develop a strong community character that promotes and connects the neighbourhoods and **corridors** to the waterfront. Credit Valley Conservation and the Region of Peel, with the support of the Toronto and Region Conservation Authority and the City of Mississauga, are undertaking the Lakeview Waterfront Connection Project with the purpose to create a new natural waterfront park to enhance aquatic and terrestrial wildlife habitat and provide public access to the waterfront. When completed, the waterfront connection along the Lake Ontario shoreline will extend from west of Serson Creek to Etobicoke Creek.

8.4.1 Development within the Lakeshore Corridor will be encouraged to create a unique identity by providing distinctive architecture, high quality public art, **streetscape**, and cultural heritage resources and cultural infrastructure.

8.4.2 The distinct identity of the existing Neighbourhoods will be maintained by preserving the scale and character of the built environment.

8.4.3 The City will pursue public use on the waterfront lands, including a waterfront trail connection along the water's edge, and will work in collaboration with the Region of Peel, other levels of government, and agencies.

8.4.4 To create a visual identity in Lakeview, gateway features and signage along Lakeshore Road East will be promoted.

8.4.5 Mississauga supports water dependent activities and related employment uses such as marinas, facilities in support of recreational boating and sport fishing, and uses that benefit from being near the shoreline, parks and the Waterfront Trail.

8.4.6 Mississauga waterfront parks are a significant element of the Lakeview character. Planning for the waterfront parks system will be guided by the Waterfront Parks Strategy, 2008.

9.0 Multi-Modal City

As population and employment growth is anticipated



Figure 11: Carvings found along the Waterfront Trail through Lakeview are examples of a community beautification project that enhances the sense of place and pride.

in the Lakeshore Corridor, increasing constraint will be placed on the transportation network. Planning for transit and **active transportation** along Lakeshore Road will become a priority to ensure efficient movement for multi-modal travel.

The road network is shown on the Lakeview Local Area Plan Long Term Road and Transit Network (Map 2). Tables 8-1 to 8-4 and Schedule 8 (Designated Right-of-Way Width) of the principal document identify the basic road characteristics. The long term multi-modal transportation system is shown on Schedule 5 (Long Term Road Network), Schedule 6 (Long Term Transit Network), and Schedule 7 (Long Term Cycling Network) of the principal document.

A future **higher order transit corridor** along Lakeshore Road East is identified on Map 2, extending from Hurontario Street to the City of Toronto border. The preferred transit solution (e.g. bus or rail) has not yet been identified for this **corridor**.

Planning for improvements to the road network and **active transportation** routes that provide connectivity for transit, pedestrians, cyclists and vehicles will be essential in linking Lakeview to the neighbouring communities and in achieving a city wide finer grain network.

The City's Cycling Master Plan is a guide to promote **active transportation** and identifies existing and planned trails in Lakeview, including municipal connections such as the trail along the Etobicoke Creek.

Opportunities for passive recreational uses along hydro corridors, such as multi-use trails, are encouraged through Lakeview.

The City is proposing to undertake a Lakeshore Road Transportation Master Plan ("Transportation Master Plan") which will include Lakeshore Road (between the east and west City limit) and an examination of the transportation issues specific to the Lakeview area. As part of the future study, the City will review the **higher order transit** need in the

Lakeview area and opportunities to improve the transportation system for all modes.

9.1 Corridor Protection

Appendix II contains the executive summary from the Lakeshore Road Transportation Review Study. That study provided a comprehensive and technical transportation review regarding how Lakeshore Road East can accommodate alternative modes of transportation.

9.1.1 Lakeshore Road East will be planned to accommodate, to the extent possible, all modes of transportation, including pedestrian facilities, cycling facilities, and **higher order transit** facilities.

9.1.2 The City may acquire lands for a public transit right-of-way along Lakeshore Road East where the creation of a public transit right-of-way separate from, adjacent to, or in addition to, a road right-of-way is deemed appropriate.

9.1.3 The City will, through the review of development applications, eliminate and/or consolidate vehicular turning movements to and from Lakeshore Road East and direct traffic towards signalized intersections, where appropriate. Vehicle access to redevelopment opportunities should be considered from existing north-south side streets or existing or proposed laneways parallel to Lakeshore Road East.

9.1.4 The Transportation Master Plan for Lakeshore Road may address improving current mobility for all modes of transportation, the implications of future growth on the network and consider placemaking initiatives that would promote the animation of the **corridor**. The Transportation Master Plan may assess improvements to the Lakeview road network and **higher order transit** needs in the Lakeview area.

9.2 Road Network



Figure 12: Lakeshore Road Corridor has opportunities to accommodate multi-modes of transportation including pedestrian, cycling, and **higher order transit** facilities.

9.2.1 During the review of development applications, streets will be designed to provide connectivity through neighbourhoods.

9.2.2 Improvements to the road network and **active transportation** routes that provide connectivity through Lakeview may be identified through a future Transportation Master Plan for the Lakeshore Road Corridor or through the development application process. Future multi-modal connections may accommodate, where feasible, pedestrian and cycling routes, and/or vehicular routes. Improved connections to the network may be considered at some locations, including but are not limited to the following:

- a. Byngmount Avenue, east to Rangeview Road;
- b. Casson Avenue, east to St. Mary's Avenue;
- c. Ebony Avenue, east to First Street;
- d. Ella Avenue, east to St. James Avenue;
- e. First Street, east to Ella Avenue;
- f. Fourth Street, east to Haig Boulevard;
- g. Harcourt Crescent, south to Duchess Drive;
- h. Pelham Avenue, west to Alexandra Avenue, and east to Haig Boulevard;

- i. Seventh Street, east to Halliday Avenue; and
- j. Third Street, east to Casson Avenue.

9.2.3 When reviewing the appropriateness of potential road connections, the City will consider the volume and type of traffic that will be accommodated on the road.

9.2.4 Mississauga will work with the Province and the Region to coordinate and make improvements to the Dixie Road and Queen Elizabeth Way interchange for the realignment of Dixie Road.

9.2.5 Development applications will be accompanied by transportation and traffic studies. Studies will address, among other things, strategies for limiting impacts on the transportation network, where appropriate, including measures such as:

- reduced parking standards;
- transportation demand management;
- **transit oriented development**;
- pedestrian/cycling connections; and
- access management plan.

9.3 Transit Network

9.3.1 Providing public transit connections along key north-south **corridors** to Lakeshore Road East in addition to providing frequent and reliable service along the Lakeshore Road will help shape and support the future development of the Lakeshore Corridor.

9.4 Parking and Transportation Demand Management

9.4.1 For development in the Lakeshore Corridor, parking is encouraged to locate below-grade, or at the rear of the site.

9.4.2 Development with surface parking should be screened from adjacent streets and properties by using landscaping materials such as hedges, shrubs, trees, and other structural materials.

9.4.3 The City will identify appropriate locations for on-street parking in the Lakeshore Corridor and develop an implementation strategy for parking.

9.4.4 Where on-street parking and lay-by parking can be accommodated, it is to be incorporated into the **streetscape** design.

9.4.5 Reduced parking requirements and maximum parking standards may be considered within the Lakeshore Corridor.

9.4.6 Public parking lots in the Lakeshore Corridor will be maintained and supplemented where appropriate.

9.4.7 The City will encourage Transportation Demand Management measures, where appropriate, in the Lakeshore Corridor and as a part of any significant redevelopment projects outside of the **corridor**.

10.0 Desirable Urban Form

This section reflects the planned function and local context and provides the framework for shaping the Lakeview community, with an emphasis on urban form. The urban form policies are organized as follows:

- a) Neighbourhoods;
- b) Lakeshore Corridor; and
- c) Built Form.

Development will be guided by the Lakeview Built Form Standards contained in Appendix I.

Development will be in accordance with the minimum and maximum height limits as shown on Map 3. The appropriate height within this range will be determined by the other policies of this Area Plan.

10.1 Neighbourhoods

Neighbourhoods are stable residential areas where the existing character is to be preserved and enhanced. Development may occur through modest infilling or redevelopment of existing commercial plazas and vacant sites.

Neighbourhood policies are intended to reflect a number of objectives, including among other things:

- to ensure development is sensitive to the existing low rise context and reinforce the planned character of the area;
- to ensure Lakeshore Road East will provide appropriate development and public realm that reinforces its planned role as a connected community and fosters an active pedestrian and cycling environment; and
- to appropriately balance the constraints associated with both the Canadian National Railway line and adjacent residential uses.

10.1.1 Development should reflect one to two storey residential building heights and will not exceed three storeys.

10.1.2 North Residential Neighbourhood Precinct (Applewood Acres, Sherway West)

The North Residential Neighbourhood Precinct is bordered by Cawthra Road to the west and the Etobicoke Creek to the east, Queensway East to the north and the Queen Elizabeth Way to the south. This residential area will be maintained while allowing for infill which enhances and is compatible with the character of the area.

10.1.2.1 The existing commercial site at North Service Road and Stanfield Road is a site where intensification could be accommodated to a maximum height of four storeys. Future redevelopment of the properties will address issues, including but not limited to:

- a. retention of commercial space; and

- b. appropriate transition to adjacent residential uses.

10.1.3 Central Residential Neighbourhood Precinct (Cawthra Village, Orchard Heights, Serson Terrace)

The Central Residential Neighbourhood Precinct is bordered by Cawthra Road to the west and Etobicoke Creek to the east, the Queen Elizabeth Way to the north and the Canadian National Railway line to the south. Originally, these homes were summer houses for families from the Toronto Township. Also predominant in the area are homes built on small lots that were constructed during the Second World War time period (these homes are also known as “war time housing”).

10.1.3.1 The existing commercial site at South Service Road and Dixie Road represents a site for potential intensification, to a maximum height of 4 storeys. Future redevelopment of the property will address issues including but not limited to:

- a. the addition of public roads to connect and improve the neighbourhood’s fine-grained road pattern;
- b. retention of commercial space; and
- c. appropriate transition to adjacent residential uses.

10.1.4 South Residential Neighbourhood Precinct (Creekside, Lakeside, Lakeview West, Lakeview Village, Lakefront Utility, Arsenal Woodlands)

The South Residential Neighbourhood Precinct is bordered by Seneca Avenue to the west and Etobicoke Creek to the east, the Canadian National Railway line to the north and Lake Ontario to the south. Many of the homes constructed dating to World War II exists today.

In accordance with the Waterfront Parks Strategy, Park 358 (not yet named) but historically known as the Arsenal property, is identified as a Gateway

Park. A park master plan will be required to determine the programming and design of the park. Also, in partnership with the City, the Toronto and Region Conservation Authority, and local community groups, a plan has been initiated for the re-adaptive use of the Small Arms Inspection Building for varying cultural, educational, retail, and office purposes. The reuse of the building will provide an important resource for the Lakeview community.

The Lakefront Utility sub-area includes a regional wastewater treatment facility.

10.1.4.1 Lakeview West has potential for intensification, particularly on the lands east and west of Cooksville Creek. Development should, among other matters, address the following:

- a. ensure transition to Lakeshore Road East, adjacent stable residential neighbourhoods, and Cooksville Creek;
- b. ensure visual connection to Cooksville Creek; and
- c. ensure larger sites are sub-divided with public roads and walkways.

10.1.4.2 Development along the Canadian National Railway line for lands designated Business Employment, or for an industrial use, will:

- a. be encouraged to improve the transition of height and use to adjacent residential areas;
- b. have a maximum height generally equivalent to a two storey residential building;
- c. ensure lighting, noise levels, loading and garbage areas do not negatively impact adjacent residential areas;
- d. provide appropriate landscaped buffers to adjacent residential areas; and
- e. provide a **streetscape** that is compatible with adjacent neighbourhoods.

10.1.4.3 The Arsenal Lands should provide for placemaking opportunities, such as the development of a square or open space that

integrates with the surrounding environment and provides interaction for pedestrians.

10.1.4.4 Development of community and cultural uses will be encouraged and public art will be incorporated as appropriate in the Arsenal Woodlands Precinct.

10.2 Lakeshore Corridor

The Lakeshore Corridor Precinct is intended to be the primary area for street related commercial development, with a mixture of uses and pedestrian oriented built form. The extent of the Lakeshore Corridor is from Seneca Avenue to the east end of the municipal boundary at Etobicoke Creek. Given the length of this **corridor**, it is divided into sections: the Core and Outer Core (see Map 1). The Core is from Seneca Avenue to Hydro Road and is envisioned to have a concentration of street related commercial uses. The Outer Core, from Hydro Road to Etobicoke Creek, is to be a pedestrian friendly area. Similar to the Core, it allows for mixed use development, however, commercial uses are not required.

In order to achieve the intended function of the Lakeshore Corridor Precinct, redevelopment will address among other matters, the following:

- creating a pedestrian oriented environment;
- ensuring built form compatibility and transition

in heights to adjacent neighbourhoods;

- minimizing access points along Lakeshore Road East;
- preserving light and sky views; and
- creating an attractive public realm.

10.2.1 Development should preserve and enhance the views and vistas to the natural environment.

10.2.2 The City will seek opportunities for views to Lake Ontario through development applications for new north-south roads and road extensions.

10.2.3 Development will be encouraged to locate parking to the rear of buildings or underground.

10.2.4 Development along Lakeshore Road East is encouraged to be two to four storeys in height; however, some sites will be permitted building heights greater than four storeys as shown on Map 3.

10.2.5 Appropriate transition to adjacent low density residential will be required.

10.2.6 To promote a pedestrian friendly mainstreet environment, street related commercial uses will front onto and be located along Lakeshore Road East. Development should address the following, among other items:

- a. maintaining an appropriate average lot depth for



Figure 13: The Small Arms Inspection Building has historical significance, defining Canada's military history during the Second World War and the history of women.

mainstreet commercial;

- b. buildings should be closely spaced with minimal breaks to ensure a continuous building or street frontage;
- c. buildings should incorporate active uses at grade, in order to animate the public realm and pedestrian environment; and
- d. building entrances should be located along and face Lakeshore Road East, and should be clearly identifiable with direct access from the sidewalk.

10.2.7 Development will provide an appropriate **streetscape** treatment of the public realm that supports pedestrian activity and provides an attractive character to the street. This may include, among other things:

- a. landscaping and planting;
- b. street furnishings;
- c. public art;
- d. quality building materials; and
- e. building design elements and features including articulated rooflines such as parapets and towers.

10.2.8 Development will be encouraged to provide placemaking opportunities, such as public squares, plazas, and open spaces, including among other locations, at Cooksville Creek, Cawthra Road, East Avenue, Alexandra Avenue, Ogden Avenue, Hydro Road, Dixie Road, and Etobicoke Creek.

10.2.9 The assembly of adjacent low density residential land to enlarge properties fronting Lakeshore Road East is discouraged. Should assembly occur, however, the primary purpose of these lands will be an enhanced landscape buffer to the adjacent residential uses and for amenity space and/or parking if required through the development.

10.2.10 The Intensification Areas policies of the Plan will apply to development within the Core area.

10.2.11 Single use residential buildings are permitted in the Outer Core area, subject to the following:

- a. buildings are set back from the street;
- b. provision of a well landscaped front yard;
- c. an appropriate **streetscape**; and
- d. parking at the rear of the property or underground.

10.3 Built Form Types

10.3.1 For the development of detached, semi-detached, duplex and triplex dwellings, the following will be addressed, among other things:

- a. new housing within Lakeview should maintain the existing character of the area; and
- b. development will fit the scale of the surrounding area and take advantage of the features of a particular site, such as topography, contours, and mature vegetation.

10.3.2 Criteria for the development of street townhouses or freehold townhouses will include, among other things:

- a. they fit into the existing lotting pattern of the community;
- b. they provide an appropriate transition from low built form to higher built forms; and
- c. they are located on, or in proximity to transit routes.

10.3.3 For the development of standard and common element condominium townhouse dwellings, the following will be addressed, among other items:

- a. they can fit into the existing lotting pattern of the community;
- b. they provide an appropriate transition from low built form to higher built forms;

- c. they have an appropriate minimum lot depth to accommodate elements such as landscaping and parking;
- d. they are located on, or in proximity to transit routes; and
- e. visitor parking will be centrally located and not visible from a public road. Visitor parking will be appropriately screened to provide a **streetscape** that is compatible with adjacent neighbourhoods.

10.3.4 Townhouses, may be developed, subject to, among other things:

- a. a minimum lot depth to ensure internal circulation;
- b. area to accommodate appropriate parking, amenity space, landscaping;
- c. utilities can be accommodated internal to the site; and

- d. located on, or in proximity to transit routes.
- e. visitor parking will be centrally located and not visible from a public road. Visitor parking will be appropriately screened to provide a **streetscape** that is compatible with adjacent neighbourhoods.

10.3.5 Criteria for apartment development will include, among other things:

- a. a minimum separation distance to ensure light and permeability;
- b. a maximum floor plate to ensure minimal impact on residential areas; and
- c. transition to adjacent lower built forms.

10.3.6 Criteria for commercial development will include, among other things:

- a. the maximum height of buildings will be four storeys;

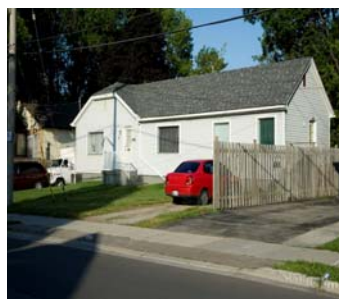


Figure 14: Lakeview has a wide range of built environments, which are reflected in the Area Plan policies.



Figure 15: Providing a range of employment opportunities will help attract new businesses that contribute to a healthy employment base.

- b. transition to existing stable residential areas;
- c. ensure the continuation of a mixed use community;
- d. on sites with multiple commercial buildings, development will provide dedicated pedestrian walkways to building entrances, and to public roads and transit routes, where appropriate; and
- e. a coordinated character will be required on sites with multiple commercial buildings, including the use of similar building materials, colours and architectural elements.

10.3.7 The redevelopment of existing industrial sites for industrial uses will address, among other things:

- a. a minimum setback to residential areas ensuring an appropriate buffer area can be accommodated to screen the use;
- b. a minimum landscape area will be required in front of any employment use; and
- c. existing industrial uses along the railway tracks are encouraged to improve their transition to the adjacent residential areas. The maximum permitted height will be the equivalent to a two storey residential building. Development will include appropriate buffers and ensure lighting, noise levels, loading and garbage areas do not negatively impact adjacent residential uses.

10.3.8 Aesthetic and high quality building materials will be required in developments. The first four storeys will be of durable material such as brick or stone. Concrete blocks or painted concrete blocks are not permitted to be exposed.

11.0 Strong Economy

Employment uses are an important component of Lakeview as they contribute to a mix of uses while providing an opportunity for people to live and work in the community.

Employment in Lakeview is generally located along Lakeshore Road East, the railway corridor and on commercial and community infrastructure sites. Lakeview also has an important and unique employment function with utility operations, such as the water treatment facility and the wastewater treatment facility, that serve a regional population.

Attracting cultural industries can help create a more vibrant and sustainable economy. The provision of arts and culture facilities and activities in Lakeview supports cultural diversity and completing communities.

11.1 Lands designated Business Employment will provide for the continued operation of employment uses. Development on adjacent sites will be compatible to employment uses.

11.2 Opportunities for water recreational uses or waterfront retail commercial activities should be considered in the development of the waterfront.

12.0 Land Use Designations

This section provides additional policy direction on the permitted land uses within this Area Plan. Schedule 10: Land Use Designations of the principal document identifies the uses permitted and is to be read in conjunction with the other schedules and policies in the Plan.

12.1 General

12.1.1 Residential buildings legally constructed prior to the approval date of this Area Plan are permitted.

12.2 Residential Medium Density

12.2.1 Notwithstanding the Residential Medium Density policies of the Plan, the following additional use may be permitted:

- a. low-rise apartment dwellings.

12.3 Mixed Use

12.3.1 Notwithstanding the Mixed Use policies of the Plan, the following policies apply to the Lakeshore Corridor Precinct – Core area:

- a. motor vehicle rental and motor vehicle sales is not permitted; and
- b. commercial uses will be required at grade.

12.3.2 Notwithstanding the Mixed Use policies of the Plan, the following policy will apply in the Lakeshore Corridor Precinct – Outer Core area:

- a. residential uses may be permitted on the ground floor.

12.4 Business Employment

12.4.1 Notwithstanding the Business Employment policies of the Plan, the following policy will apply:

- a. permitted uses will operate entirely within enclosed buildings.

13.0 Special Site and Exempt

Site Policies

13.1 Special Site Policies

There are sites within Lakeview, as shown in Figure 15, that merit special attention and are subject to the following policies.

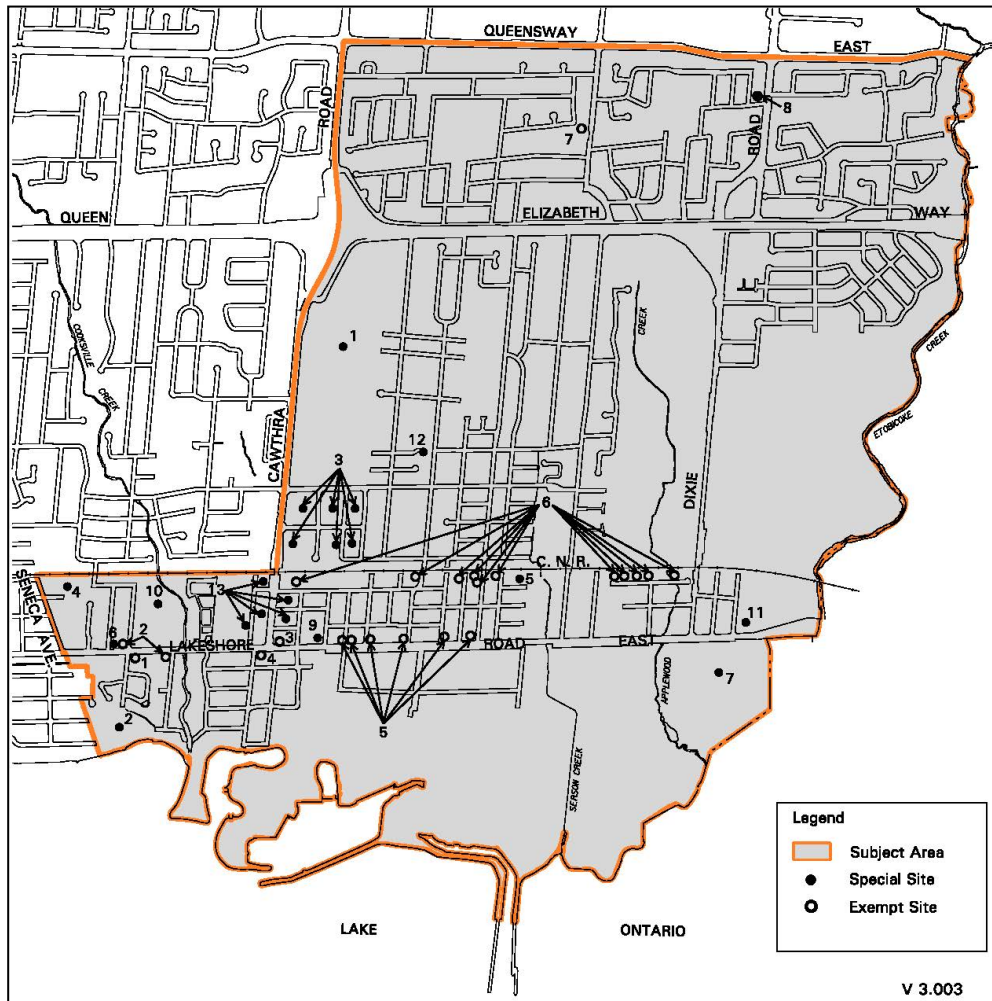
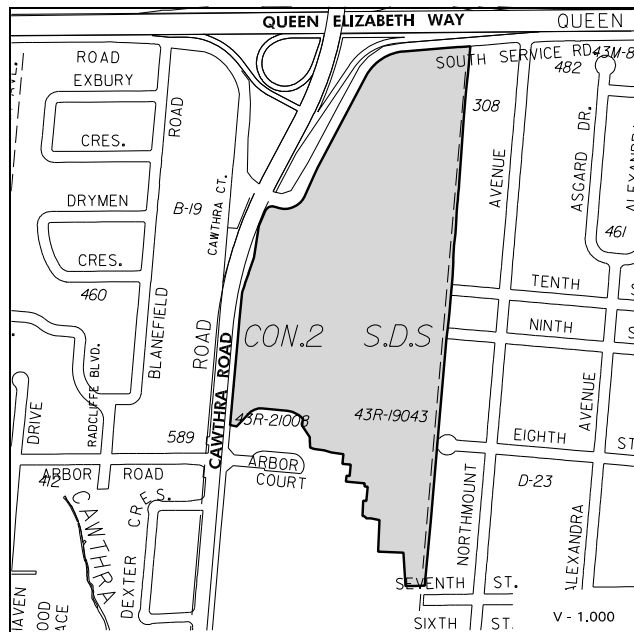


Figure 16: Location of Special Sites and Exempt Sites within the Lakeview Local Area

13.1.1 Site 1



13.1.1.1 The lands identified as Special Site 1 are east of Cawthra Road and south of the South Service Road.

13.1.1.2 The lands are known as the Cawthra Woods and comprise both heritage and natural area features. The Cawthra Estate is located within the Cawthra Woods and includes the Cawthra-Elliot Estate House and formal gardens on the north and south sides of the estate house, the walled garden, and sugar maple forest, all of which form a cultural heritage landscape which is designated under the *Ontario Heritage Act*. The site contains a Provincially **Significant Wetland**, an **Environmentally Significant Area (ESA)** as identified by Credit Valley Conservation, and a Regionally Significant Area of Natural and Scientific Interest (ANSI).

13.1.1.3 Notwithstanding the policies of this Plan, the following additional uses will be permitted in the Cawthra-Elliot Estate House:

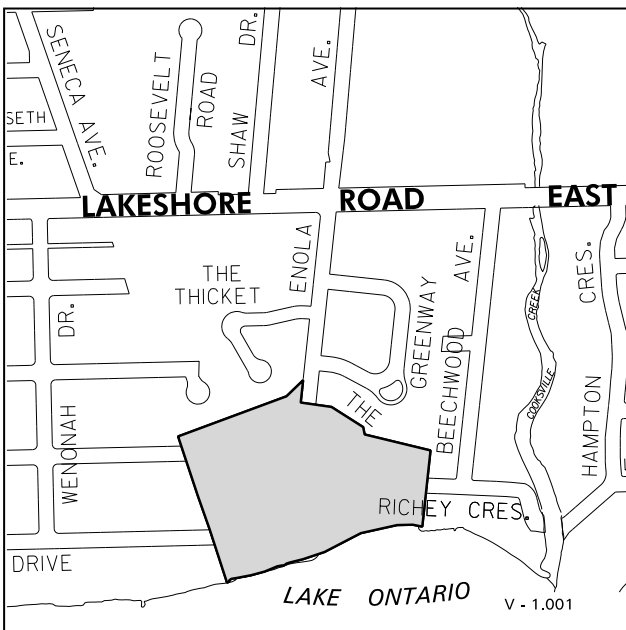
- community or cultural infrastructure, including an academy for the performing arts;
- secondary offices**;
- a conference centre;

- art gallery or studio; and
- commercial school that may include a business school, driving school, dance school, music school, arts school, crafts school or a martial arts school, but shall not include a trade school or a private school.

13.1.1.4 Development of the Cawthra-Elliot Estate House will address the following:

- the environmental policies of this Plan;
- retention of the existing forest in a natural condition in accordance with an approved Cawthra Woods Management and Implementation Plan;
- an approved Parks Master Plan; and
- a heritage permit, including a **Heritage Impact Assessment**, will be required for any alterations.

13.1.2 Site 2



13.1.2.1 The lands identified as Special Site 2 known as the Adamson Estate and Derry Property, are located along the shore of Lake Ontario, east of Cumberland Drive and south of Enola Avenue.

13.1.2.2 Notwithstanding the policies of this Plan, the following additional uses will be permitted:

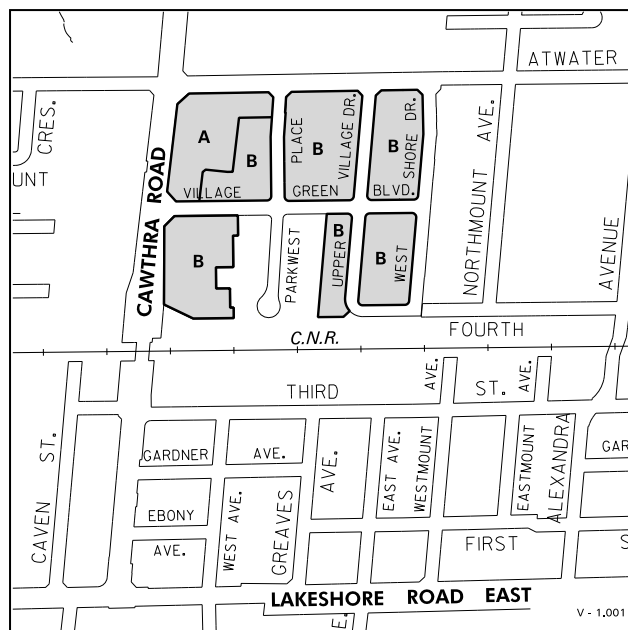
- a. **secondary offices;**
- b. a conference centre; and
- c. community or cultural infrastructure, including an academy for the performing arts.

13.1.2.3 Development of this site will address, among other things, the following:

- a. restoration and preservation of the historically designated main house, gatehouse, barn, Derry House, and pet cemetery;
- b. maintenance of public access along the waterfront as well as the grounds of the estate;
- c. enhancement of recreation opportunities throughout the balance of Lakefront Promenade Park;

- d. recognition and respect of the existing character of the surrounding residential land uses;
- e. servicing requirements of the Region of Peel with respect to the sanitary sewer outlet and the use of backflow preventers in the buildings to prevent basement flooding;
- f. a heritage permit, including a **Heritage Impact Assessment**, will be required for any alterations; and
- g. archaeological resources are to be conserved. Prior to any ground disturbance, the area must be assessed and plans reviewed with recommendations for conservation by a licenced archaeologist.

13.1.3 Site 3

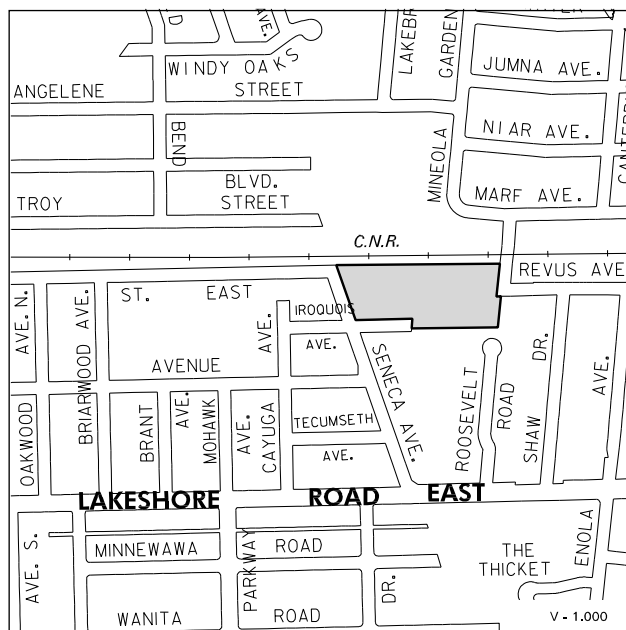


13.1.3.1 The lands identified as Special Site 3 are located in the southeast quadrant of Atwater Road and Cawthra Road.

13.1.3.2 Notwithstanding the policies of this Plan, the following additional uses will be permitted:

- a. all types of multiple family dwellings including townhouses, street townhouses, apartments, or any combination of these uses with individual frontages or in cluster arrangements may be permitted on the lands identified as Area A; and
- b. street townhouses will be permitted on the lands identified as Area B.

13.1.4 Site 4



13.1.4.1 The lands identified as Special Site 4 are located west of Revus Avenue, south of the Canadian National Railway tracks.

13.1.4.2 Notwithstanding the policies of this Plan, the following uses will not be permitted:

- a. banquet hall;
- b. broadcasting, communication, and utility rights-of-way;
- c. conference centre;
- d. entertainment, recreation and sports facilities;
- e. financial institution;
- f. outdoor storage;
- g. overnight accommodation; and
- h. restaurants.

13.1.5 Site 5



13.1.5.1 The lands identified as Special Site 5 are located along Casson Avenue, west of the utility corridor.

13.1.5.2 Notwithstanding the policies of this Plan, the following uses will not be permitted:

- a. banquet hall;
- b. broadcasting, communication, and utility rights-of-way;
- c. conference centre;
- d. entertainment, recreation and sports facilities;
- e. financial institution;
- f. outdoor storage;
- g. overnight accommodation; and
- h. restaurants.

13.1.6 Site 6

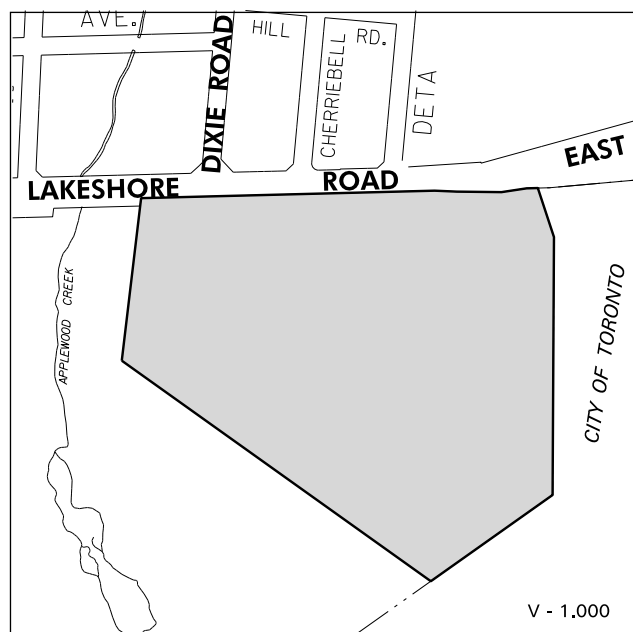


13.1.6.1 The lands identified as Special Site 6 are located north of Lakeshore Road East between Shaw Drive and Enola Avenue.

13.1.6.2 The property located at 411 Lakeshore Road East is listed on the City's Heritage Register.

13.1.6.3 Notwithstanding the policies of this Plan, the existing motor vehicle repair garage will be permitted.

13.1.7 Site 7



13.1.7.1 The lands identified as Special Site 7 are located east of Applewood Creek and south of Lakeshore Road East.

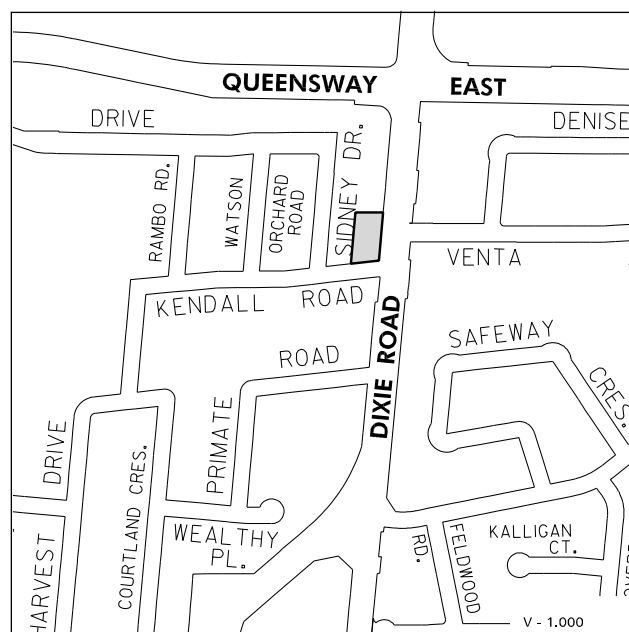
13.1.7.2 The Small Arms Inspection Building located at 1352 Lakeshore Road East is designated under the *Ontario Heritage Act*.

13.1.7.3 A heritage permit, including a **Heritage Impact Assessment**, will be required for any alterations.

13.1.7.4 Notwithstanding the policies of this Plan, the following additional uses will be permitted:

- a. commercial schools;
- b. community facilities, including art studios, art galleries;
- c. a conference centre;
- d. entertainment, recreation and sports facilities;
- e. restaurants;
- f. retail stores, including an indoor market; and
- g. **secondary offices**.

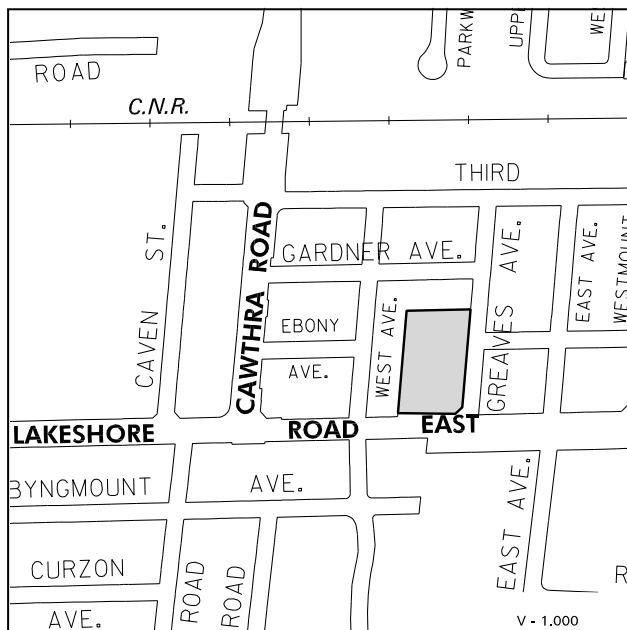
13.1.8 Site 8



13.1.8.1 The lands identified as Special Site 8 are located at the northwest corner of Kendall Road and Dixie Road.

13.1.8.2 Notwithstanding the policies of this Plan, an office with a maximum of four medical practitioners will be permitted.

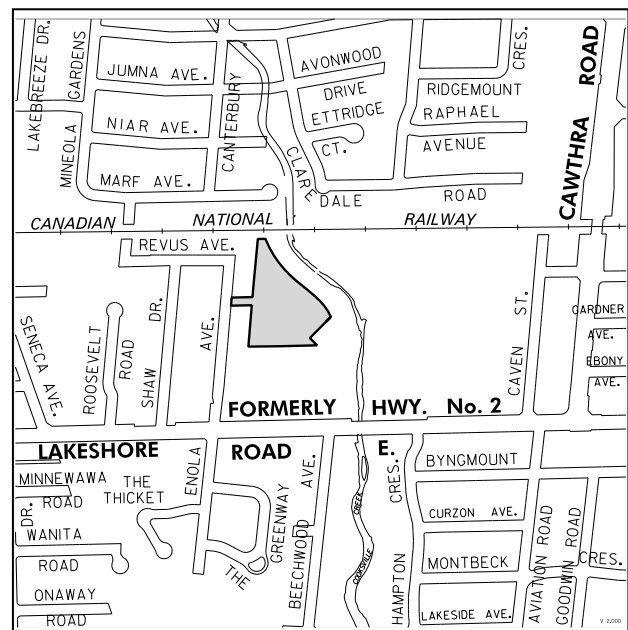
13.1.9 Site 9



13.1.9.1 The lands identified as Special Site 9 are located at the northwest corner of Lakeshore Road East and Greaves Avenue.

13.1.9.2 Notwithstanding the policies of this Plan, the existing townhouses will be permitted.

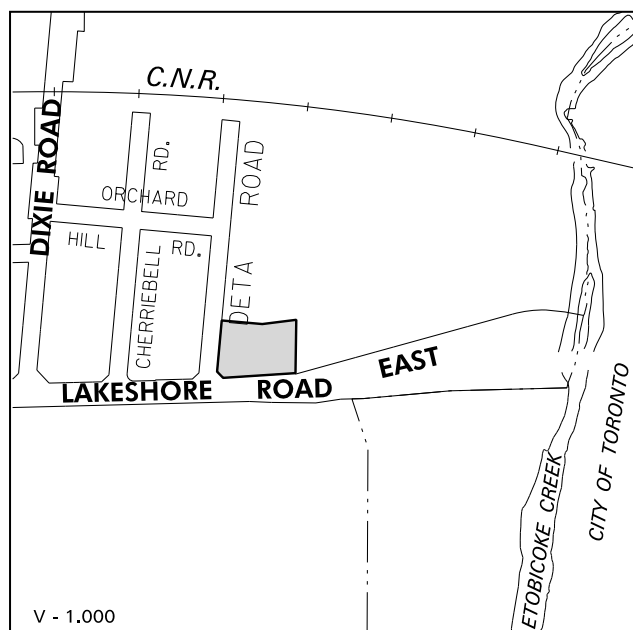
13.1.10 Site 10



13.1.10.1 The lands identified as Special Site 10 are located north of Lakeshore Road East, east of Enola Avenue.

13.1.10.2 Notwithstanding the policies of this Plan, townhouse and will be permitted.

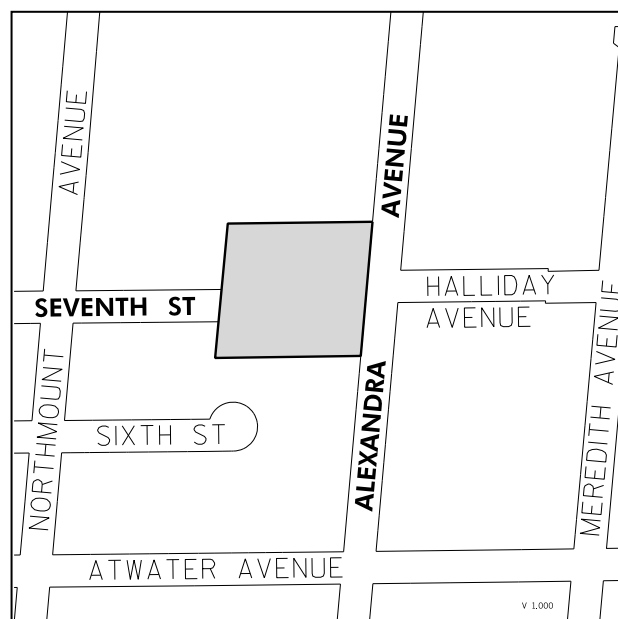
13.1.11 Site 11



13.1.11.1 The lands identified as Special Site 11 are located at the northeast corner of Lakeshore Road East and Deta Road.

13.1.11.2 Notwithstanding the policies of this Plan, the maximum number of units permitted will be 47.

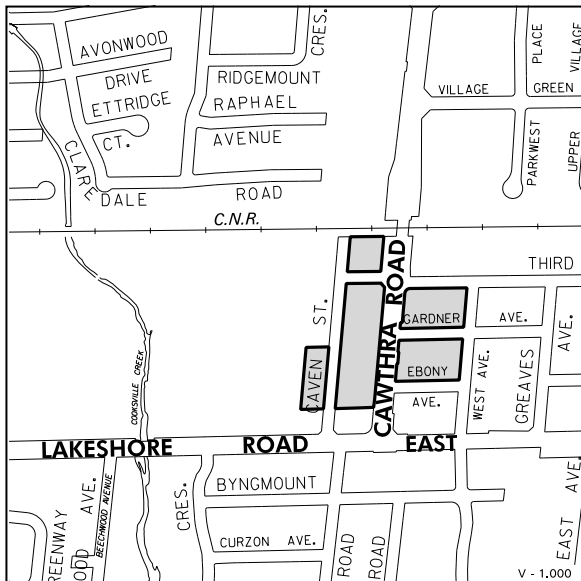
13.1.12 Site 12



13.1.12.1 The lands identified as Special Site 12 are located on the west side of Alexandra Avenue, east of Seventh Street and north of Atwater Avenue.

13.1.12.2 Notwithstanding the policies of this Plan, the minimum frontage and area of new lots may be smaller than the average lot frontage and lot area of residential lots on both sides of the same street within 120 m of the subject property.

13.1.13 Site 13



13.1.13.1 The lands identified as Special Site 13 are located north of Lakeshore Road East between Cooksville Creek and West Avenue.

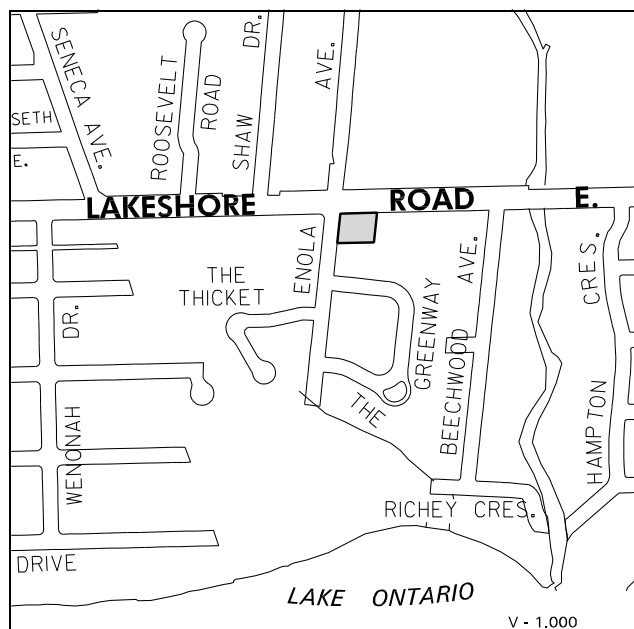
13.1.13.2 Notwithstanding the policies of this Plan, the following additional uses will be permitted:

- a. detached dwelling;
- b. semi-detached dwelling;
- c. duplex dwelling;
- d. triplex dwelling; and
- e. street townhouses.

13.2 Exempt Site Policies

Exempt Sites reflect unique circumstances that are not representative of the vision, direction and planning policies of the Plan, but nonetheless are recognized because they contain established land uses. The Exempt Sites in Lakeview, as shown in Figure 16 are subject to the following policies.

13.2.1 Site 1



13.2.1.1 The lands identified as Exempt Site 1 are located at the southeast corner of Lakeshore Road East and Enola Avenue.

13.2.1.2 Notwithstanding the policies of this Plan, the existing motor vehicle service station will be permitted.

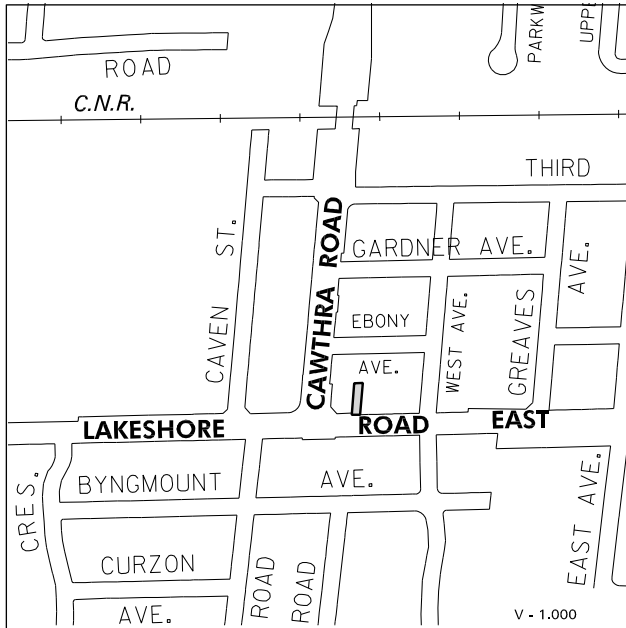
13.2.2 Site 2



13.2.2.1 The lands identified as Exempt Site 2 are located north of Lakeshore Road East between Shaw Drive and Enola Avenue, and south of Lakeshore Road East and west of Beechwood Avenue.

13.2.2.2 Notwithstanding the policies of this Plan, the existing motor vehicle repair garages will be permitted.

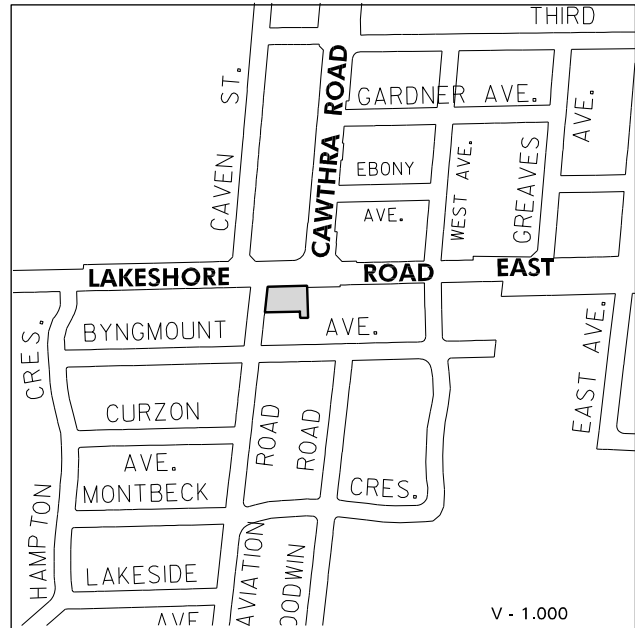
13.2.3 Site 3



13.2.3.1 The lands identified as Exempt Site 3 are located north of Lakeshore Road East and east of Cawthra Road.

13.2.3.2 Notwithstanding the policies of this Plan, the existing motor vehicle repair garage will be permitted.

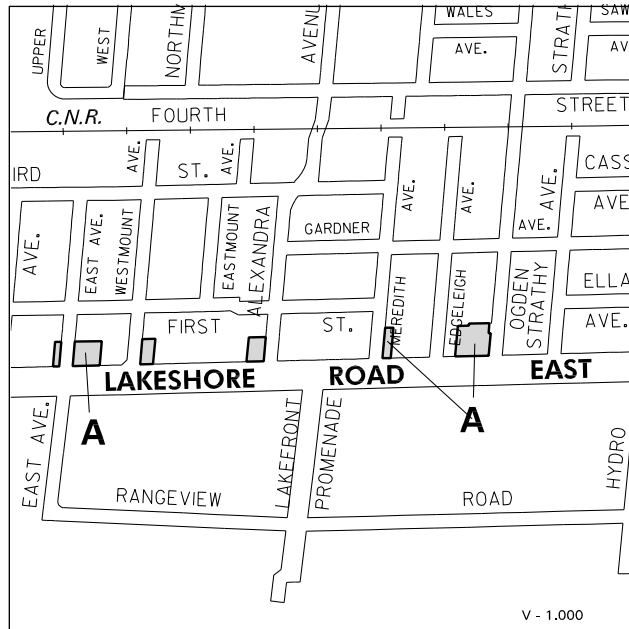
13.2.4 Site 4



13.2.4.1 The lands identified as Exempt Site 4 are located at the southeast corner of Lakeshore Road East and Aviation Road.

13.2.4.2 Notwithstanding the policies of this Plan, the existing motor vehicle commercial use will be permitted.

13.2.5 Site 5

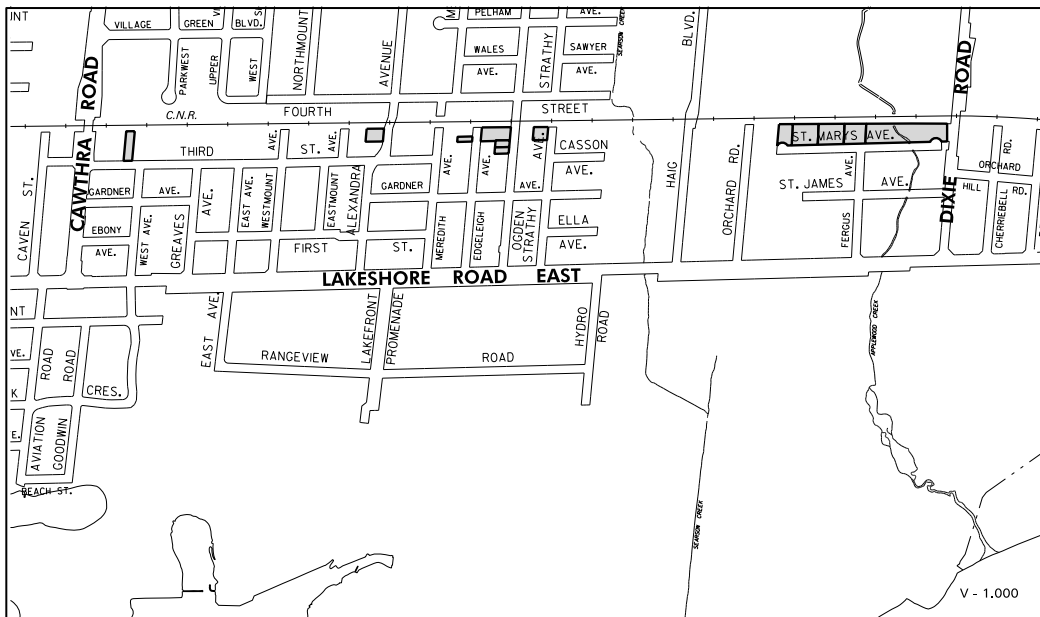


13.2.5.1 The lands identified as Exempt Site 5 include six sites located north of Lakeshore Road East between Greaves Avenue and Ogden Avenue.

13.2.5.2 Notwithstanding the policies of this Plan, the following additional policies will apply:

- a. the existing motor vehicle repair garages will be permitted; and
- b. the existing motor vehicle sales and rental uses identified in Area A will be permitted

13.2.6 Site 6



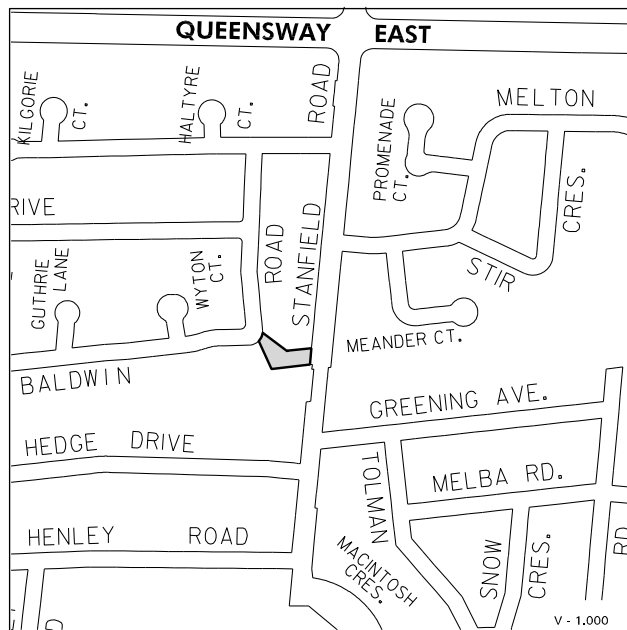
13.2.5.1 The lands identified as Exempt Site 6 are located south of the Canadian National Railway line between Cawthra Road and Dixie Road.

13.2.6.2 Notwithstanding the policies of this Plan, the following additional policies will apply:

- a. the existing manufacturing uses will be permitted;
- b. the existing motor vehicle body repair facility will be permitted; and
- c. the existing warehousing, distributing and wholesaling uses will be permitted; and
- d. the existing retail store will be permitted.

13.2.6.3 Permitted uses will operate within enclosed buildings.

13.2.7 Site 7



13.2.7.1 The lands identified as Exempt Site 7 are located on the west side of Stanfield Road, south of Queensway East.

13.2.7.2 Notwithstanding the policies of this Plan, the following additional policies will apply:

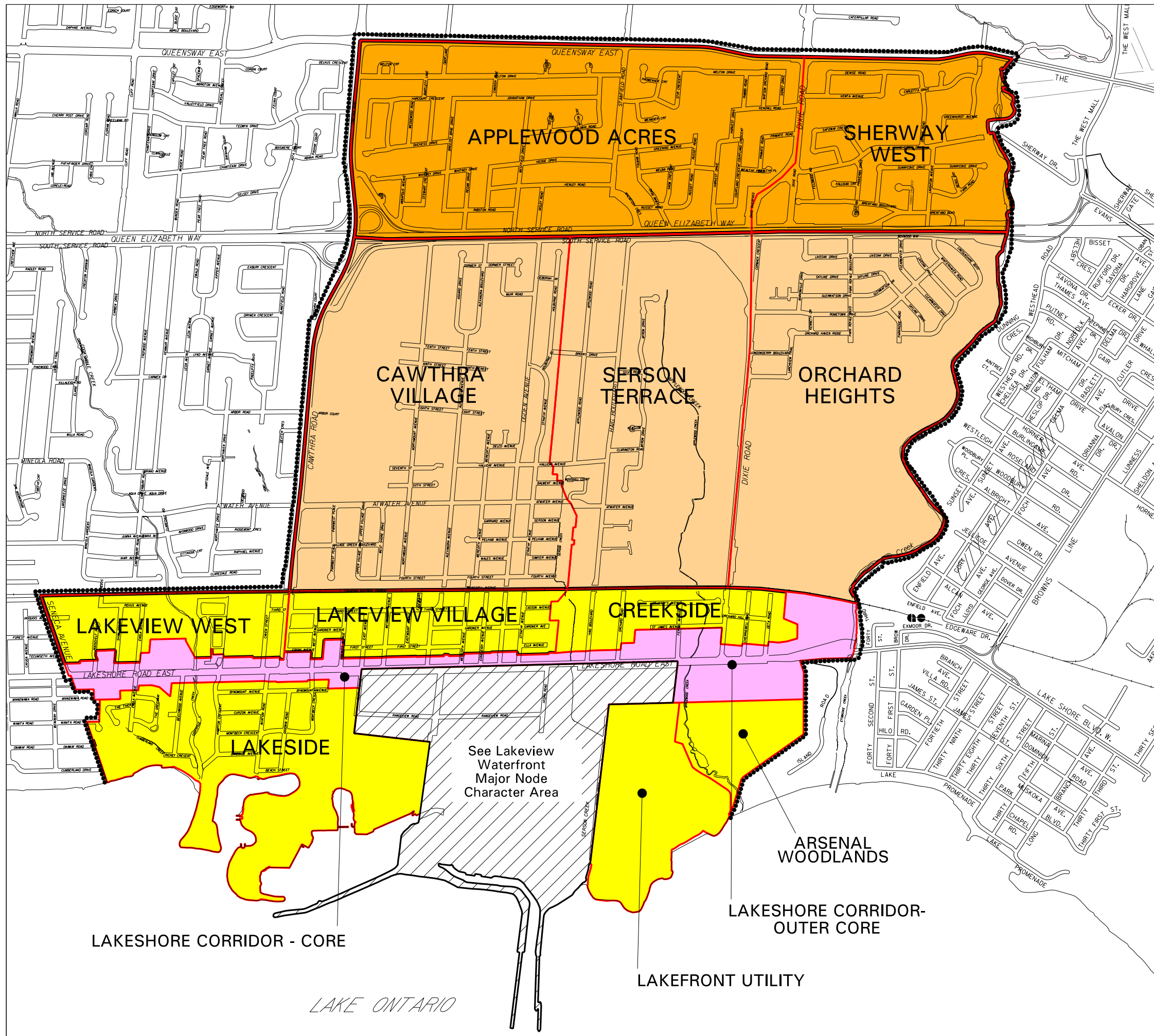
- a. the existing hair care and aesthetics services will be permitted; and
- b. the existing **secondary office** uses, excluding medical offices, will be permitted.

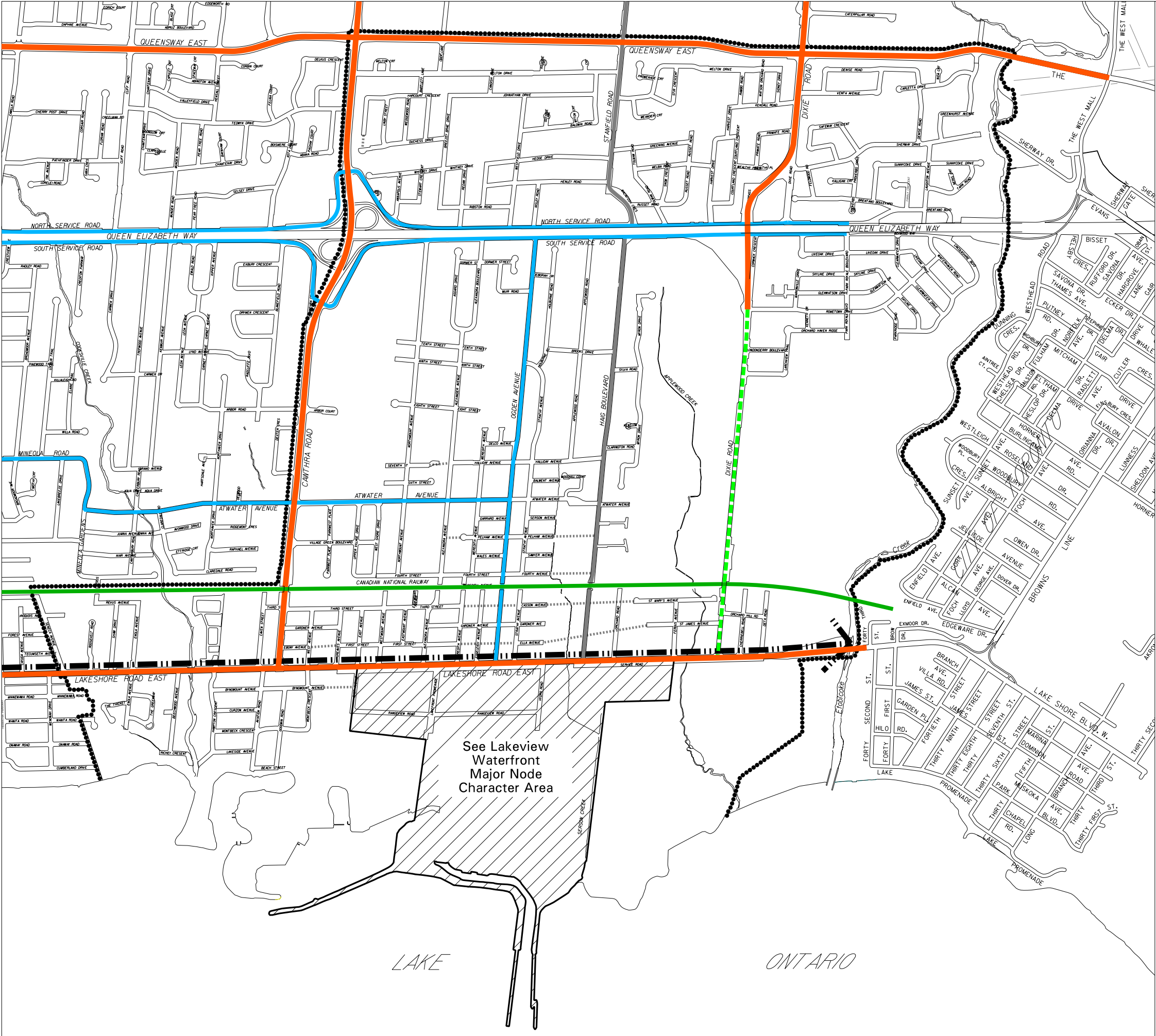
14.0 Implementation

14.1 Mississauga will monitor development in Lakeview, including population density and the population to employment ratio.

14.2 Mississauga, in conjunction with public consultation, may develop a list of facilities/matters that could be exchanged for granting bonuses in height and/or density.

14.3 Mississauga, in conjunction with public consultation, may prepare a Community Improvement Plan, including a plan to promote Lakeview's mainstreet with **streetscape** improvements and symbolic gateways, and incentives to promote and enhance cultural heritage sites in Lakeview.





TRANSPORTATION LEGEND

- Provincial Highway and Interchange
- Arterial
- Major Collector
- Major Collector (Scenic Route)
- Minor Collector
- Future Multi-modal Connection
- Existing Commuter Rail
- Higher Order Transit Corridor

BASE MAP INFORMATION

- Local Road
- Local Area Plan Boundary

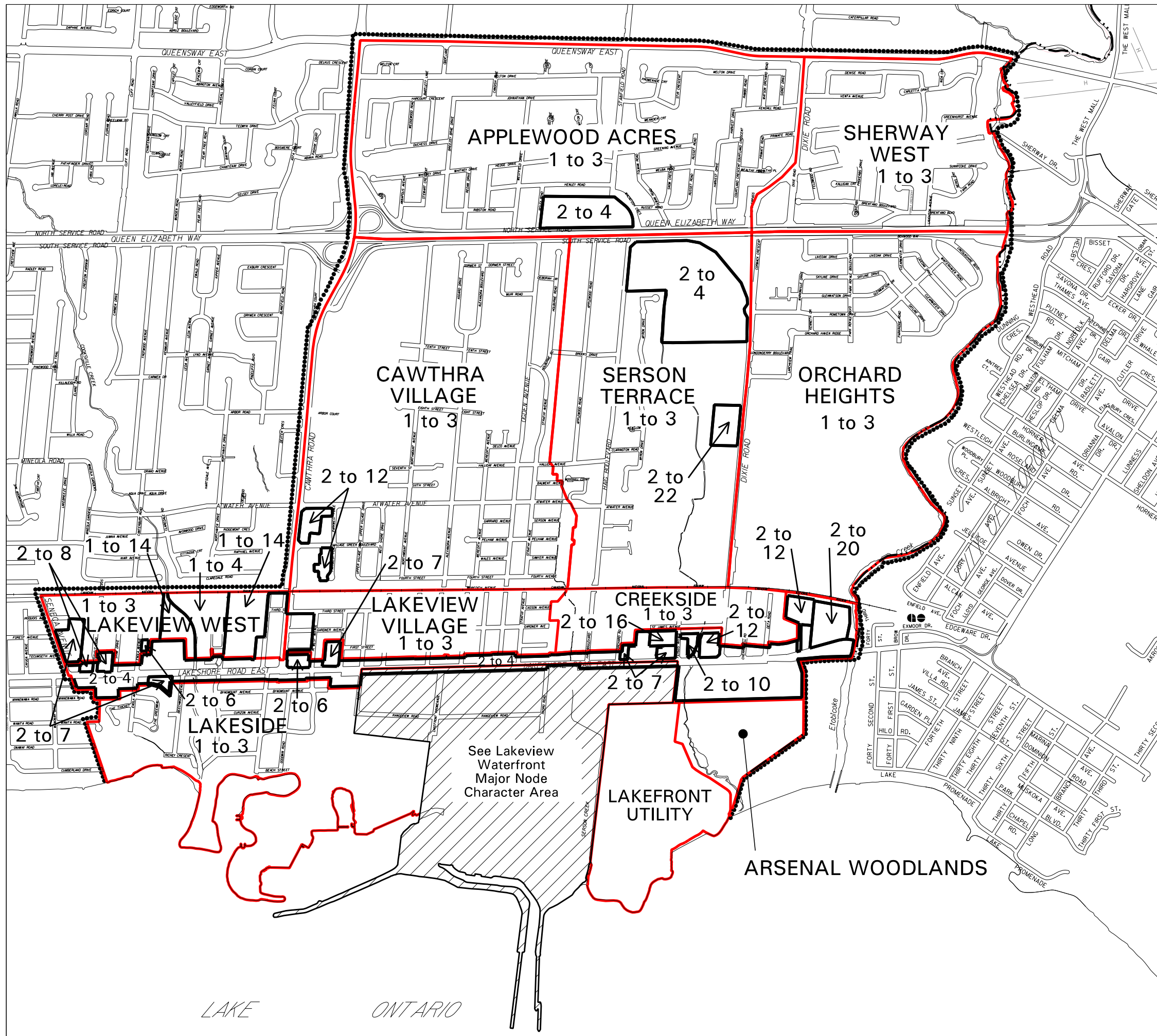
Notes:

1. All lines shown are conceptual.
2. Base Map information (e.g. roads, highways, railways, watercourses), including any lands or bodies of water outside the city boundaries, is shown for information purposes only.

Map 2
Lakeview Local Area Plan
Long Term Road and Transit Network



City of Mississauga





MISSISSAUGA

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1

Introduction

Introduction

1.1 How to Read the Built Form Standards

The Lakeview Built Form Standards (the Standards) is to be read in conjunction with the policies in Mississauga Official Plan and the Lakeview Local Area Plan (Area Plan). The Standards is to be used during the design and review of development applications.

This Standards demonstrates how the urban form policies in the Area Plan can be achieved. The Standards is not considered a part of the Area Plan; however, selected content from the Standards has been incorporated into the Area Plan and represents policy. Applicants must also refer to the Zoning By-law, and the Ontario Building Code to ensure that the applicable requirements in these documents have been met. In addition, there may be other City of Mississauga initiatives and directions (e.g. Design Guidelines, Green Development Strategy) which need to be consulted.

1.2 Purpose

Building a desirable urban form is a key principle of the Mississauga Official Plan. The Standards is intended to provide further guidance of the policies in the Mississauga Official Plan and the Lakeview Local Area Plan. The Standards establishes and illustrates general requirements to achieve a high quality urban form, site development and public realm.

The Standards is intended to ensure development is appropriate for Lakeview and reflects the unique characteristics of the area.



Figure A1 - Images of built form typologies in Lakeview

1.3 Expectations of the Standards

The Built Form Standards provides further direction in the Urban Design Policies set out in the Official Plan, the Lakeview Local Area Plan and other City initiatives and strategies that support land use decisions within the City.

The Standards set out detailed requirements to achieve a high quality built form in Lakeview that interfaces with the public realm in a seamless fashion. The Built Form Standards has been developed to communicate the design expectations, in advance of an application being filed, related to the quality and outcome of development.

The Standards, in addition to the dimensions indicated, are to be addressed and achieved by development proponents through the planning application process. Depending on the context or site size, exceptions to the Standards may be considered at the discretion of the City, in whole or part,

when there are extenuating circumstances and/or where proposals are able to demonstrate urban design excellence.

It should be noted that the Standards may be amended, modified or updated on an as need basis to provide clarity on the intent of the Lakeview Local Area Plan, provisions of the Zoning By-law including the outcome of other studies or initiatives that impact the Lakeview area.



Figure A2 - Images of built form typologies in Lakeview

1.4 Lakeview Local Area Plan

The Area Plan includes lands identified in the Mississauga Official Plan City Structure as Neighbourhood and Employment Character Areas.

Both the Neighbourhood and Employment Character Areas are divided into 5 precincts and 13 sub-areas which recognize different attributes of these areas and contain different policy directions. These are organized as follows:

1. North Residential Precinct

- Applewood Acres
- Sherway West

2. Central Residential Precinct

- Cawthra Village
- Orchard Heights
- Serson Terrace

3. South Residential Precinct

- Creekside
- Lakeview West

- Lakeside
- Lakeview Village

4. Lakeshore Corridor Precinct

- Core
- Outer Core

5. Employment Precinct

- Arsenal Woodlands
- Lakefront Business Park
- Ontario Power Generation Lands (OPG Lands)

This Standards outlines various general built form typologies that are found in Lakeview.

Individual direction is given for the **Lakeshore Corridor Precinct**, where the Neighbourhood Character Area and the Employment Character Area overlap. The Lakeshore Corridor Precinct is an area of change and specific direction is given in Section 3.0 of this Standards.

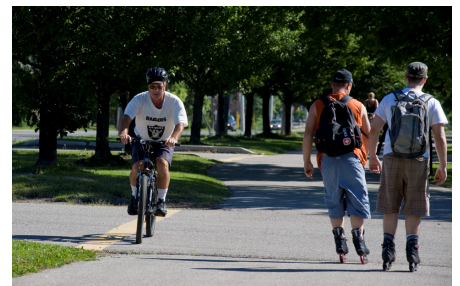
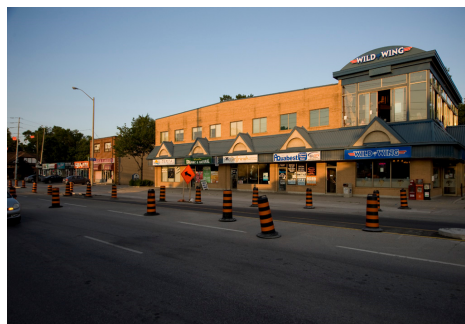


Figure A3 - Images of built form and cultural resources in Lakeview

1.4.1 Community Node

The Mississauga Official Plan identifies Lakeview as an area that will contain a Community Node. Once the location of the Community Node has been defined, it will be the focus of activity for Lakeview. The combination of residential uses, employment opportunities, cultural activities and infrastructure, shopping, dining, commerce and recreation will be encouraged to concentrate in the Community Node.

The Community Node will be the primary focus for intensification and density, however, the form and scale of development will vary within the Community Node in accordance with the location and surrounding context. More detailed Standards for the Community Node will be established once the boundaries have been determined.

1.4.2 Inspiration Lakeview

For years, public access to the Lakeview waterfront has been limited by the location of the Ontario Power Generation's coal-fired generation station. With the demolition of the power plant, this part of the waterfront is ready for a new vision to create "a model sustainable creative community on the waterfront".

The City of Mississauga, the Province of Ontario and Ontario Power Generation (OPG) have signed a memorandum of understanding that commits them to working together on a shared vision for the future of these lands.

These lands include a portion of the Lakefront Business Park Precinct, a portion of the Lakeshore Corridor Precinct and the OPG Lands.

To date, the Inspiration Lakeview project has developed a Community Vision. A more detailed land use plan, including the appropriate location of the Community Node, will be undertaken in the next phase.



Figure A4 - Images of built form and cultural resources in Lakeview



Lakeview Character Areas

2.0 Lakeview Character Areas

2.1 Neighbourhood and Employment Character Areas

Lands identified as Neighbourhood Areas are considered to be generally stable residential areas where the existing character is to be preserved and enhanced. These areas will be maintained while allowing for infill which is compatible with and enhances the character of the area.

Employment Areas are stable areas and are characterized by uses that are land extensive and /or have low employment densities. They have various operating uses including manufacturing and wholesale, retail and restaurant, banquet hall, utility, marina and parkland. The future use of these lands will be reviewed through the next phase of study for

Inspiration Lakeview and remain unchanged in this Area Plan.

The following sections provide additional context and information on the built form typologies found in each of the Neighbourhood and Employment Character Areas. A separate section entitled “Lakeshore Corridor Precinct” will address specific issues in regards to the Lakeshore Corridor Precinct which crosses through Neighbourhood and Employment Character Areas.



Figure B1 -Examples of built form typologies within Lakeview

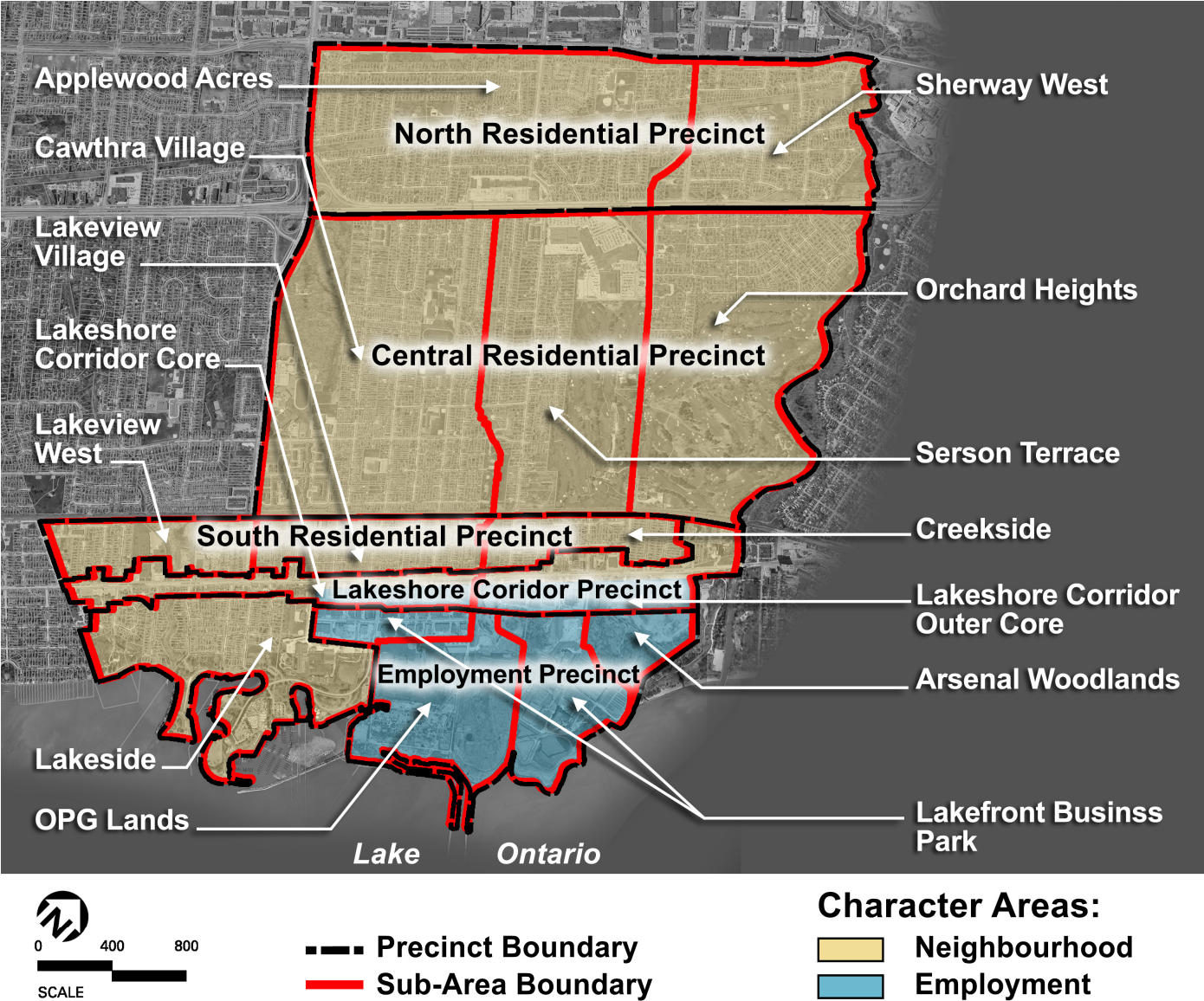


Figure B2 -Lakeview consists of 5 precincts and 14 sub-areas that are located in Neighbourhood and/or Employment Character Areas.

2.2 Built Form Type

New developments will be compatible with and enhance the character of the neighbourhood by integrating with the surrounding area. This can be done by maintaining the existing lotting fabric layout and using consistent and transitional heights.

The following building typologies will be discussed in this section:

- i) Detached Dwellings, Semi-Detached Dwellings, Duplexes and Triplexes;
- ii) Street Townhouses;
- iii) Standard and Common Element Condominium Developments: Single Detached; and Townhouse;
- iv) Horizontal Multiple Dwellings;
- v) Apartment;
- vi) Commercial; and
- vii) Industrial.

In addition to these Standards, the City of Mississauga Urban Design Guidelines and Reference Notes should be reviewed. These include, but are not limited to:

- Green Development Strategy;



Figure B3 - Example of a bungalow in Lakeview

- Urban Design Handbook for Low Rise Multiple Dwellings;
- Design Guidelines for High Density Apartments;
- Balconies in Medium and High Density Developments;
- Condominium Townhouse Design Standards;
- Screening for Roof Top Mechanical Units;
- Standards for Seniors Outdoor Amenity Area;
- Standards for Children's Outdoor Play Spaces;
- Standards for Shadow Studies; and
- Design Guidelines for Industrial buildings.



Figure B4 - Example of a duplex in Lakeview



Figure B5 - Example of detached dwellings in Lakeview

2.2.1 Detached and Semi-Detached Dwellings, Duplexes and Triplexes

To preserve neighbourhoods with predominantly low density residential character, applicants will be required to provide the greater of the following:

- i) The average frontage and area of residential lots, units or parcels of tied land (POTLs) on both sides of the same street within 120 m of the subject property. In the case of corner development lots, units or POTLs on both sides within 120 m will be considered ; or
- ii) The requirements of City by-laws, including Zoning By-law 0225-2007.

New detached, semi-detached, duplex and triplex dwellings within Lakeview will maintain the existing character of the area. The following criteria will apply:

- a. The maximum height of any dwelling should be 10.7 m. The design of the building will de-emphasize the height of the house and be designed as a composition of small architectural elements, i.e. projecting dormers and bay windows;
- b. New development will preserve and enhance the generous front, rear and side yard setbacks;
- c. New development will ensure that existing grades and

drainage conditions are preserved;

- d. New development will fit the scale and character of the surrounding area, and take advantage of the features of a particular site, i.e. topography, contours, mature vegetation, location to railway tracks;
- e. Garages will be recessed or located behind the main face of the house. Alternatively, garages will be located in the rear of the property;
- f. New development will have minimal impact on its adjacent neighbours with respect to overshadowing and overlook;
- g. New development will minimize the hard surface areas in the front yard;
- h. New development will preserve existing high quality trees to maintain the existing established nature of these areas;
- i. New house designs which fit with the scale and character of the local area, and take advantage of the particular site features are encouraged.
- j. The use of standard, repeat designs is strongly discouraged; and
- k. The building mass, side yards and rear yards will respect and relate to those of adjacent lots.



Figure B6 - Example of a triplex in Lakeview



Figure B7- Example of a semi-detached dwelling in Lakeview

2.2.2 Street Townhouses

Development of street townhouses or freehold townhouses should meet the following criteria:

- i) They fit into the existing lotting pattern of the community;
- ii) They provide an appropriate transition from low built form to higher built forms; and
- iii) They are located on or in proximity to transit routes

The following are requirements for new infill street townhouses within the Lakeview area to ensure that the character of the existing community is maintained:

- a. The minimum lot area for an interior townhouse unit will be 200 m² and 280 m² for a corner lot;
- b. The maximum height for a street townhouse will be 10.7 m;
- c. The maximum number of townhouses in a consecutive row will be 6 units per block;
- d. The minimum width of a townhouse unit will be 6.8 m;
- e. The minimum width of a lot will be 6.8 m for an interior lot and 9.8 m for a corner lot;
- f. The minimum front yard setback for any unit will be 7.5 m;
- g. The maximum number of stairs to the front door of any unit will be 3 risers from the established grade;
- h. Garages will not project beyond the main face of the dwelling unit. They may be flushed, recessed or located at the rear of the unit;
- i. The garage of any townhouse unit will not be more than 50% of the width of the unit;
- j. The driveway width of a townhouse unit will not be more than 50% of the front yard or 5.2 m whichever is smaller;
- k. A minimum of 3.0 m will be required between blocks of units. A minimum of 4.5 m will be required between blocks of units where a walkway is proposed;
- l. Front to rear access to internal townhouse units will be provided through the individual unit. The interior design of the unit must ensure this can be accommodated;
- m. The minimum rear yard setback of a street townhouse from a property line will be 7.5 m. Where a townhouse unit is accessed by a laneway, the minimum distance from the rear face of the garage to the rear face of the dwelling unit will be 7.5m;

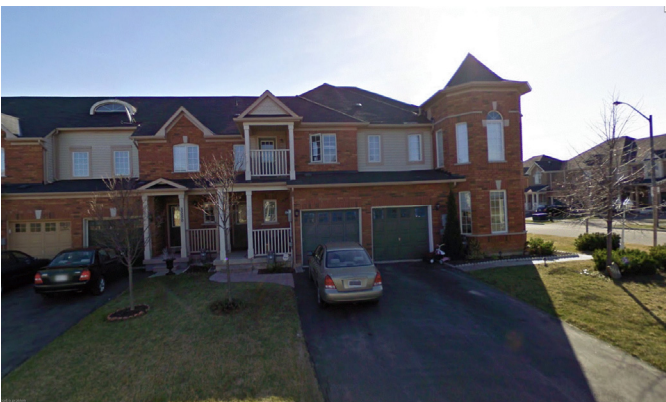


Figure B8 - Example of street townhouses in Mississauga



Figure B9- Example of street townhouses in Mississauga

- n. End and rear units that are exposed to a public road or park will be required to have upgraded elevations equal to the front of the unit;
- o. The minimum landscape area of a street townhouse dwelling will be 25% of the lot area; and
- p. Fencing requirements will be minimized with built form acting as the prominent feature along all frontages. All fencing is to be returned within a maximum of 3.0 m of the rear corner of the dwelling.



Figure B11 - Street townhouse example. Corner lot upgrade to appear as a detached dwelling and fit in with the lotting pattern and built form pattern of the area.



Figure B12 - Street townhouses adjacent to detached dwellings



Figure B10 - Example of street townhouse developments in Mississauga

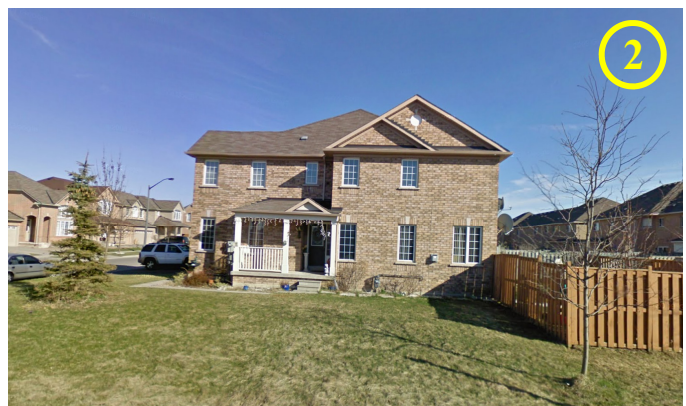


Figure B13 -Side elevation of detached dwelling adjacent to street townhouses

2.2.3 Standard and Common Element Condominium

Where development is proposed on a condominium road, new dwellings should fit the scale and character of surrounding development with respect to frontage, area, setback and side yards. Development of standard and common element condominium townhouses should demonstrate that:

- i. They fit into the existing lotting pattern of the community;
- ii. They provide an appropriate transition from low built form to higher built forms;
- iii. Have a minimum lot depth of 90 m; and
- iv. They are located on or in proximity to transit routes.

Development of such sites requires careful consideration regarding site planning and building massing, including the height and setbacks from adjacent developments and maintaining a consistent streetscape and built form along the frontages. New buildings will minimize shadowing and overlook onto adjacent properties. New infill standard and common element condominium townhouses will adhere to the City's *Urban Design Handbook for Low-Rise Multiple Dwellings* and the *Design Reference Note for Single Detached and Common Element Condominium*.

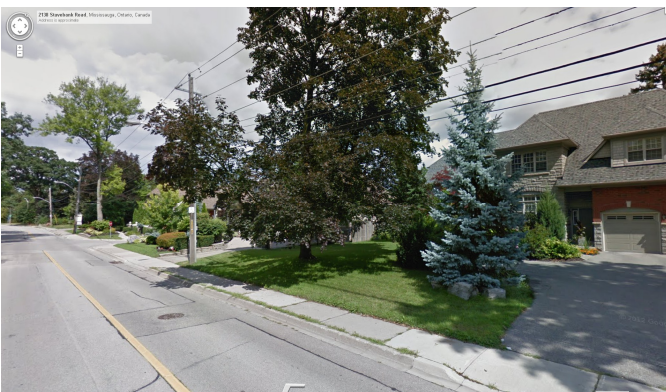


Figure B14 - Example of a standard condominium detached development along Stavebank Road. The condominium units have been designed to be in character with the street and enhanced with a continuous streetscape

The following are criteria for new infill condominium and common element developments within the Lakeview area which will help maintain the character of the existing community. These are broken down into two categories:

- Single Detached Standard and Common Element Condominium developments; and
- Townhouses Standard and Common Element Condominiums

2.2.3.1 Single Detached Standard and Common Element Condominium

- a. The width and massing of the proposed unit will be similar to that of the existing character of the neighbourhood.
- b. The maximum height for a dwellings will be 10.7 m;
- c. The maximum stairs to the front door of any unit is 3 risers from the established grade of the dwelling unit;
- d. Garages will not project beyond the main face of the dwelling unit. They will be flushed, recessed or may be located at the rear of the unit;



Figure B15 - Side elevation of the detached condominium is upgraded to look like the front of a single detached dwelling to fit in with the lotting pattern of the existing street

- e. The driveway width of a dwelling unit will not be more than 50% of the front yard or 1.0 m wider than the width of the garage whichever is smaller;
- f. Visitor parking will be centrally located, not visible from a public road and will be well screened from existing and proposed dwellings;
- g. No service/loading, mailboxes or garbage area will be located along the frontage of the public road or visible from the public road;
- h. Entrances to new development will not be through established or existing lots, but will be from major roads



Figure B16 -Example of detached condominium developments



Figure B18- Single detached units fronting onto a public road to ensure the lotting pattern and form are maintained on the residential street

- and routes. The entrances to new developments will be flanked by dwellings within the new development itself;
- i. Fencing requirements will be minimized with built form acting as the prominent feature along all frontages. All fencing is to be returned within a maximum of 3.0 m of the rear corner of the dwelling;
- j. End and rear units exposed to an external or internal road will be required to have upgraded elevations;
- k. Amenity spaces will be in the rear of the unit and not on public roads; and
- l. All common element units must have a private amenity



Figure B17 -Example of condominium detached developments



Figure B19- Single detached units fronting onto a condominium road to ensure the lotting pattern and form are maintained on the residential street

2.2.3.2 Townhouse Standard and Common Element Condominium

- a. The maximum height for a townhouse dwellings will be 10.7 m;
- b. The minimum unit width of a townhouse unit will be 6.0 m;
- c. The minimum front yard setback from a street will be 6.0 m;
- d. The maximum number of townhouses in a consecutive row will be 8 units;
- e. The maximum stairs to the front door of any unit is 3 risers from the established grade of the dwelling unit;
- f. Garages will not project beyond the main face of the dwelling unit. They will be flushed, recessed or may be located at the rear of the unit;
- g. The garage of any townhouse unit will not be more than 50% of the width of the unit;
- h. The driveway width of a townhouse unit will not be more than 50% of the front yard or 1.0 m wider than the width of the garage whichever is smaller;
- i. All units will have a designated parking space in front of their unit or located underground;
- j. Visitor parking will be centrally located, not visible from a public road and will be well screened from existing and proposed dwellings;
- k. Condominium townhouse developments greater than 20 units will provide a centrally located private amenity space;
- l. A minimum of 3.0 m will be required between blocks of units. A minimum of 4.5 m will be required between blocks of units that have a walkway;
- m. Hydro and gas metre walls should be required to be located internal to the site and will not be visible from the street;
- n. No service/loading, mailboxes or garbage area will be located along the frontage of the public road or visible from the public road;
- o. Entrances to new development will not be through established or existing lots, but will be from major roads and routes. The entrances to new developments will be flanked by dwellings within the new development itself;



Figure B20 - Example of a standard condominium townhouse development in Lakeview



Figure B21 - Side elevation of the townhouse condominium is upgraded to look like the front of a single detached dwelling to fit in with the lotting pattern of the existing street

- p. Fencing requirements will be minimized with built form acting as the prominent feature along all frontages. All fencing is to be returned within a maximum of 3.0 m of the rear corner of the dwelling; and
- q. End units exposed to an external or internal road will be required to have upgraded elevations.



Figure B22 -Example of condominium townhouse developments in Lakeview



Figure B23 -Example of condominium townhouse developments in Lakeview



Figure B24- Single detached units fronting onto a public road to ensure the lotting pattern and form are maintained on the residential street

2.2.4 Horizontal Multiple Dwellings

Horizontal multiple dwellings (often referred to as stacked units) may be located in existing neighbourhoods along major transit routes and corridors.

Appropriate sites are those that have a depth of 40-m or greater to ensure internal circulation, parking, amenity space, landscaping and utilities can be appropriately accommodated. The following criteria will be used when designing horizontal multiple dwellings:

- a. The building will be oriented to face the major public road and not be designed as a flankage condition;
- b. Garages will be located in a laneway and will not face the front door of another unit. Garages will face each other;
- c. Condominium blocks will not be more than 8 units wide;
- d. The minimum required landscape area will be 40% of the lot area;
- e. The preservation of existing trees on the street frontage and perimeter of the site will be required;
- f. Each unit will be required to have its own private amenity space, in the form of a balcony or roof top;
- g. A maximum of 3 stairs will be located at the entrance of any building. All other stairs will be required to be designed so that they are internal to the dwelling;
- h. A common amenity space will be required for a development with over 20 units. The common amenity space will be centrally located and will be the greater of 5.6 m² per dwelling unit or 10% of the site area. A minimum of 50% of the required amenity space will be provided in one contiguous area;
- i. A minimum of 3.0 m will be required between blocks of units. A minimum of 4.5-m will be required between blocks of units that have a walkway;
- j. A minimum of 15 m shall be required between the faces of buildings located along mews;
- k. Hydro and gas metre walls should be required to be internal to the site and not be visible from the street. In addition, utilities will not be located within the required landscape area or along the frontage of a public road;
- l. No common visitor parking, air-conditioning units, mailboxes or garbage area will be located along the frontage of the public road or visible from the public road; and,
- m. Fencing requirements will be minimized with built form acting as the prominent feature along all frontages. All fencing is to be returned within a maximum of 3.0 m of the rear corner of the dwelling.



Figure B25 - Example of horizontal multiple dwelling in lakeview from an internal road



Figure B26 Example of horizontal multiple dwelling in Lakeview from Lakeshore Road East



Figure B27 - Example of horizontal multiple dwelling in Lakeview, from Lakeshore Road East



Figure B28 - Example of an entrance at grade of a horizontal multiple dwelling in Lakeview



Figure B29 - Example of horizontal multiple dwelling in Lakeview from Deta Road. Example of tree preservation



Figure B30 - Example of horizontal multiple dwelling in Lakeview. Example of tree preservation within the new development.



Figure B31 - Example of horizontal multiple dwelling in Lakeview. Four entrances designed to appear as two



Figure B32 - Example of horizontal multiple dwelling in Lakeview. Rear lane condition with private amenity space above

2.2.5 Apartment Dwellings

There are a number of apartment sites within the Lakeview area. These sites generally contain buildings 5 storeys and over and are located along arterial roads, major routes or in cluster developments.

Generally, high-rise residential cluster developments in Lakeview are considered “towers in the park”. These apartment buildings are surrounded by sunlight, open space and well landscaped yards. Additional sites may be considered for apartments due to their size and location, however these sites will be required to demonstrate that there is minimal impact on adjacent areas.

2.2.5.1 Building Heights

The maximum building height for any new high rise residential building in the Lakeview neighbourhood areas will be 14 storeys or 44.8 m. Sites that may be suited for high density will be required to demonstrate that they can accommodate a maximum of 14 storeys or 40.6 m.

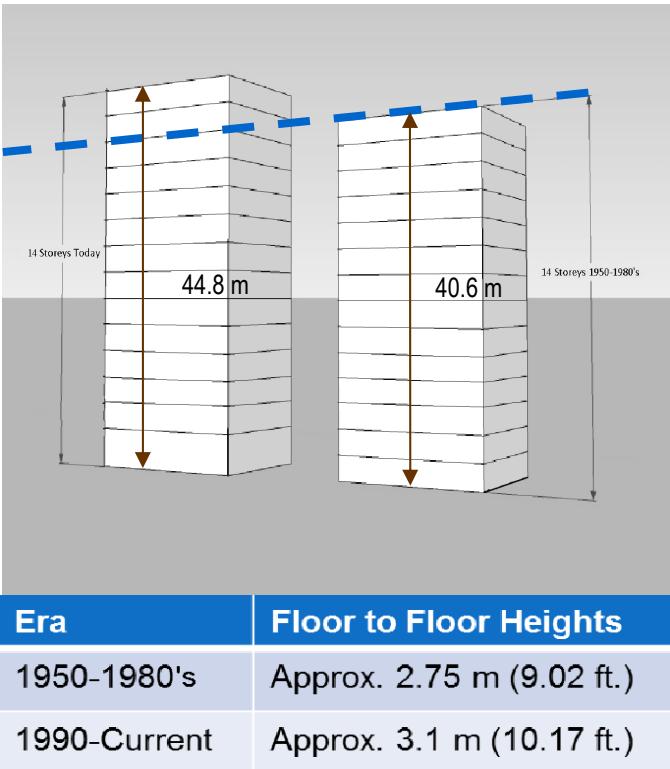


Figure B33 - Building heights from the 1950's to 1980's are significantly different than building heights from 1990 to today. Floor to ceiling heights during the 1950's and 80's were lower which reduced the overall heights of the buildings. The majority of buildings constructed in Lakeview were constructed between 1950 and 1980 and are therefore lower in height



Figure B34 - 7 storey building. Example of existing high built form within Lakeview

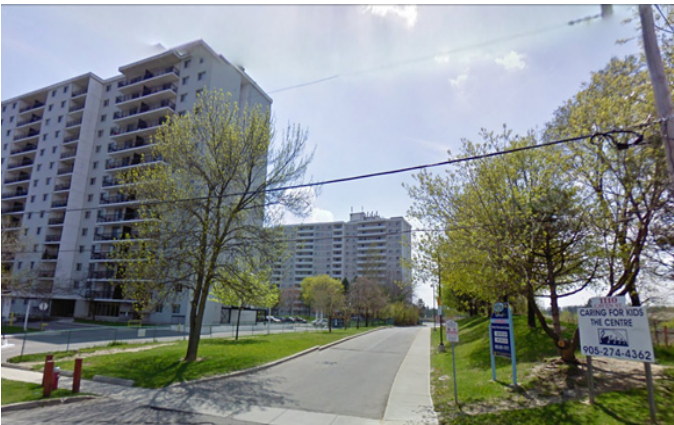


Figure B35 - 14 Storey building. Example of existing higher built form within Lakeview

2.2.5.2 Building Separation Distances

There are a number of higher built form apartments existing in the Lakeview area. They are characterized by large landscape areas and significant separation distances to ensure light and permeability. This concept should be continued for new developments.

A building over 6 storeys or 20 m should have a minimum separation distance of 35 m to a building equivalent to, or greater than 6 storeys or 20 m.

2.2.5.3 Floor Plates

A building between 7 storeys (23 m) and 14 storeys (43.8 m) will have a maximum floor plate of 1000 m², including the balconies, to ensure minimal impact on adjacent low rise residential and to maintain sky views.

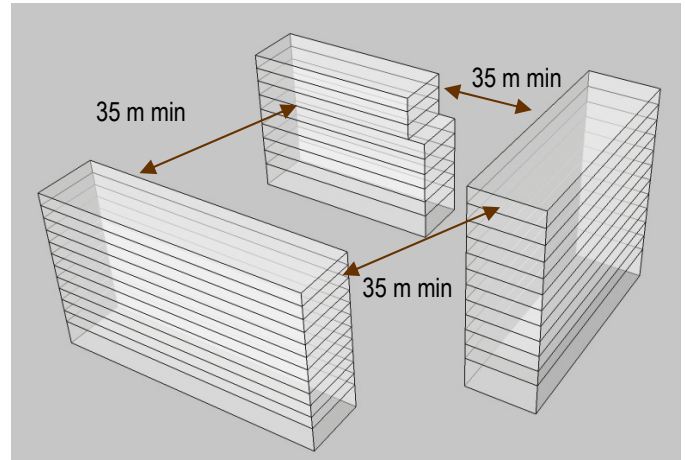


Figure B36 - Examples of existing building separation distances in Lakeview



Figure B31 -Example of existing building separation distances in Lakeview

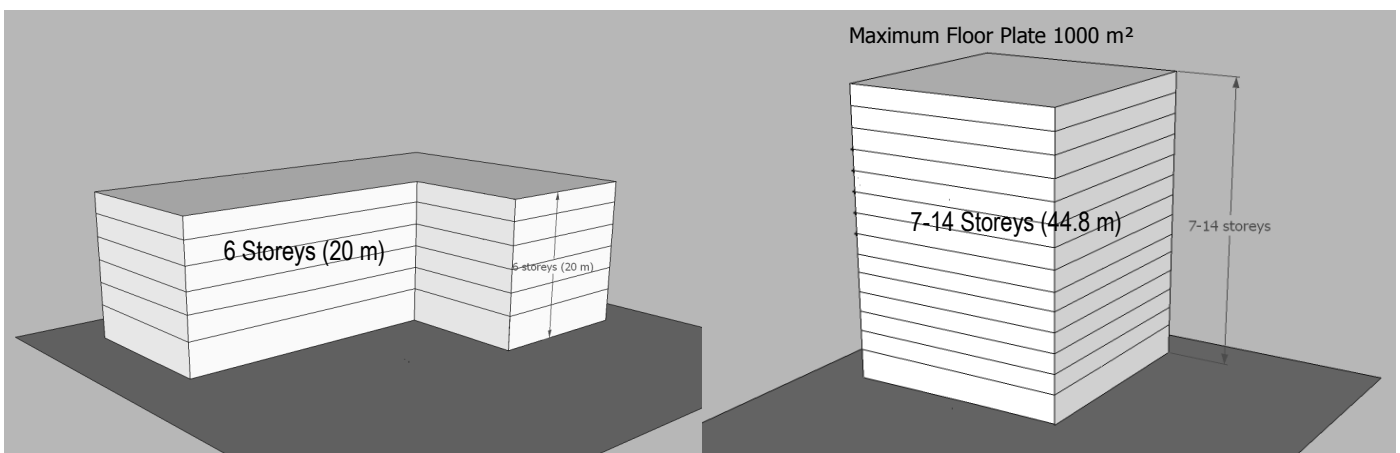


Figure B37 -Example of building floor plates in relation to height

2.2.5.4 Transition to Lower Forms

Taller buildings should be sited and organized in a way that provides desirable transition to adjacent lower form buildings and open space to ensure appropriate spatial separation between buildings.

Where a significant difference in scale exists between building heights, developments will be required to deploy transition strategies through massing and built-form to achieve a harmonious relationship between proposed and existing development, and/or adjacent open space.

Appropriate transition can be achieved through various design methods. The larger the difference in scale the greater the need for transition. These may include:

- a. The use of an angular plane of 45 degrees from the closest property line of sites with lower scaled building or open space will be used to determine the minimum setback and height of a building within a development;
- b. To increase the building setback from a low rise development to ensure that the impact of the larger development is minimal; and
- c. The use of building step backs to ensure minimal impact from overshadowing and from a new building overwhelming the site.

Each of these controls can vary according to the size of the development area, the planned intensity of the use, the context of the low scale development, and the street width. Impacts to sunlight, shade and sky views will also be considered and will adhere to the City's *Urban Design Terms of Reference for Standards for Shadow Studies*, June 2014.

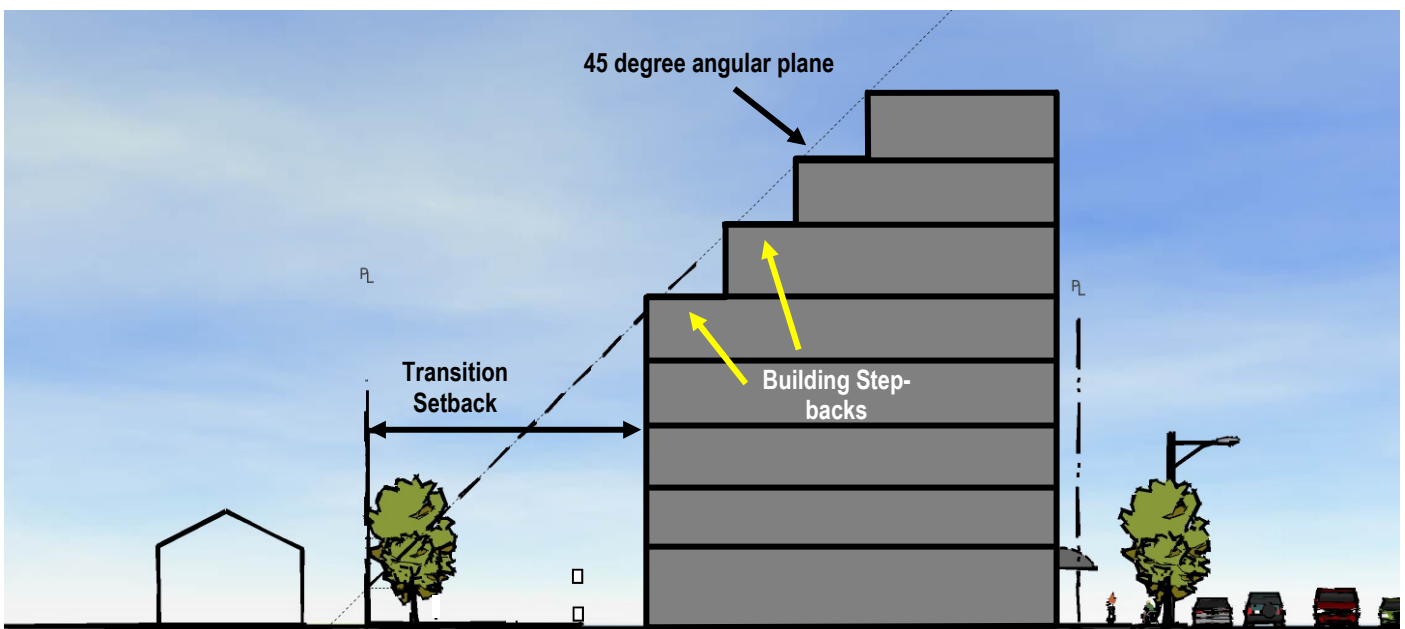


Figure B38 - Angular plane calculation for shallow properties. Larger properties will calculate the angular plane from the property line

2.2.5.5 Microclimatic Conditions

Shadow Impact

Shadow studies will be requested in support of Official Plan Amendments/Rezoning and Site Plan applications to demonstrate that the height and/or location of a proposed apartment building will not generate excessive shadows over adjacent lands.

Shadow studies will be required for buildings greater than 10.7 m in height which may cause new shadow impact on adjacent residential properties, public parkland, open space and the public realm. Particular attention will be focused on Lakeshore Road East and where a pedestrian oriented environment is strongly encouraged. See the City's *Standards for Shadow Studies*.



Figure B39 - Example of shadow on the public realm from an existing building

Wind Comfort

Wind studies will be requested for development over 3 storeys or 16 m in height to ensure appropriate comfort and safety levels are maintained in the pedestrian realm, streetscapes, public spaces and areas immediately adjacent to, and surrounding the proposed development.

Evaluation of existing wind conditions in the immediate and surrounding area, prior to the proposed development will be required along with a comparison of the wind conditions based on the proposed development. The criteria to be used for the analysis will be signed and sealed by a certified engineer.

The Urban Design Terms of Reference for Pedestrian Wind Comfort and Safety Studies will be used, June 2014.



Figure B40 - Example of wind in an urban environment

2.2.6 Commercial

Lakeview has a number of commercial uses. Some of these larger commercial areas include, but are not limited to, the Dixie Outlet Mall and Applewood Village Plaza.

The following criteria will apply to the redevelopment of these areas:

- a. The maximum height of a building or structure will be 4 storeys or 13.8 m;
- b. New developments will transition to existing stable residential developments;
- c. When redevelopment occurs, larger sites will be broken up into smaller parcels. These smaller parcels should be bisected by public roads that interconnect with the existing community;
- d. New development should generally follow the pattern and character of the existing community. Higher built form will transition both in scale and lotting pattern to existing community uses;
- e. New development should ensure the continuation of a mixed use community;
- f. Where retail commercial is located on a mixed use street, entrances will face the street and be the dominant feature of the building. Loading and service areas shall not be visible from the street or existing residential; and,
- g. Mixed use developments which include townhouses, stacks or apartment dwellings will adhere to the Urban Design Handbook for Low-Rise Multiple Dwellings and the Design Reference note for Standards for Children's Outdoor Play Spaces.



Figure B41 - Dixie Outlet Mall, example of existing commercial



Figure B42 - Applewood Plaza, example of existing commercial

2.2.7 Industrial

Lakeview has a number of historic industrial uses on the south side of Lakeshore Road East and along the rail line just north of Lakeshore Road East. A significant portion of the lands south of Lakeshore Road East are being reviewed under a separate study, *Inspiration Lakeview*.

This study will determine the built form, height and land use of these lands, and the Area Plan and Standards will be revised accordingly.

However, in the interim, the following general built form guidelines will be required when considering new developments in business employment areas:

- a. Industrial uses adjacent to residential areas will require a minimum 15 m setback to ensure an appropriate buffer area can be accommodated to screen the intensity of the use;
- b. A minimum landscape area ranging in depth from 4.5 m to 7.5 m of landscape area will be required in front of any employment use;
- c. Site access will be minimized and will be consolidated where possible;
- d. Loading, garbage and service areas will not face public roadways or residential uses. These services will be located behind the building, or, where this cannot be accommodated, these may be permitted at the side of the building. Landscaping will be required to screen service areas visible from the street;
- e. Parking will be located at the rear of the development and not between the front of the building and the street;
- f. Roof top units will not be visible from any street. The addition of parapet walls to screen these units is required;
- g. Buildings listed on the City's Heritage Register will be preserved and enhanced in their existing location;
- h. The preservation and enhancement of existing natural features will be a priority;
- i. All lighting will be contained within the site; and
- j. Existing industrial uses along the railway tracks are encouraged to improve their transition to the adjacent residential areas. The maximum permitted height will be the equivalent to a 2 storey residential building. New development will include appropriate buffers, ensure lighting, noise levels, loading and garbage areas do not negatively impact adjacent residential uses.



Figure B43- Example of existing industrial, in Lakeview



Figure B44 - Example of industrial built form along the rail line north of Lakeshore Road East in Lakeview

2.3 Routes, Landmarks and Views

Development will ensure routes and views are maintained and enhanced. Views to Lake Ontario from Lakeshore Road East are important and will be enhanced and protected.

Landmarks are places, buildings or structures that are recognizable by people and that may have historical significance.

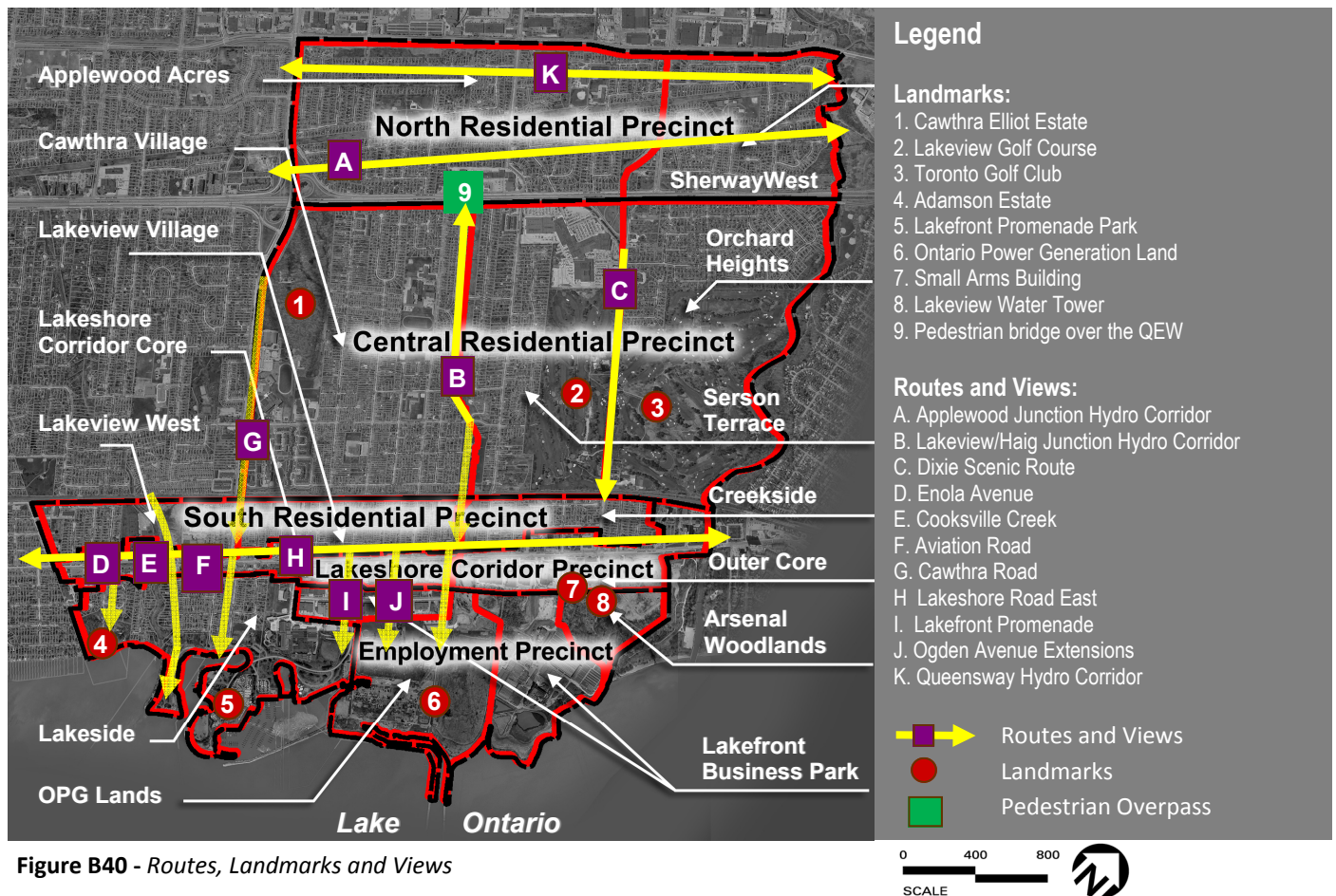


Figure B40 - Routes, Landmarks and Views



Figure B45 - A. Hydro corridor from Breezey Brae Drive

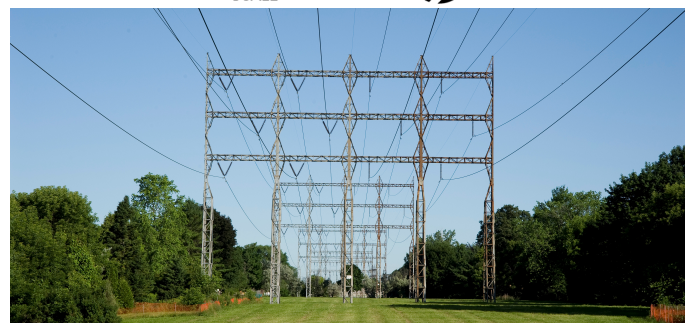


Figure B46 - B. Hydro corridor from Halliday Avenue



Figure B47 - Cawthra - Elliot Estate



Figure B48 - Lakeview Golf Course



Figure B51 - Lakefront Promenade Park



Figure B49 - Adamson Estate



Figure B50 - Lakefront Promenade Park

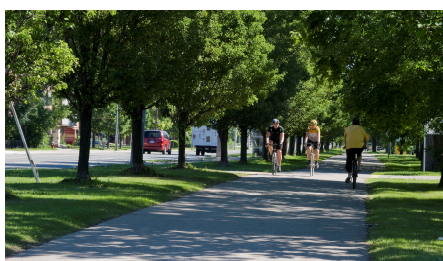


Figure B52 - Lakeshore Road East



Figure B53 - Water Tower



Figure B54 - Cooksville Creek Bridge

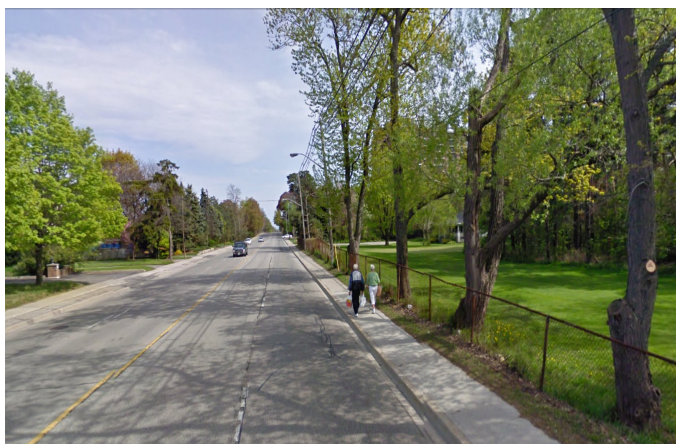


Figure B55 - Dixie Road Scenic Route



Figure B56 - Ontario Power Generation Lands

2.4 Cultural Heritage

Heritage is an important characteristic of the Lakeview Local Area Plan. Within Lakeview there are a number of properties listed on the City's Heritage Register. The Register contains two types of properties:

- Designated (recognized by the City through by-law as being of cultural heritage value or interest); and
- Listed (identified but not fully researched as to heritage significance and has potential heritage value).

Lakeview contains *Cultural Landscapes* and *Cultural Features*. *Cultural Landscapes* are defined as a setting that enhance a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place. *Cultural Features* can be defined as visually distinctive objects and unique places within a cultural landscape. They are not necessarily consistent with their immediate natural surroundings, adjacent landscape, adjacent buildings or structures.

Properties designated or listed on the Heritage Register will be preserved in their existing location. Any development will incorporate these structures in the design of the proposal. Any changes to these structures or developments adjacent to

these structures will require a ***Heritage Impact Assessment*** and may have additional requirements. Additional requirements may include, but are not limited to, a review and recommendation by the Heritage Advisory Committee. New buildings will not visually impede the setting of listed/ designated heritage buildings and cultural landscapes. Where heritage buildings are low-scale, taller buildings will respect and reflect the unique character, topography and materials of the surrounding historic buildings. All new buildings will preserve and enhance the character and appearance of the setting of the adjacent listed/properties.

The following figures provides examples of properties listed or designated on the Heritage Register.



Figure B57 - Arsenal Lands Water Tower, example of a cultural feature



Figure B58 - Lakefront Promenade Park, example of a cultural landscape



Figure B59 - Johnston Residence
1414/1416 South Service Road



Figure B60 - McGillion House and stable, 1559
Cormack Crescent



Figure B61 - Cawthra - Elliot Estate



Figure B62 - Small Arms Inspection Building,
Lakeshore Road East



Figure B63 - Lakeview Park School, 1239 Lakeshore
Road East



Figure B64 - Pallett-McMaster House,
1346/1348/1400 Dixie Road



Figure B65 - 11 Lakeview Golf Residence



Figure B66 - Capraru Residence, 1256 Dixie Road



Figure B67 - Lakeview Golf Course, example of
a cultural landscape



Figure B68 - Stone Bungalow, 1047 Dixie
Road



Figure B69 - Waseem Residence, 1273 St. James
Avenue



Figure B70 - Long Branch Indoor Rifle Range,
1300 Lakeshore Road East

2.5 Pedestrian Realm/Streetscape

Neighbourhood Character Areas have an established streetscape particularly in the residential areas. These consist of a sidewalk on one or both sides adjacent to the curb edge (Figure B71); or set back from the street edge by landscape areas (Figure B73). A significant number of the residential streets however do not have sidewalks giving the image of a rural setting (Figure B72) which will be maintained.

At grade private amenity space will not be visible from the street for Standard and Common Element Condominium Townhouse Developments, horizontal multiple units and apartment developments.

All entrances to buildings will be prominently located on the street and designed in such a manner that it becomes the most important element of the building.

Tree preservation and protection of healthy trees, particularly City trees, within any development is a priority.



Figure B71 - Local residential street with sidewalks on one side of the street, adjacent to the curb



Figure B72 - Hedge Drive, local residential street with no sidewalks



Figure B73 - Atwater Avenue, local residential street with 2 sidewalks on either side with a grass buffer

2.6 Environmental Sustainability

New developments must be sustainable in all aspects, taking into account social and economic impact, based on whole life costs and benefits. Advances in construction technology combined with a growing body of architectural knowledge mean that sustainable practices are easier to achieve.

On July 7, 2010, City Council adopted the Green Development Strategy which focuses on achieving sustainability and environmental responsibility in new development in Mississauga. The City strongly encourages applicants to incorporate green sustainable elements into proposed buildings, site works, construction methods and long-term maintenance programs. Further, applicants are encouraged to pursue LEED-NC credits required to achieve Silver certification.

For more information, visit the Canada Green Building Council website for the LEED-NC Program, the CVC or TRCA website for Low Impact Development Stormwater Management Planning and Design Guide, and the City of Mississauga web site for the Green Development Strategy.



Figure B74 — Example of vertical parking grate screened by landscape



Figure B75 — Example of enhanced dry grass swale



Figure B76 — Typical rain water barrel



Figure B77 — Extensive green roof above — Mountain Equipment Co-op

2.7 Building Materials

Lakeview has a mixture of building materials throughout the neighbourhood areas. These include, brick, wood siding, stone, and siding. These materials should be used in the redevelopment of any site. Materials that are not predominant in Lakeview are discouraged, including architectural concrete block and stucco.

High quality building materials will be required in all new developments in Lakeview. The first 4 storeys of any new development will be of durable material such as brick or stone. Concrete block or painted concrete block are not permitted to be exposed for any new development.

The entrances to buildings will be prominent and treated with greatest priority. Entrances will be located on the dominant street they are located on.

Balconies should either be partially screened or have glass tinting so that materials that are stored on them are not visible from the public realm.

For mainstreet, vision glass will be required for all store fronts. Wood features are permitted as accent pieces. Canopies and architectural features area encouraged within the property line.



Figure B74 — Brick and stone



Figure B79 — Various brick types

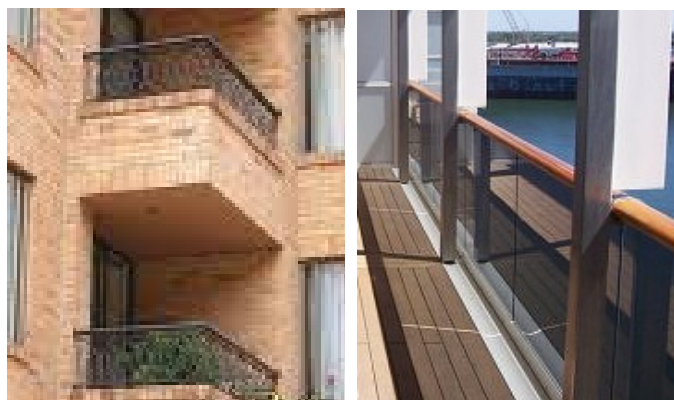


Figure B80 — Balconies that are either partially screened or tinted are encouraged



Figure B81 — Visually translucent balconies are discouraged as they display balcony contents



Figure B82 — Stone



Figure B83 — Plaster



Figure B84 — Wood siding and shutters



Figure B85 — Siding



Figure B86 — Combination of brick and aluminum



Figure B87 — Aluminium



Figure B88 — Brick



Figure B89 — Brick

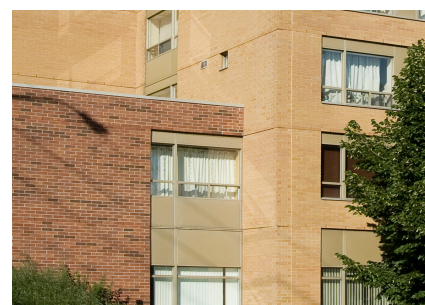


Figure B90 — Brick



Figure B91 — Exposed concrete block or painted concrete block will not be permitted



Figure B92 — Architectural concrete block is highly discouraged as an exterior building material

Lakeshore Corridor Precinct

3.0 Lakeshore Corridor Precinct

3.1 Lakeshore Corridor Precinct

The Lakeshore Corridor Precinct has a unique identity and function in the community. It contains a mix of uses and a variety of built form. The Lakeshore Corridor Precinct contains a larger neighbourhood area and a portion of the employment lands.

While the Neighbourhood policies in the previous section also apply to this precinct, additional development criteria must be adhered to.

The principles of built form along Lakeshore Road East will include:

- i. A pedestrian oriented environment;
- ii. Closely spaced buildings fronting onto Lakeshore Road East;

- iii. Minimize access points;
- iv. No parking between the building and the street;
- v. Design that enhances a mainstreet retail environment; and
- vi. On-street parking along Lakeshore Road East where appropriate.

In recent years, development interest is gradually changing this area into a new mainstreet, with new mixed use buildings along the corridor. The Lakeshore Corridor Precinct is linear, and includes properties fronting along Lakeshore Road East from Seneca Avenue to the eastern boundary of Mississauga.

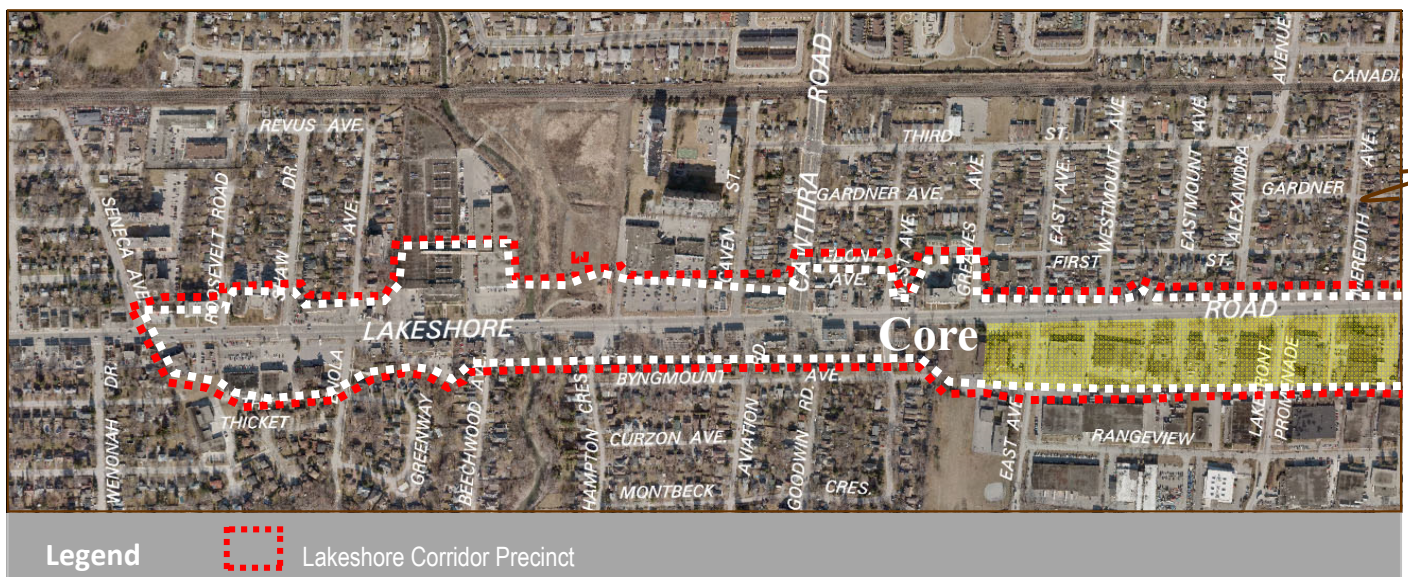


Figure C1 — Lakeshore Corridor Precinct

The Lakeshore Corridor Precinct is broken down into two sub areas:

- **The Core**, which is described as the area from Seneca Avenue to Hydro Road. Retail will be required at grade fronting onto Lakeshore Road East. Buildings should be set back 0.6 m to 3.0 m; and,
- **The Outer Core**, which is described as the area from Hydro Road to the Etobicoke Creek and the eastern boundary of the City of Mississauga. Retail is encouraged to front onto Lakeshore Road East but not required. Where residential fronts onto Lakeshore Road East, in the Outer Core area, buildings should be set back from the street to ensure a well landscaped front yard and appropriate streetscape.

In addition, the lands highlighted in yellow are lands that are affected by the Inspiration Lakeview Study and will be dealt with through that process.

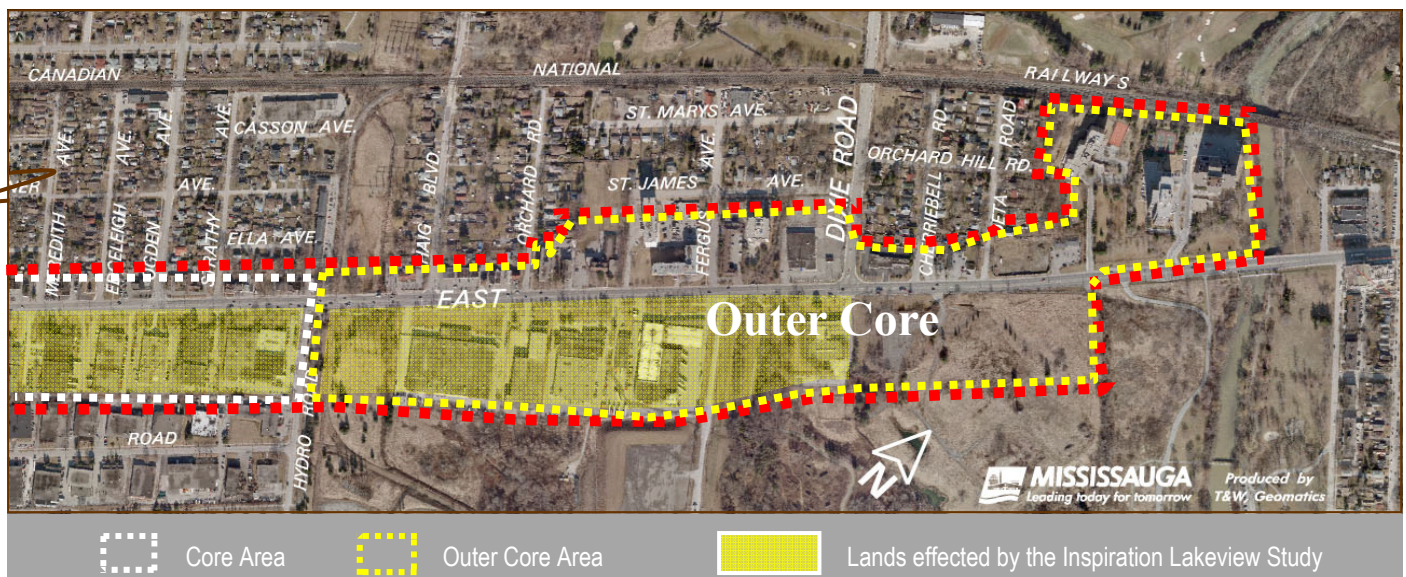


Figure C1 (Continued) — Lakeshore Corridor Precinct

3.2 Building Heights

It is anticipated that the majority of significant redevelopment within Lakeview will occur along Lakeshore Road East. The corridor will be the focus of activity for Lakeview, combining a mix of uses including residential uses, cultural activities, shopping, dining, commerce and recreation. Development along Lakeshore Road East will be linear and maintain lower building forms to ensure that developments transition appropriately to the neighbourhood lands both north and south of Lakeshore Road East. The lands highlighted in yellow are lands affected by the Inspiration Lakeview Study.

The following criteria will apply to development in the Lakeshore Corridor Precinct:

- a. The minimum building height along Lakeshore Road East highlighted in blue will be 2 storeys and the maximum building height permitted is 4 storeys, however some sites will be permitted to have building heights of more than 4 storeys as shown on Schedule 2 of the Area Plan;
- b. Development along Lakeshore Road East will be close to the street and have a minimum setback of 0.6 m and a maximum setback of 3.0 m from the property line. The appropriate setback will be determined through an analysis of the public realm and streetscape treatments. Additional setbacks may be required to ensure an appropriate pedestrian realm can be accommodated due to the location of the utilities and right-of-way widths;
- c. Buildings fronting onto Lakeshore Road East should have a minimum of 90% of the building wall within 0.6 m to 3.0_m from the front property line;
- d. Building entrances will be located along Lakeshore Road East;
- e. Canopies, overhangs and signage will be designed so that they are located within the private property limits;
- f. Where residential buildings are permitted a minimum setback of 7.5 m from Lakeshore Road East will be required to ensure appropriate transition to Lakeshore Road East; and
- g. Buildings will transition down to stable residential areas (see Section 3.3 for details).

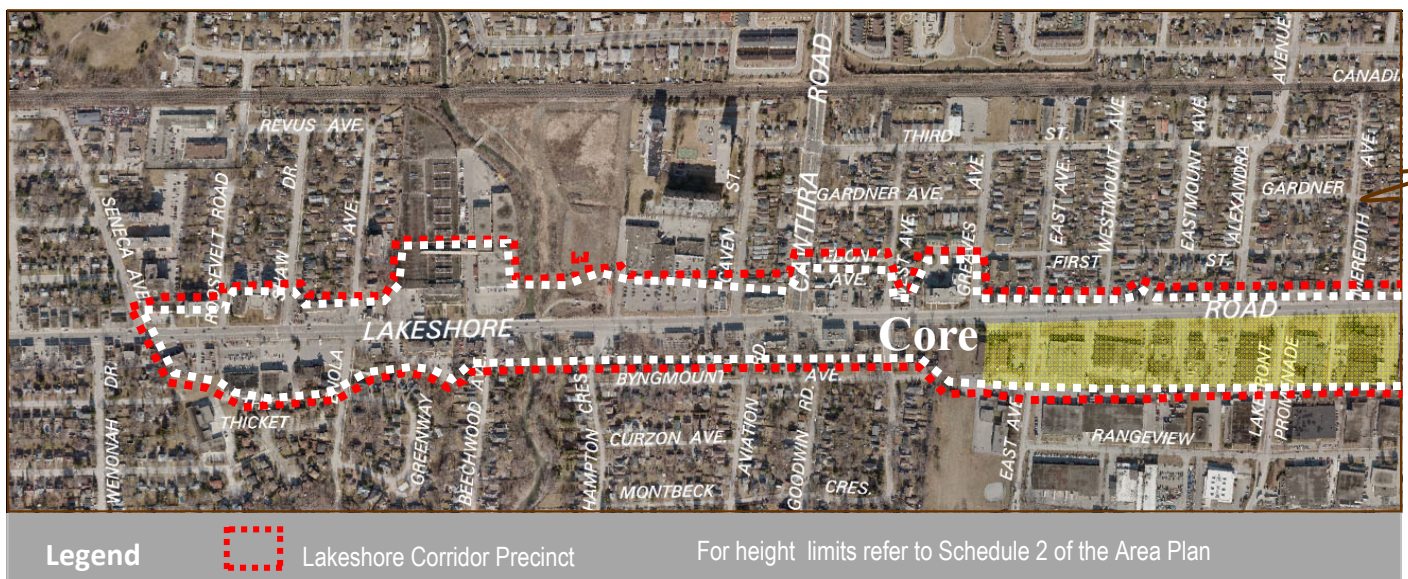


Figure C1 — Lakeshore Corridor Precinct

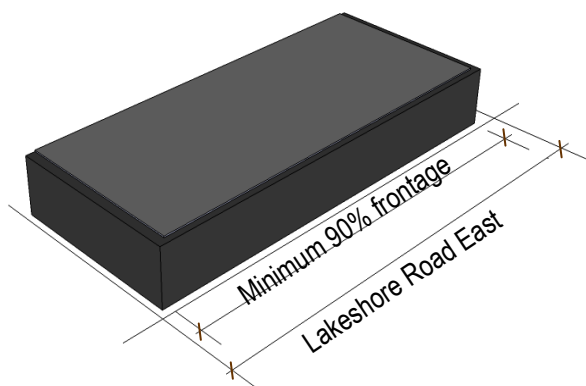


Figure C3 — Buildings along Lakeshore Road East will have a minimum of 90% lot frontage



Figure C5 — Canopies, overhangs and signage will be within the property limits

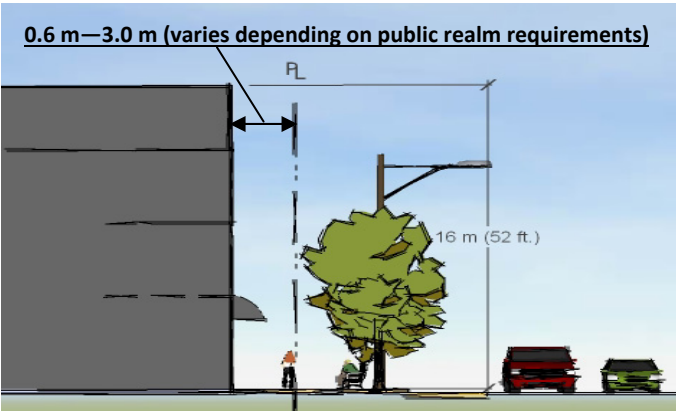


Figure C4 (right) — Buildings along Lakeshore Road East will have a minimum of 90% lot frontage

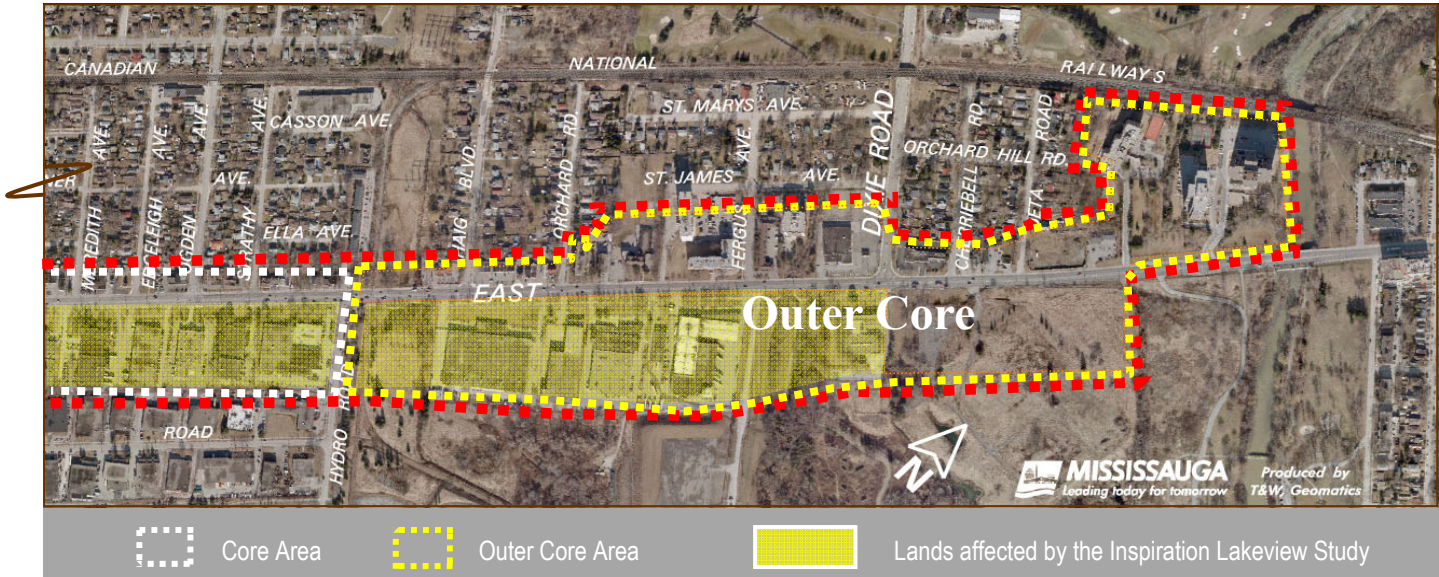


Figure C1 (Continued) — Lakeshore Corridor Precinct

3.3 Transition to Lower Built Form and Open Space

The assembly of adjacent stable residential lands to enlarge properties fronting Lakeshore Road East is discouraged. However, if this does occur, no building or structure will be permitted on the former residential property.

To ensure that residential properties have adequate light, view and privacy, a 45 degree angular plane will be required (see sketch below C6).

3.4 Rear Yard Landscape Buffer

A minimum of 4.5 m wide unobstructed landscape buffer will be required when a mixed use zone abuts a residential zone to screen buildings from adjacent residential properties. Through the site plan process, additional recommendations, such as the location and type of planting will be provided to ensure effective screening. This helps to ensure that trees and vegetation on the existing property and adjacent properties are preserved and enhanced. A 1.2 m fence will be required between the residential and mixed use zone to further ensure buffering of uses.

Utilities, walkways, amenity space and garbage areas will not be permitted in the 4.5 m landscape buffer.

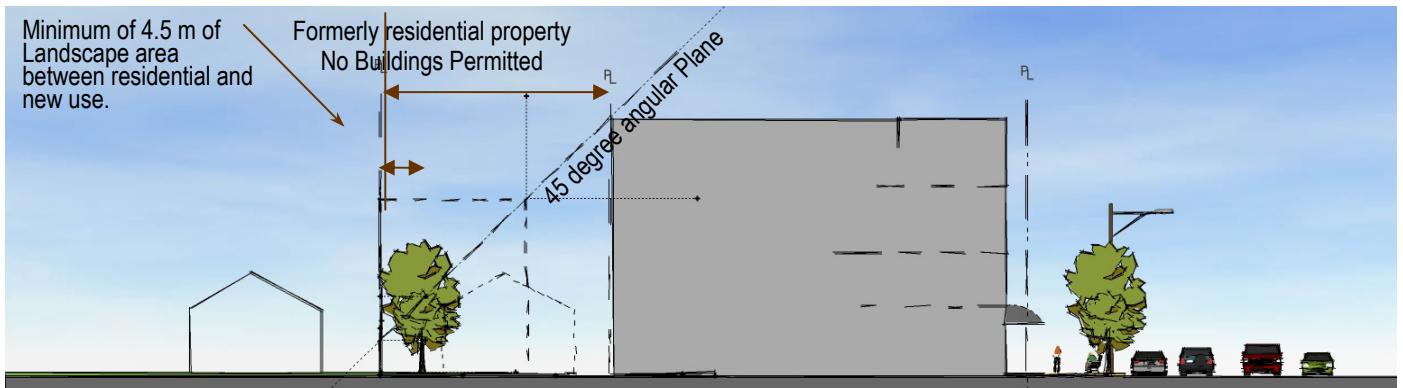


Figure C6 — Diagram of transition of a development which has consolidated a residential property to the commercial property.



Figure C7 — Example of the above diagram using the old residential property to buffer the higher built form.

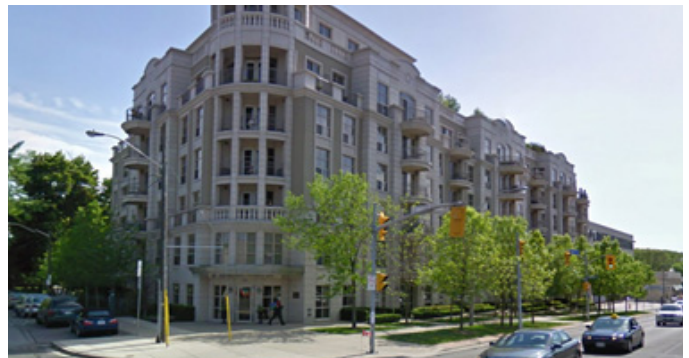


Figure C8 — Front of the higher building form shown to the left.

3.5 Pedestrian Realm/Streetscape

Building setbacks along Lakeshore Road East are to provide a consistent street edge. Where buildings are discontinuous along the street, the street edge should be defined through landscape elements such as street trees, plantings, low-level walls and decorative fences, pergolas, or acceptable alternatives.

- a. Building setback along Lakeshore Road East will be a minimum of 0.6 m to 3.0 m. The exact building setback will be determined through streetscape analysis to ensure that the boulevard width is a minimum of 5.6 m from the street curb to the face of the building to ensure a consistent and viable pedestrian sidewalk and the potential for a tree zone and street furniture. Depending on the location of the utilities, the boulevard width may need to be increased;
- b. New buildings should form a continuous street wall. There should be minimal breaks in the streets frontages to encourage a pedestrian friendly environment. 90% of the frontage should be occupied by the building façade; and
- c. Street trees, street furniture, such as benches, banners, waste receptacles, bike racks and public art will be required within the boulevard.

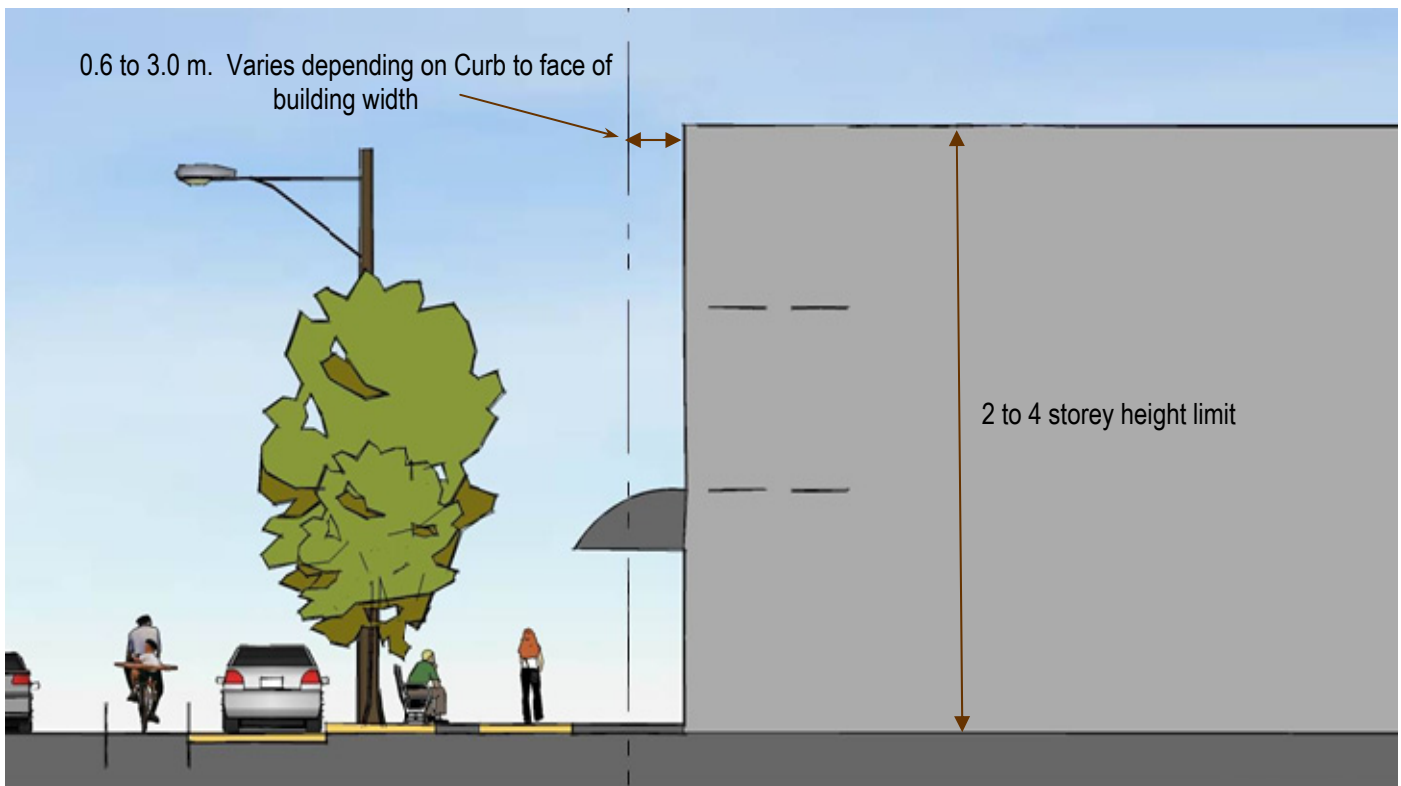


Figure C9 — Building setback may vary depending on the character of the street, the adjacent development and the boulevard width of the street it is fronting on to ensure a good pedestrian realm.

3.6 At Grade Commercial Requirements

To promote a pedestrian friendly mainstreet environment, street related retail commercial uses will be located along, and front onto Lakeshore Road East. A maximum lot depth of 55 m for commercial uses will be maintained.

- Building entrances should be located along and face Lakeshore Road East. These entrances will provide an opening to the sidewalk and be considered the main or principal entrance from Lakeshore Road East;
- Generally, retail areas require a minimum of 4.5 m of clear height from grade and a minimum of 15 m width;
- Minimum of 60% glass will be required for retail storefronts along the street wall;
- Minimum 6 m store front extension around the corner

from a primary street is required where there are commercial uses;

- Signs will be limited to the first floor level;
- Tenant signage will be of a consistent design if there is more than one tenant in a building;
- Retail tenants signs will be designed of high quality material, colour and scale to compliment the remainder of the building;
- Ground signs are prohibited;
- Store front window signage is permitted up to 25% of the glass surface area and will not block the clear view of entrances; and
- Tables and other active uses adjacent to storefront windows are encouraged.



Figure C10 — Examples of retail commercial at grade

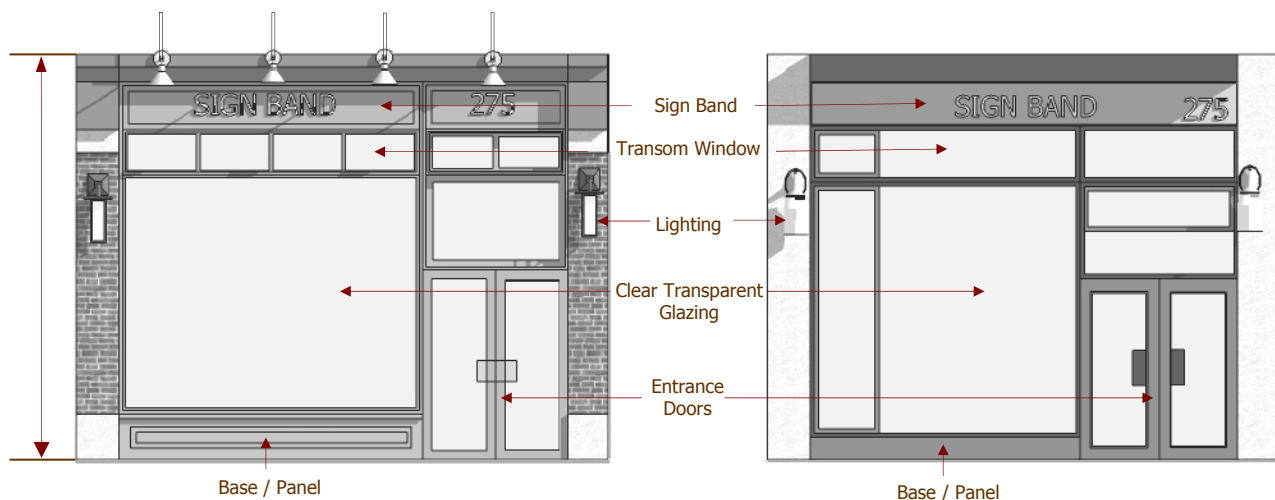


Figure C11 — Examples of retail treatment at grade.

3.7 Access Points

Consolidation of vehicle access points for properties fronting along Lakeshore Road East will be encouraged to minimize the requirement for mid-block access points from Lakeshore Road East.

Vehicle access for redevelopment should be considered from existing north/south side streets.



Figure C12 — Parking at the front of the property along Lakeshore Road East with access points all along the front

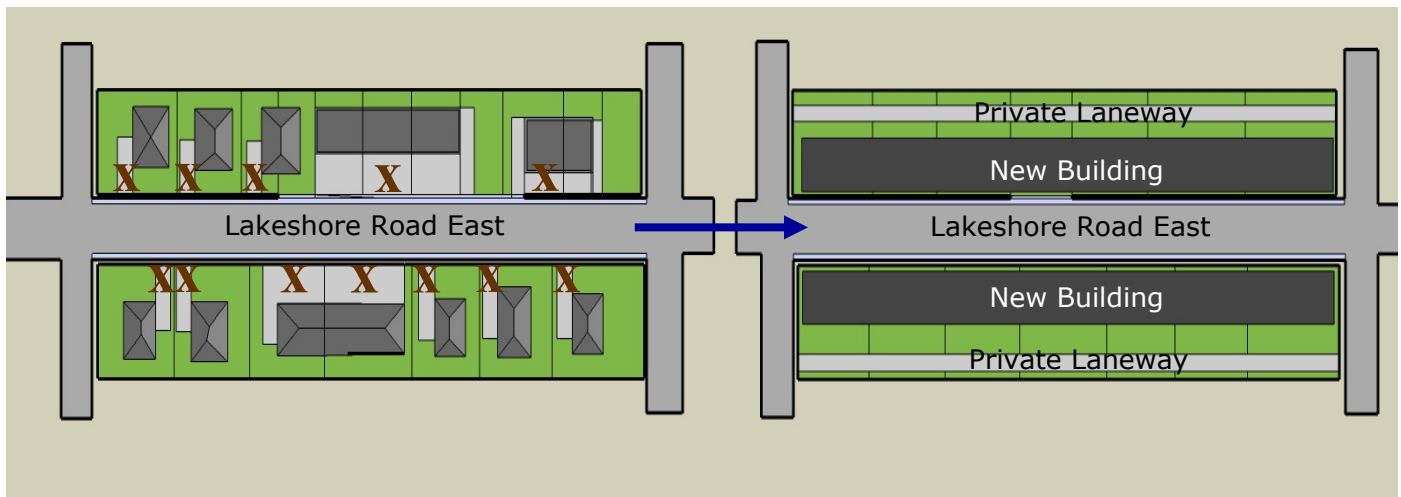


Figure C13 — Example of access consolidation which is required to make an urban street pedestrian oriented and safe.



Figure C14 - Example of multiple vehicle access conditions along Lakeshore Road East



Figure C15 - Example of multiple vehicle access conditions along Lakeshore Road East

3.8 Parking, Loading and Service Areas

The design of parking, servicing and loading areas for non-residential uses is a key component in the development of sites. These areas serve a functional need, but should be designed in a manner that screens these areas and provides high quality treatment of exposed areas while addressing safe and efficient movement of pedestrians and vehicles.

- a. Parking should be located underground, internal to the building or to the rear of the building where it is not visible from the streets, particularly on Lakeshore Road East;
- b. Above grade parking structures should be screened in such a manner that vehicles are not visible to the public, be designed to compliment adjacent buildings and materials, and with appropriate directional signage to the structure;
- c. Service, loading and garbage storage areas should be integrated into the building or located at the rear of the building and screened from the public realm and adjacent residential uses. Screen walls may be used,

provided they are the same material as the building. Alternatively, landscape material may be used where there is ample room for generous treatment.



Figure C16 — Parking, loading and service areas at the rear of the site



Figure C17 — Parking, loading and service areas at the rear of the site

3.9 Location of On-Street and Lay-By Parking

On-street and lay-by parking will provide accessible parking in proximity to retail commercial and office space. Where on-street and lay-by parking can be accommodated, it is to be incorporated into the streetscape design.

Lay-by parking should be delineated by islands to ensure safety for pedestrian and vehicles (see Figure C21).



Figure C18 — Example of on-street parking



Figure C19 — Example of lay-by parking



Figure C20 — Example of lay-by parking



Figure C21 — Example of lay-by parking

3.10 Place Making

Place making is the process that fosters the creation of vibrant public destinations; the kind of places where people feel a strong stake in their communities and a commitment to making things better. Place making capitalizes on a local community's assets, inspiration, and potential, ultimately creating good public spaces that promote people's health, happiness, and well being.

Lakeshore Road East has a number of opportune locations where place making can occur. New developments should encourage the integration and development of squares and

open space on private lands in prominent areas to ensure interaction with pedestrians, vistas and the surrounding environment. Several place making opportunities have been identified. These include but are not limited to:

1. Cooksville Creek
2. Cawthra Road and Lakeshore Road East (South Side)
3. East Avenue and Lakeshore Road East
4. Alexandra Avenue and Lakeshore Road East
5. Ogden Avenue and Lakeshore Road East
6. Hydro Corridor and Lakeshore Road East
7. Waterfront Trail along Lakeshore Road East
8. Small Arms Inspection Building
9. Etobicoke Creek



Figure C23 — Place making opportunities, Lakeshore Road East and Cawthra Road



Figure C24 — Ogden Avenue and Lakeshore Road East, south side of the Lakeshore Road East



Legend

- | | |
|--------------------------------|--|
| 1. Cooksville Creek | 2. Cawthra Road and Lakeshore Road East (650 Lakeshore Road) |
| 3. 958-960 Lakeshore Road East | 4. 910-920 Lakeshore Road East |

Figure C22 — Place Making Opportunities



Figure C25 — Former rail line looking south from Lakeshore Road -Place Making Opportunities



Figure C26 — Waterfront Trail along the south side of Lakeshore Road East



Figure C27 — Small Arms Inspection Building, Place Making



Figure C28 — Etobicoke Creek, Mississauga eastern border



- | | | |
|--------------------------------------|---|--------------------|
| Legend | | |
| 5. 1019 and 1041 Lakeshore Road East | 6. Hydro Road, adjacent to the railway tracks | 9. Etobicoke Creek |
| 7. Lakeshore Road Bicycle Path | 8. Small Arms Building | |

Figure C22 (Continued) — Place Making Opportunities

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4.0 Appendix A - Photo Credits

Page	Description	Source
Cover	Lakeshore Road East cyclists	Sharon Mittmann, City of Mississauga
	Region of Peel, 5 Storey Building	Adishesan Shanker from ASAP Photography
	Adamson's Estate	Adishesan Shanker from ASAP Photography
Page 3	Townhouse development on Northmount Avenue	Adishesan Shanker from ASAP Photography
Page 5	Lakefront Promenade	Adishesan Shanker from ASAP Photography
Page 6	Lakeview Entry Sign	City of Mississauga Image Library
	Region of Peel, 5 Storey Building	Adishesan Shanker from ASAP Photography
	Townhouse development on Northmount Avenue	Adishesan Shanker from ASAP Photography
	Industrial Building	Adishesan Shanker from ASAP Photography
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City of Mississauga

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City of Mississauga

LAKESHORE ROAD



Transportation Review Study

FINAL REPORT

EXECUTIVE SUMMARY

Study Purpose

The overall goal of this study was to provide a comprehensive and technical transportation review to identify how the Lakeshore Road corridor can accommodate alternative modes of transportation and provide input and background into the preparation of Official Plan policies for Lakeview and Port Credit and address stakeholder comments provided in the “*Directions Report*”.

As the City looks to the future, long term plans for corridors such as Lakeshore Road will include providing the necessary facilities for all modes of transportation. As such, pedestrian facilities, cycling facilities and higher order transit facilities all need to be accommodated for a revitalized and more active Lakeshore Road.

The project conceptually reviewed the feasibility of future higher order transit within the existing Lakeshore Road right-of-way from Hurontario Street to the Long Branch TTC / Mississauga Transit terminal (the study area stops at east municipal boundary, just west of the Long Branch terminal at Etobicoke Creek).

History

Lakeshore Road was formally part of the Provincial King’s Highway network as Highway 2 continuous through the GTA. It has also supported the ongoing development of Port Credit, Lakeview and Clarkson urban villages as well as industrial and residential areas along the corridor. Construction of the QEW subsequently relieved most of the through traffic from Lakeshore Road.

Current Role

The roadway has an important role to play in supporting the variety of tourist, commercial, industrial and residential land uses along the corridor. There are no alternative parallel continuous east-west routes except for the access controlled QEW some 2 kms to the north.

Currently Lakeshore Road provides for autos, bus transit and pedestrians, but not explicitly for bicycles. An evaluation of alternative modes and how these modes can be accommodated within the changing Lakeshore Road ROW has been undertaken. The following conclusion and results were developed in the course of this evaluation and functional design exercise.

Currently, around 75% of the traffic crossing the Credit River in the AM peak originates from the southwest part of Mississauga. Approximately 50% of the trips crossing the Credit River on Lakeshore Road are destined to a work / school locations in eastern Mississauga. On occasions when the QEW is blocked, traffic overflows onto Lakeshore Road which exacerbates the already congested traffic entering Port Credit. Traffic flow improves east of Hurontario Street through Port Credit and Lakeview.

Traffic Trends

All day traffic volumes have not risen in the last 10 years. Forecasts show that for the most part, peak direction volumes will not increase in the next 20 years, except for a small increase west of Port Credit as a result of increased GO Train ridership out of the Port Credit GO Station. Traffic volumes in the off-peak direction are forecast to increase resulting in more balanced flows along Lakeshore Road.

Future Transit

On November 28, 2008, Metrolinx released their Draft Regional Transportation Plan entitled "*The Big Move: Transforming Transportation in the Greater Toronto and Hamilton area*". This document sets out the actions to build new transportation infrastructure and improve transit service in the Greater Toronto and Hamilton area. One such initiative is the Waterfront West Rapid Transit project which will be a new east-west rapid transit connection from Union Station to the Port Credit GO Station. Although not currently financed to be programmed, this initiative is included in their 15-Year Plan. The technology to be utilized and its ultimate alignment were not determined however, it was assumed to be accommodated within the road right-of-way for Lakeshore Road.

LRT

Higher order transit cannot be achieved west of Hurontario Street without compromising other modes and / or streetscaping. The long term plan includes LRT in mixed traffic (similar to Queen / King Streetcar service in Toronto) in the restricted parts of the corridor between Hurontario Street and Greaves Avenue. East of Greaves Avenue, LRT on its own right of way is indicated in the long term functional plans

Right-of-way Challenges

Between Broadview Avenue and Seneca Avenue, a right of way (ROW) width of only 26.2 m is available, with no likelihood of increasing that width. An additional constraint exists between Cawthra Road and Greaves Avenue; however there will be opportunities to achieve the ultimate 30 m ROW in the future. Therefore, in the near term even with a potential narrowing of vehicular lane widths, it is not feasible to implement on-street bicycle lanes in this stretch while maintaining 4 lanes of traffic, on-street parking and the current boulevard / sidewalk widths (which are considered the minimum desirable already). Between Seneca Avenue and Cawthra Road and again between Greaves Avenue and the east municipal boundary, greater ROW widths are available (or could be available) and therefore do not provide the same challenge that the Port Credit and Cawthra Road to Greaves Avenue sections pose.

A series of cross-section alternatives were developed and assessed for use in the short term (based on bus transit in mixed traffic) and long term (with LRT east of Hurontario Street). Many of the more desirable options were not feasible due to inadequate ROW availability. One of the main ROW challenges was to accommodate cyclists more safely than the current situation without adversely impacting space requirements for vehicles, pedestrians and streetscaping.

Lane Widths

In order to better accommodate bicycles and in some scenarios transit, lane widths on Lakeshore Road were reduced in the short and long term functional designs. Typically 3.35 m lanes were used (3.0 m for left turn lanes) except for the locations where sharrows are proposed in wider 4.0 m curb lanes.

Centre Two-Way-Left-Turn-Lane (CTWLTL)

The existing CTWLTL in place between Seneca Avenue and the east municipal boundary provides a measurable and significant safety advantage compared with a scenario of having no left turn storage. In the future, should it be possible to reduce the frequency of access points along this stretch, it may be possible to implement a raised median with channelized left turns at the remaining access points to provide a further safety advantage over the CTWLTL. This would also have the advantage of providing better definition (delineation) for pedestrians.

In the long term plan, the CTWLTL would have to be removed in the section east of Greaves Avenue as it would be replaced by an LRT in an exclusive ROW along the centre of the road. In the long term plan west of Greaves Avenue, left turn pockets could potentially be made between the tracks, or more likely the left turns would take place on the tracks (delaying transit). More analysis would be needed to determine the appropriate solution at specific locations.

Bicycle Plan

The Mississauga Cycling Master Plan was recently completed which has highlighted Lakeshore Road as a future on-street bicycle facility. Input from this study will help determine how cycling will be accommodated.

This study has determined that a wide curb lane with sharrows is the near term preferred application through the areas with a narrow right of way – from Broadview Avenue to Greaves Avenue.

The exception being a small section between Seneca Avenue and Cawthra Road that is able to accommodate on-street bicycle lanes; however, this will require a 2 metre widening of the road pavement which appears to be feasible given the 31 metre ROW available. Again east of Greaves Avenue to the municipal boundary, on-street bicycle lanes are recommended which would require a road widening on both sides.

The long term functional plan shows on-street bicycle lanes throughout the corridor, this is made possible by an assumption that on-street parking (on one side of the road) through Port Credit may ultimately be removed and may be replaced with off-street parking lots / garages.

Although not explicitly assessed in this study, bicycle lanes are also suggested for the section of Lakeshore Road between Clarkson and Port Credit (Johnson's Lane to Shawnmarr Road) as a result of higher vehicular speeds and the availability of a wider ROW.

Credit River Bridge

The Credit River Bridge will need widening to accommodate a relocation of bicycles from the street to the current sidewalks. A number of structural alternatives to achieve this will need to be investigated further in a Class Environmental Assessment (EA) study.

On-Street Parking

Current on-street paid parking in Port Credit provides an important support function to the commercial core and tourist area of Port Credit. Over the longer term, there may come a time when changes in modal usage may reduce the need for on-street parking. There is also a parking management plan underway for the Port Credit area that includes among other things an examination of the feasibility of replacing a portion of the on-street parking supply with off-street / side street parking.

In the meantime, as long as 4 traffic lanes are required and on-street parking is present, it is extremely difficult to provide either on-street bicycle lanes or higher order transit through Port Credit.

A strategic parking plan for the Lakeshore Road corridor through Lakeview is currently underway which will set the parking framework for this area.

Although the near term recommended plan for the corridor includes retention of the existing parking spaces, in order to provide more opportunity for other modes, at least one side of the on-street parking may need to be replaced by adequate and convenient off-street parking. This provides a longer term challenge and is reflected in the long term plan which includes bicycle lanes with parking on the south side only. This results in the removal of 88 on-street parking spaces on the north side.

Recommended Plans

Two design plans were developed for the corridor. One is considered to be a long term plan which includes the LRT and also removal of on-street parking from one-side of the road, while a near term option was developed which did not consider LRT but maintained the on-street parking.

Near Term Plan

The basic cross-section alternative selected for the near term option through Port Credit and another narrow ROW section east of Cawthra Road is shown below in **Exhibit E1**.

The cross-section includes the addition of sharrows in a 4 m curb lane and involves a slight modification of the existing cross-section (mainly a reduction in vehicular lane and parking widths) to accommodate a wide curb lane for sharrows to better accommodate cyclists. For areas with a wider ROW, between Greaves Avenue and Cawthra Road and again east of Greaves Avenue to the municipal boundary, on-street bicycle lanes are included instead of sharrows. Minor curb adjustments are required to implement the cycling facilities.

CONCEPT FOR: BUSES IN MIXED TRAFFIC + SHARROW LANE + ON-STREET PARKING

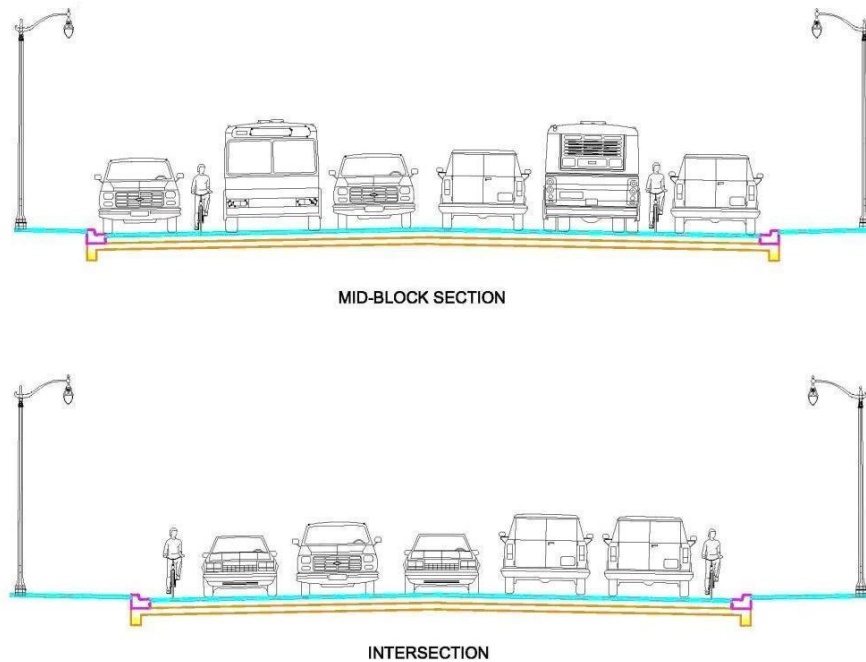


EXHIBIT E1: NEAR TERM CONCEPT THROUGH RESTRICTED ROW

Note: Subject to further review including Community consultation and preliminary design.

The functional design for this near term option is shown in the upper half of Plates 1 through 20 at the back of this report.

Long Term Option

Between Hurontario Street and Greaves Avenue, due to the constricted ROW sections, the basic cross-section alternative selected for the long term option is LRT in mixed traffic (e.g. similar to Queen St / King St. in Toronto). East of Greaves Avenue to the east municipal boundary, LRT on its own ROW is feasible. A short section between Seneca Avenue and Cawthra Road could also have accommodated LRT, but the section is too short to accommodate a transition to and from LRT / mixed traffic. Bicycle lanes are shown throughout the corridor. This is made possible through the 26.2 m ROW sections by removing parking on the north side (choice of the north side was arbitrary). The recommended typical cross-section for the long term between Hurontario Street and Greaves Avenue is shown below in **Exhibit E2**.

CONCEPT FOR: LRT IN MIXED TRAFFIC + ON-STREET BICYCLE LANES + ONE SIDE ON STREET PARKING

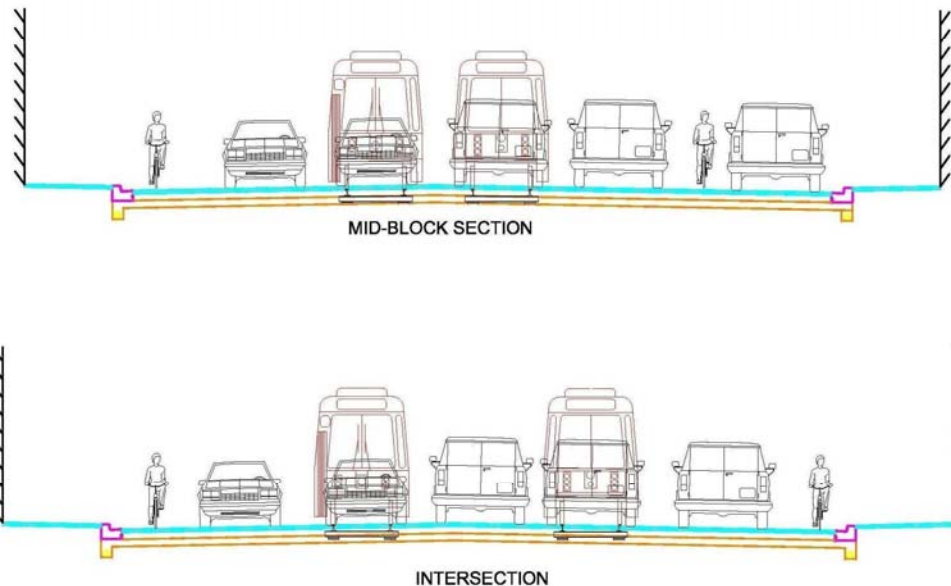


EXHIBIT E2: LONG TERM CONCEPT THROUGH RESTRICTED ROW (EAST OF HURONTARIO STREET)

Note: Subject to further review including Community consultation and preliminary design.

The functional design for the long term option is shown in the lower half of Plates 1 through 20 at the back of this report.

Implementation

Near Term

To implement near term changes, including curb adjustments required for cycling facilities, it is anticipated this would occur in phases as part of the Transportation and Works Department road rehabilitation / reconstruction program. These minor curb adjustments are required to accommodate the on-road bicycle facilities (sharrows / bike lanes) based on the assumption that traffic lanes will be maintained at a minimum width of 3.25 m to 3.35 m in width.

Notwithstanding the above, there may be an opportunity to implement cycling on Lakeshore Road without curb adjustments. This would be accomplished by reducing the inside through lane to a width of 3.05 m to 3.10 m and widening the curb lane to 4.0 m with the addition of bicycle sharrows markings.

This appears to be feasible based on existing road plans but would need to be confirmed in the field. The reduced width would be subject to safety considerations, including but not limited to speed and access / intersection proximity.

On the assumption that sufficient pavement width is available, these changes would be implemented through the road resurfacing program or independently when appropriate through the removal and re-application of the pavement markings.

Long Term

The long term plan proposes an LRT system operating in mixed traffic through Port Credit (west of Greaves Avenue) and in a dedicated ROW east of Greaves Avenue. In this light, an adjustment to the ROW from the existing 35 m to 44.5 m (44.5 m is currently available through this section of Lakeshore Road, with the exception of property fronting the OPG and Metropolitan Toronto and Region Conservation Authority lands) will be required. There is no time frame at this point for the study required for the consideration of an LRT system. This information is important with regard to the implementation of future curb adjustments relative to the ROW needs for on-road bicycle lanes in the absence of an LRT system.

The long term plan also assumes implementation of on-road bicycle lanes throughout the corridor which will impact on-street parking through Port Credit (Broadview Avenue to Seneca Avenue). The study concludes that parking would need to be eliminated from one side of the road and relocated to side streets and / or new surface parking lots. On-street parking will be an issue even if an LRT system is not implemented, since the LRT is proposed to operate in mixed traffic through Port Credit. It is the addition of the on-road bicycle lanes that will precipitate the need for changes. Additional parking information is anticipated in 2011 upon completion of a parking management plan currently underway in Port Credit.

The study speaks to the ultimate removal of the centre turn lane from Seneca Avenue to the east City boundary and its replacement with a dedicated LRT ROW. This will require a detailed review of the feasibility of access consolidation throughout this section of Lakeshore Road.

OTHER INFORMATION: Credits

Figure #	Description	Source
2	Cawthra-Elliot Estate (left photo) and Lakeview Park School (right photo)	City of Mississauga (Adiseshan Shankar, ASAP Photography)
3	Lakeview Area Statistics	City of Mississauga, Planning and Building Department, Policy Planning, Information Planning
4	Lakeview Place-making Workshop, Lakeview Golf Course	City of Mississauga (BMI Pace Architects)
5	(a) Lakefront Promenade (Reconnect Lakeview); (b) Detached dwelling in Lakeview (Create Distinct Neighbourhoods); (c) Downtown Oakville (Support Complete Communities); (d) Waterfront Trail in Lakeview (Promote Community Health); (e) Lakefront Promenade (Support Social Well-Being); and (f) Cooksville Creek (Achieve Leadership in Sustainability).	(a), (d), and (e) City of Mississauga (Adiseshan Shankar, ASAP Photography) (b) and (f) Karin Phuong (City of Mississauga) (c) Irena Rostkowska (City of Mississauga)
6	Detached dwelling in Lakeview	Karin Phuong (City of Mississauga)
7	Lakeshore Road East in Lakeview	City of Mississauga (Adiseshan Shankar, ASAP Photography)
8	Landscape area at 1535 Lakeshore Road East	Sharon Mittmann (City of Mississauga)
9	Mississauga Senior Citizens' Centre (left photo) and Greenway Lodge Retirement Home (right photo)	Left photo, City of Mississauga (Adiseshan Shankar, ASAP Photography) Right photo, Karin Phuong (City of Mississauga)
10	Adamson Estate	Karin Phuong (City of Mississauga)
11	Waterfront Trail in Lakeview	Karin Phuong (City of Mississauga)
12	Lakeshore Road East	City of Mississauga (Adiseshan Shankar, ASAP Photography)
13	Small Arms Inspection Building at 1352 Lakeshore Road East	Karin Phuong (City of Mississauga)
14	(a) 885 Lakeshore Road East (top left photo) (b) Townhouses on Northmount Avenue (top right photo) (c) Apartment on Greaves Avenue (d) Plex in Lakeview (Bottom centre photo) (e) Caven Street (Bottom right photo)	(a) and (d) Karin Phuong (City of Mississauga) (b) and (c) City of Mississauga (Adiseshan Shankar, ASAP Photography) (e) Sharon Mittmann (City of Mississauga)
15	Businesses in Lakeview's Employment Area – on Rangeview Road (left photo) and on Lakeshore Road East (right photo)	Karin Phuong (City of Mississauga)